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Stock Condition Survey 2009



Carried Out By:
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and Owen Holleway**

Date: **23rd March 2009**

Reference No: **Edinburgh**
Location:
Whitefoord House

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SECTION 1

Introduction & General Notes

INTRODUCTION AND GENERAL NOTES

- Instruction** In accordance with instructions received from Scottish Veterans Residences, Dearle & Henderson carried out an inspection of **Whitefoord House** on the **23 March 2009**, with a view to providing a Condition Survey Report (including a 30 year Life Cycle Report) of the property.
- Survey Scope** The property has been visually inspected internally and externally, in accordance with Scottish Veterans Residences Condition Survey instruction.
- The survey was undertaken on a visual only basis and no invasive investigations have been carried out. Similarly, services have not been tested and the condition report is based on visual assessments and locally provided information only.
- The works requirements included in the report are those necessary in Year 2009 from the reporting period starting March 2009.
- Assessment of Condition** The condition of each element has been categorised using professional and technical judgement taking into account the use of the buildings and rooms with particular attention to Health & Safety implications, long-term maintenance and replacement needs, disruption to operational facilities and the age of the element. A condition category has been applied to each element as follows:
- A In a satisfactory condition
 - B Requires periodic repair
 - C Nearing end of economic life and requires extensive repair
 - D Requires renewal to prevent increased expenditure

Priority Grading Where the surveyor has concluded that works are necessary within Year 1 the survey item has been prioritised as follows:

1. Health & Safety i.e. compliance with statute and or duty.
2. Neglect will undermine the use of the property.
3. Defect that might lead to damage or further deterioration of a building element, surrounding building elements or item of plant resulting in increased expenditure.
4. To maintain proper standards.

All building elements have been inspected and recorded as part of this survey and costs are provided for Year 1 only. In general elements that are in good condition, may require no works, are classified as 'A'. Items where no works are required have not generally been measured and no costs entered against them. Where an action is necessary a priority grading is provided.

All categories of condition or priority have been estimated and costed for use within and for the formulation of a 30 year Life Cycle Plan of each property.

Costs

The rates used to estimate the costs of the various recommended works have been predominately derived from "Spon's Architect's and Builders Price Book ", and Cost Models (particularly for Mechanical & Electrical tasks) published by Davis Langdon & Everest. Other items are the subject of "spot" estimates based on the surveyor's experience and assessment of the work requirements. Budget cost estimates are included for all items where work is considered necessary in Year 1 and represent the likely cost which will need to be

expended on the basis each item is carried out individually and not as part of one contract. These costs are net figures and have not been assessed to include preliminaries, contingencies, fees or VAT.

The costs are for indicative budget purposes only as the rates are indicative for typical task and do not necessarily take into account specific variations in material or form.

The costs provided in the Summary take precedence over costs in Year One of the Life Cycle Report, where a discrepancy is found.

Building & Room Numbers

All buildings and rooms within the property have been numbered to enable defects itemised, to be inspected on site. This data has been incorporated into the database to enable calculations to be made where appropriate.

Life Cycle Cost Plan

A Life Cycle Cost Plan is provided and is based on Year 1 works prices at April 2009. Value Added Tax is excluded.

The Life Cycle profile presented is on a property basis.

Life expectancy of building elements identified during the survey process within the Condition Survey Report are transferred into the relevant year of the corresponding Life Cycle Cost Plan and a renewal cost given within that year. The life span of the building elements, which are taken from industry-accepted norms, defines in future years within the 30 Year periods when that element should be renewed again. Depending on the element concerned predictable repair cost allowances are then made within that life span when periodic, cyclical maintenance is undertaken. It does not allow for emergency, unpredictable or unforeseeable repairs.

Where a building element has a sub-element which can be predicted to fail requiring regular periodic

renewal and is of such significance that the element as a whole will fail without its renewal, then that has been included within the Life Cycle Cost Plan for renewal of the entire element. Other significant maintenance costs are also given as appropriate:

For example, where a PVC window has a timber sub-frame and the timber frame fails at 20 years then the renewal of the entire unit would occur which is earlier than the actual life of the PVC frame. Where a PVC window has a hermetically sealed double-glazing unit only the glazed unit would be renewed when the glazing fails at 10 years.

The lower life expectancy of any building element stated within a Condition Survey report takes precedence over any other as the life remaining that is carried forward to the corresponding Life Cycle Cost Plan

SECTION 2

Summary

Whitefoord House - Callender House

Date of Survey

21/03/2009

Surveyor(s)

Owen Holleway, Richard Robertson

Summary of Yr 1 Costs

<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	588	0	588
2. Walls	500	0	759	4,080	5,339
3. Grounds	0	0	0	0	0
<u>Internally</u>					
4. Structure	0	0	0	0	0
<u>Internal Fabric</u>					
5. Rooms	6,554	0	0	4,331	10,885
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	0	0
8. Health & Safety	900	0	0	0	900
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	7,954	0	1,347	8,411	17,712

Whitefoord House - Whitefoord House

Date of Survey 24/03/2009
Surveyor(s) Owen Holleway, Tony Duffy

Summary of Yr 1 Costs

<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	0	2,000	2,000
2. Walls	0	0	0	5,000	5,000
3. Grounds	0	0	0	300	300
<u>Internally</u>					
4. Structure	0	0	0	0	0
<u>Internal Fabric</u>					
5. Rooms	1,025	0	0	7,685	8,710
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	100	100
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	1,025	0	0	15,085	16,110

Whitefoord House - Kenneth Hill House

Date of Survey

24/03/2009

Surveyor(s)

Owen Holleway, Tony Duffy

Summary of Yr 1 Costs

<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	0	0	0
2. Walls	0	0	0	0	0
3. Grounds	0	0	0	0	0
<u>Internally</u>					
4. Structure	0	0	0	0	0
<u>Internal Fabric</u>					
5. Rooms	0	0	0	1,131	1,131
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	0	0
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	0	0	0	1,131	1,131

Whitefoord House - McLaren House

Date of Survey

21/03/2009

Surveyor(s)

Owen Holleway, Richard Robertson

Summary of Yr 1 Costs

<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	0	0	0
2. Walls	0	0	0	60	60
3. Grounds	0	0	0	0	0
<u>Internally</u>					
4. Structure	0	0	0	0	0
<u>Internal Fabric</u>					
5. Rooms	0	0	0	6,543	6,543
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	328	328
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	0	0	0	6,931	6,931

Whitefoord House - Addison Smith House

Date of Survey

21/03/2009

Surveyor(s)

Owen Holleway, Richard Robertson

Summary of Yr 1 Costs

<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	0	7,782	7,782
2. Walls	0	0	0	4,230	4,230
3. Grounds	0	0	0	0	0
<u>Internally</u>					
4. Structure	0	0	0	0	0
<u>Internal Fabric</u>					
5. Rooms	0	0	0	3,432	3,432
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	0	0
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	0	0	0	15,444	15,444

Whitefoord House - Pelham Burn House

Date of Survey

21/03/2009

Surveyor(s)

Owen Holleway, Richard Robertson, Tony Duffy

Summary of Yr 1 Costs

<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	5,400	600	6,000
2. Walls	0	0	4,990	888	5,878
3. Grounds	0	0	0	0	0
<u>Internally</u>					
4. Structure	0	0	0	0	0
<u>Internal Fabric</u>					
5. Rooms	0	0	0	384	384
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	0	0
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	0	0	10,390	1,872	12,262

Whitefoord House - Gloucester Court

Date of Survey

24/03/2009

Surveyor(s)

Owen Holleway, Tony Duffy

Summary of Yr 1 Costs

<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	0	0	0
2. Walls	0	0	0	0	0
3. Grounds	0	0	0	0	0
<u>Internally</u>					
4. Structure	0	0	0	0	0
<u>Internal Fabric</u>					
5. Rooms	0	0	0	2,036	2,036
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	328	328
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	0	0	0	2,364	2,364

Whitefoord House - McLagan Suite

Date of Survey

24/03/2009

Surveyor(s)

Owen Holleway, Richard Robertson

Summary of Yr 1 Costs

<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	60	0	60
2. Walls	0	0	100	0	100
3. Grounds	0	0	0	0	0
<u>Internally</u>					
4. Structure	0	0	0	0	0
<u>Internal Fabric</u>					
5. Rooms	0	0	0	13,567	13,567
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	0	0
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	0	0	160	13,567	13,727

Whitefoord House - Manager's Suite

Date of Survey

24/03/2009

Surveyor(s)

Owen Holleway, Tony Duffy

Summary of Yr 1 Costs

<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	0	0	0
2. Walls	0	0	0	0	0
3. Grounds	0	0	0	0	0
<u>Internally</u>					
4. Structure	0	0	0	0	0
<u>Internal Fabric</u>					
5. Rooms	0	0	0	0	0
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	0	0
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	0	0	0	0	0

Whitefoord House - Old Mortuary

Date of Survey

24/03/2009

Surveyor(s)

Owen Holleway, Tony Duffy

Summary of Yr 1 Costs

<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	0	0	0
2. Walls	0	0	0	222	222
3. Grounds	0	0	0	0	0
<u>Internally</u>					
4. Structure	0	0	0	0	0
<u>Internal Fabric</u>					
5. Rooms	0	0	0	2,303	2,303
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	0	0
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	0	0	0	2,525	2,525



SECTION 3

Brief Description of Property

BRIEF DESCRIPTION OF PROPERTY

Overall Condition	B
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Overall condition of the property – Rated A – D

A - Performing well and operating efficiently

B - Performing adequately but showing minor deterioration

C - Showing major defects and/or not operating adequately

D - Life expired and/or serious risk of imminent failure

Building

Block 1 (Callender): Traditional stone/brick built building with slate/bituminous felt roofs, wet render wall finish and timber single-glazed windows.

Internal finishes – decoration, floor coverings, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 2 (Whitefoord): Traditional stone/brick built building with slate roof, wet render wall finish and timber single-glazed windows.

Internal finishes – decoration, floor coverings, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 3 (Kenneth Hill): Traditional stone/brick built building with slate/bituminous felt roofs, wet render wall finish and timber single-glazed windows.

Internal finishes – decoration, floor coverings, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 4 (McLaren): Traditional stone built building with slate roofs and lead dormers, wet render and stone wall finishes and timber single/double glazed windows.

Internal finishes – decoration, floor coverings, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 5 (Addison Smith): Traditional stone built building with slate/bituminous felt roofs, wet render and stone block wall finishes and timber single glazed windows.

Internal finishes – decoration, floor coverings, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 6 (Pelham Burn): Traditional stone built building with slate/bituminous felt/mineral felt roofs, wet render and stone block wall finishes and timber single-glazed windows.

Internal finishes – decoration, floor coverings, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 7 (Gloucester): Two-storey traditional construction, with render finish, metal sheet roof covering and timber double-glazed windows

Internal finishes – decoration, floor coverings, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 8 (McLagan Suite): Traditional stone/brick built building with slate roof, lead flashings, wet render wall finish and timber single-glazed windows.

Internal finishes – decoration, floor coverings, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 9 (Old Mortuary): Traditional stone built building with slate roof and timber single-glazed windows.

Internal finishes – decoration, floor coverings are showing signs of age, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 10 (Manager's House): Traditional stone built building with slate/single-ply roof coverings and timber single-glazed windows.

Internal finishes – decoration, floor coverings, internal doors are generally in good condition.

Sanitary ware is generally in good condition.

M&E

Blocks 1, 2, 3, 4, 7 & 8

Main Power Incomer:

Power is supplied from the main REC supplies. This feeds an MEM switching system supplying a number of Distribution Boards (DB).

Power Distribution:

Power distribution was via a mix of Wylex, GET and Dorman Smith DBs located around the bld. Wiring was contained within trunking. This also houses the IT & Telephone system. All were in a fair condition with no defects noted. However there was evidence of extension leads and 3-way adapters in use throughout the bld. This can lead to an overload of the circuits, it is recommended that the use of extensions is reviewed and the removal of 3-way adapters is considered.



Extensions lead in use

3-way adapter in use

Heating:

Heating was provided from two different boiler rooms supplying different locations within the main bld.

McLagan Suite & Pelham Burn House:

Heating was provided by 2 Ideal Concord C Series 3 Gas fired boilers. Hot water from system was pumped round the bld to a number of convection radiators, some fan assisted, by a Wilo pumping setup. The heating and its associated equipment were in fair condition for their age.

Main Building:

Heating was provided by 2 Ideal Viceroy Gas fired boilers. Hot water from system was pumped round the bld to a number of convection radiators, by a Biral pumping setup. The heating and its associated equipment were in fair condition for their age.

It was noted that throughout the building a number of TRV's are missing from the radiators. It is recommended that they are replaced.



TRV's missing from radiators

The boilers in use are of fair condition for their age however the building has been modernised and the system is now supplying more equipment than when it was first installed. It is recommended that consideration be given to upgrading the system to a more efficient system; a further detailed survey would be required to confirm this.

Lighting:

In the main this was a mix of T5, T8, (fitted with anti glare diffusers) 2D, CFL, tungsten and halogen fittings. Some corridors were controlled by PIR's, all other lighting were manually controlled. The condition of the lighting and its associated equipment was fair with no defects noted. However this survey did not look at system compliance, a further lighting compliance survey would be required. It is recommended that an ongoing maintenance plan is introduced for the replacement of all tungsten lights with CFL lighting; this would help towards reducing the annual electricity costs.

Emergency Lighting:

This consisted of a mix of maintained and non-maintained self contained fittings. The condition of the system was fair with no defects noted. However this survey did not look at system compliance, a further in-depth compliance survey would be required.

External Lighting:

This consisted of a number of SON bulkhead fittings located around the boundary wall, these are controlled by timers. The condition of these was fair with no defect noted. However this survey did not look at system compliance, a further in-depth compliance survey would be required.

Fire Alarm:

An automatic system consisting of a number of break glass manual call points, detectors and audible alarms connected to a 3404 fire alarm control panel. The condition of the system was fair with no defects noted. However this survey did not look at system compliance, a further in depth compliance survey would be required.

I.T.

The bld is connected to the main Council IT network via a Netgear Router located within a Administration office. This provides a secure wireless network throughout the building. The condition of the IT network was fair with no defects noted.

Domestic Hot Water:

McLagan Suite & Pelham Burn House

Hot water was provided by the main boilers to a Calorifier, the water was pumped throughout the bld by Grundfos pumps. The condition of the equipment was fair however the Insulation jacket for the Calorifier does not completely cover the Calorifier. It is recommended that this is rectified.



Insulation Jacket requires attention

Main Building:

Hot water was provided by the main boilers to a large Calorifier within the boiler room. , the water was pumped throughout the bld by Biral pumps. The condition of the equipment was fair with no defects noted.

Glouster Block:

Hot water was provided by the main boilers to two Calorfiers within the Glouster Block, the water was pumped to the resident's rooms by a pumping set up. The condition of the equipment was fair with no defects noted.

The condition of the DHW system in use is consistent with its age however the building has been modernised and the system is now supplying more equipment than when it was first installed. It is recommended that consideration to upgrading the system to a more efficient system; a further detailed survey would be required to confirm this.

Ventilation:

There was a mix of Xodus and Vent Axia single point extractors in use within the toilets in the resident's rooms. Single point Delta Extract extractors are installed the office area and communal areas. Within the kitchen an industrial Canopy Extractor was installed. Xpelair extraction units were installed within the Laundry room. The condition of these was fair with no defects noted.

Lift:

There were two passenger lifts in use, one within the main building and another within the Gloucester block. The condition of these and their associated equipment was fair with no defects noted.

Pre Planned Maintenance

At the time of survey, there was no evidence of a Pre-Planned Maintenance Scheme covering the Edinburgh facilities in place. It is therefore recommended that a Planned Maintenance Program is introduced.

Block 5 (Addison Smith)

Main Power Incomer:

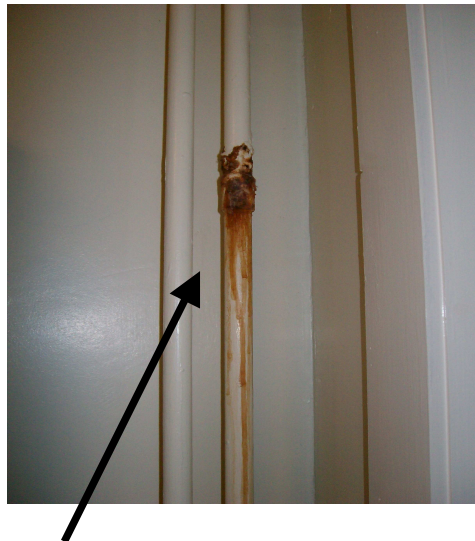
Power is supplied from the main REC supplies. This feeds an MEM switching system supplying a number of Distribution Boards (DB).

Power Distribution:

Power distribution was via Dorman Smith Load Limiter DB's located in each residence. Wiring was contained within the walls. All were in a fair condition with no defects noted.

Heating:

Heating was provided from two Potterton Suprima 100 gas fired boilers; this supplied a district heating system to all the residences. Hot water from system was pumped round the residences to a number of convection radiators, by a Grundfos pumping setup. The heating and its associated equipment were in fair condition with the following defects noted:



Flat 55 / 2 -- there is evidence of leakage at the bathroom pipework

Controls – The controls for the heating system are located within the basement residence of Addison Smith, this is a remote location from the actual heating equipment. It is recommended that the controls are repositioned as access to the controls may not always be available.



Heating equipment under stairs in block

Heating controls within basement residence

Lighting:

In the main this was a mix of tungsten, CFL and 2D fittings. There was no sign of automatic controls. Within the stairwell T8 lighting was in use. These were controlled by time delay switches however it was noted that none of them operated and all stairwell lights were constantly lit. It is recommended that the lighting controls are rectified. However this survey did not look at system compliance, a further lighting compliance survey would be required. It is recommended that an ongoing maintenance plan is introduced for the replacement of all tungsten lights with CFL lighting; this would help towards reducing the annual electricity costs.



No control over lighting

Flat 55 / 3 states light has never lit

Emergency Lighting:

This consisted of non-maintained self contained fittings within the stairwell. The condition of the system was fair with no defects noted. However this survey did not look at system compliance, a further in-depth compliance survey would be required.

External Lighting:

This consisted of a number of SON bulkhead fittings located around the building, these are controlled by timers. The condition of these was fair with no defect noted. However this survey did not look at system compliance, a further in-depth compliance survey would be required.

Fire Alarm:

Each residence has been supplied with battery operated stand alone smoke detectors. The condition of these was fair with no defects noted. There are Gent detectors and Sirens installed within the residences, it was stated that these may have been disconnected at the time of refurbishment although it was stated that the sirens still sound when the main building alarm is tested. This survey did not look at system compliance; a further in depth compliance survey would be required.



Domestic Hot Water:

Hot water was provided by the boilers to a calorifier, the water was pumped throughout the bld by Grundfos pumps. The condition of the equipment was fair with no defects noted.

Ventilation:

There was Greenwood extractors in use within the toilets. Within the kitchen a domestic cooker extractor was installed. The condition of these was fair with no defects noted.

Security:

A secure door entry has been installed. The condition of this was fair with no defects noted.

Pre Planned Maintenance

At the time of survey, there was no evidence of a Pre-Planned Maintenance Scheme covering the Edinburgh facilities in place. It is therefore recommended that a Planned Maintenance Program is introduced.

Block 6 (Pelham Burn)

Main Power Incomer:

Power is supplied from the main REC supplies. This feeds an MEM switching system supplying a number of Distribution Boards (DB).

Power Distribution:

Power distribution was via Dorman Smith Load Limiter DB's located in each residence. Wiring was contained within the walls. All were in a fair condition with no defects noted.

Heating:

Heating was provided from a district heating system. Hot water from system was pumped round the residences to a number of convection radiators, by a Wilo pumping setup. The heating and its associated equipment were in fair condition with the following defects noted:

Flat 57/2 -- it was stated that the Living room Radiator has never worked.



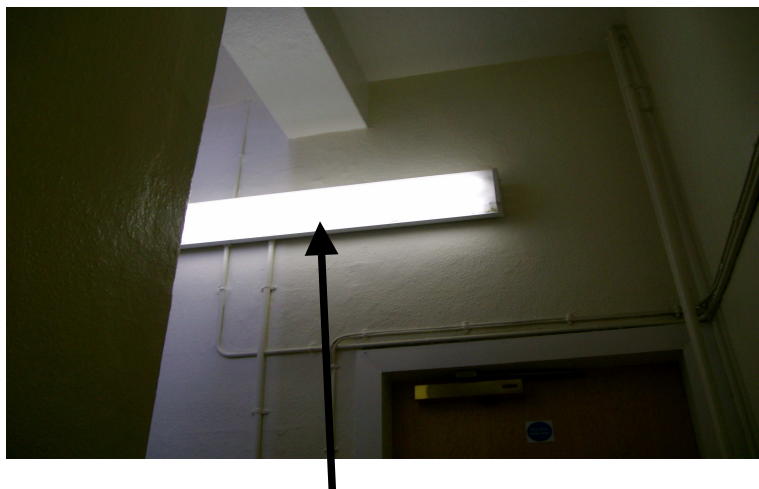
Flat 57/3 -- there is evidence of leakage at the Living room Radiator.



Flat 57/4 -- Living room ceiling marked due to heat from pipework.

Lighting:

In the main this was a mix of tungsten, CFL and 2D fittings. There was no sign of automatic controls. Within the stairwell T8 lighting was in use. These were controlled by time delay switches however it was noted that none of them operated and all stairwell lights were constantly lit. It is recommended that the lighting controls are rectified. However this survey did not look at system compliance, a further lighting compliance survey would be required. It is recommended that an ongoing maintenance plan is introduced for the replacement of all tungsten lights with CFL lighting; this would help towards reducing the annual electricity costs.



No control over lighting

Emergency Lighting:

This consisted of non-maintained self contained fittings within the stairwell. The condition of the system was fair with no defects noted. However this survey did not look at system compliance, a further in-depth compliance survey would be required.

External Lighting:

This consisted of a number of SON bulkhead fittings located around the building, these are controlled by timers. The condition of these was fair with no defect noted. However this survey did not look at system compliance, a further in-depth compliance survey would be required.

Fire Alarm:

Each residence has been supplied with battery operated stand alone smoke detectors. The condition of these was fair with no defects noted. There are Gent detectors and Sirens installed within the residences, it was stated that these may have been disconnected at the time of refurbishment although it was stated that the sirens still sound when the main building alarm is tested. This survey did not look at system compliance; a further in depth compliance survey would be required.



Detectors not in use

Sirens still connected

Domestic Hot Water:

Hot water was provided by the main building, the water was pumped throughout the bld by Grundfos pumps. The condition of the equipment was fair with no defects noted.

Ventilation:

There was Greenwood extractors in use within the toilets. Within the kitchen a domestic cooker extractor was installed. The condition of these was fair with no defects noted.

Lift:

There was a Schindler passenger lift in use. The condition of this and its associated equipment was fair with no defects noted.

Security:

A secure door entry has been installed. The condition of this was fair with no defects noted.

Pre Planned Maintenance

At the time of survey, there was no evidence of a Pre-Planned Maintenance Scheme covering the Edinburgh facilities in place. It is therefore recommended that a Planned Maintenance Program is introduced.

Block 9 (Old Mortuary)

Main Power Incomer:

Power is supplied from the main bld REC supplies. This feeds an MK Distribution Board (DB). All were in fair condition with no defects evident.

Power Distribution:

Power distribution was via an MK DB located within the hallway. Wiring was contained within the walls of the bld. All were in a fair condition with no defects noted. However there was evidence of trailing lead extensions in use, this can lead to an overload of the circuit. It is recommended that the use of trailing lead extensions be reviewed.



Extension leads in use

Heating:

Heating was provided by a number of electric convection heaters. The heating and its associated equipment were in fair condition; however there was evidence of the heaters wired directly to the rear of a socket. BS 7671 states that the heaters should be supplied from a dedicated supply from the DB and not connected to a ring main circuit. It is recommended that the heaters be installed in accordance with BS7671.



Connected to rear of socket

Lighting:

In the main this was provided by tungsten fittings. There were no signs of automatic controls. The condition of the lighting and its

associated equipment was fair with no defects noted. However this survey did not look at system compliance, a further lighting compliance survey would be required.

External Lighting:

This consisted of a tungsten bulkhead light fitting at the front door; there was no sign of automatic controls. The condition of this was fair with no defect noted.

Fire Alarm:

At the time of survey there was no evidence of a fire alarm system installed within this bld. It is recommended that a system be installed. However this survey did not look at system compliance, a further in depth compliance survey would be required.

Domestic Hot Water:

Hot water was supplied by an electric immersion Calorfier. The condition of these was fair with no defects noted.

Ventilation:

Within the kitchen an Xpelair extraction unit is in use. The condition of this was fair with no defects noted.

Block 10 (Manager's House)

Main Power Incomer:

Power is supplied from the main bld REC supplies. This feeds a MK Distribution Board (DB). The main incomer and associated equipment were located within a dedicated switchroom in the main bld. All were in fair condition with no defects evident.

Power Distribution:

Power distribution was via a MK DB located within a cupboard in the hallway. Wiring was contained within the walls of the bld. All were in a fair condition with no defects noted.

Heating:

Heating was provided by a Baxi Combi 105 HE gas fired boiler. Hot water from the system was pumped round the bld to a number of

convection radiators. The heating and its associated equipment were in fair condition; however there was evidence of missing TRV within one bedroom. It is recommended that this be replaced.



TRV missing

Lighting:

In the main this was a mix of tungsten, CFL and 2D fittings. There were no signs of automatic controls. The condition of the lighting and its associated equipment was fair with no defects noted. However this survey did not look at system compliance, a further lighting compliance survey would be required.

External Lighting:

This consisted of a SON fitting on the boundary wall , controlled from the main bld. There were also tungsten bulkhead light fittings at the front door and the patio doors; there was no sign of automatic controls. The condition of these was fair with no defect noted.

Fire Alarm:

There was no evidence of a fire alarm system installed. It is recommended that consideration be given to installing one. However this survey did not look at system compliance, a further in depth compliance survey would be required.

Domestic Hot Water:

Hot water was supplied by the Combi-boiler to the kitchen, toilet and bathroom. The condition of these was fair with no defects noted.

Ventilation:

Within the bathroom and toilet there were Specified Product extractors fitted and a domestic Manrose extractor hood is fitted within the kitchen. The condition of these was fair with no defects noted.

Security System:

The bld is protected by a Capital Security Alarm System. The condition of this was fair with no defects noted.

SECTION 4

Properties, Buildings & Room Lists

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 01

Room No	Room Name
003/1/-1/001	Circulation Area/Stairwell
003/1/-1/002	Circulation Area
003/1/-1/003	Store
003/1/-1/004	Bedroom 101
003/1/-1/005	Toilet 101
003/1/-1/006	Bedroom 102
003/1/-1/007	Toilet 102
003/1/-1/008	Store
003/1/-1/009	Store
003/1/-1/010	Bedroom 104
003/1/-1/011	Store 104
003/1/-1/012	Toilet 104
003/1/-1/013	Bedroom 105
003/1/-1/014	Toilet 105
003/1/-1/015	Bedroom 103
003/1/-1/016	Toilet 103
003/1/-1/017	Store 103
003/1/0/001	Circulation Area
003/1/0/002	Dining Area
003/1/1/001	Circulation Area
003/1/1/002	Bedroom 111
003/1/1/003	Toilet 111
003/1/1/004	Store 117
003/1/1/005	Bedroom 112
003/1/1/006	Toilet 112
003/1/1/007	Bedroom 113
003/1/1/008	Toilet 113
003/1/1/009	Bedroom 114
003/1/1/010	Toilet 114

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 01

Room No	Room Name
003/1/1/011	Bedroom 115
003/1/1/011A	Circulation Area
003/1/1/012	Toilet 115
003/1/2/001	Circulation Area
003/1/2/002	Bedroom 121
003/1/2/003	Toilet 121
003/1/2/004	Store 126
003/1/2/005	Bedroom 122
003/1/2/006	Toilet 122
003/1/2/007	Bedroom 123
003/1/2/008	Toilet 123
003/1/2/009	Bedroom 124
003/1/2/010	Toilet 124
003/1/3/001	Gym

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 02

Room No	Room Name
003/2/-1/001	Store
003/2/-1/002	Store
003/2/-1/003	Store
003/2/-1/004	Store
003/2/-1/005	Store
003/2/-1/006	Store
003/2/-1/007	Store
003/2/-1/008	Store
003/2/-2/001	Circulation Area/Stairwell
003/2/0/001	Circulation Area
003/2/0/002	Kitchen
003/2/0/003	Circulation Area
003/2/0/004	Bedroom 201
003/2/0/005	Toilet 201
003/2/0/006	Store 211
003/2/0/007	Store (Designed Out)
003/2/0/008	Store (Designed Out)
003/2/0/009	Bedroom 202
003/2/0/010	Toilet 202
003/2/0/011	Bedroom 203
003/2/0/012	Toilet 203
003/2/1/001	Circulation Area
003/2/1/002	Circulation Area/Stairs
003/2/1/003	Bedroom 315
003/2/1/004	Toilet 315
003/2/1/005	Store
003/2/1/006	Store (Designed Out)
003/2/1/007	Store (Designed Out)
003/2/1/008	Living Room 212

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 02

Room No	Room Name
003/2/1/009	Bedroom 212
003/2/1/010	Toilet 212
003/2/1/011	Bedroom 214
003/2/1/012	Toilet 214
003/2/1/013	Bedroom 215
003/2/1/014	Toilet 215
003/2/1/015	Bedroom 216
003/2/1/016	Toilet 216
003/2/1/017	Bedroom 217
003/2/1/018	Toilet 217
003/2/1/019	Electrical Fuse Cupboard
003/2/2/001	Circulation Area
003/2/2/002	Circulation Area
003/2/2/003	Bedroom 221
003/2/2/004	Toilet 221
003/2/2/005	Store
003/2/2/006	Store (Designed Out)
003/2/2/007	Store (Designed Out)
003/2/2/008	Living Room 222
003/2/2/009	Toilet 222
003/2/2/010	Bedroom 222
003/2/2/011	Bedroom 223
003/2/2/012	Toilet 223
003/2/2/013	Bedroom 224
003/2/2/014	Toilet 224
003/2/2/015	Bedroom 225
003/2/2/016	Toilet 225
003/2/2/017	Bedroom 226
003/2/2/018	Toilet 226

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 02

Room No	Room Name
003/2/2/019	Electrical Fuse Cupboard
003/2/2/020	Circulation Area/Stairs
003/2/3/001	Store
003/2/3/002	Store
003/2/3/003	Store
003/2/3/004	Store

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 03

Room No	Room Name
003/3/0/001	Circulation Area/Stairwell
003/3/0/002	Office
003/3/0/003	Circulation Area
003/3/0/004	Bedroom 301
003/3/0/005	Toilet 301
003/3/0/006	Bedroom 302
003/3/0/007	Toilet 302
003/3/0/008	Staff Changing Rooms
003/3/0/008A	Staff Changing Rooms Store
003/3/1/001	Circulation Area
003/3/1/002	Circulation Area
003/3/1/003	Bedroom 311
003/3/1/004	Toilet 311
003/3/1/005	Bedroom 312
003/3/1/006	Toilet 312
003/3/1/007	Bedroom 313
003/3/1/008	Toilet 313
003/3/1/009	Bathroom
003/3/1/010	Bedroom 314
003/3/1/011	Toilet 314
003/3/2/001	Circulation Area
003/3/2/002	Circulation Area
003/3/2/003	Bedroom 321
003/3/2/004	Toilet 321
003/3/2/005	Bedroom 322
003/3/2/006	Toilet 322
003/3/2/007	Bedroom 323
003/3/2/008	Toilet 323
003/3/2/009	Bathroom

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 03

Room No	Room Name
003/3/2/010	Bedroom 324
003/3/2/011	Toilet 324
003/3/3/001	Circulation Area
003/3/3/002	Circulation Area
003/3/3/003	Bedroom 334
003/3/3/004	Toilet 334
003/3/3/005	Bedroom 331
003/3/3/006	Toilet 331
003/3/3/007	Bedroom 332
003/3/3/008	Toilet 332
003/3/3/009	Bedroom 333
003/3/3/010	Toilet 333
003/3/3/011	Bathroom

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 04

Room No	Room Name
003/4/0/001	Stairwell
003/4/0/002	Circulation Area
003/4/0/003	Bedroom 404
003/4/0/004	Bathroom 404
003/4/0/005	Bedroom 403
003/4/0/006	Bathroom 403
003/4/0/007	Bedroom 402
003/4/0/008	Bathroom 402
003/4/0/009	Circulation Area
003/4/0/010	Bedroom 401
003/4/0/010A	Bathroom 401
003/4/0/011	Circulation Area
003/4/0/012	Accessible Toilet
003/4/0/013	Manager`s Office
003/4/0/014	Reception
003/4/1/001	Circulation Area
003/4/1/001A	Toilet
003/4/1/002	Bedroom 413
003/4/1/003	Bathroom 413
003/4/1/004	Bedroom 414
003/4/1/005	Bathroom 414
003/4/1/006	Bedroom 415
003/4/1/006A	Store
003/4/1/007	Bathroom 415
003/4/1/008	Bedroom 416
003/4/1/009	Bathroom 416
003/4/1/010	Circulation Area
003/4/1/011	Bedroom 417
003/4/1/012	Bathroom 417

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 04

Room No	Room Name
003/4/1/013	Bedroom 418
003/4/1/014	Bathroom 418
003/4/1/015	Circulation Area
003/4/1/016	Bedroom 411
003/4/1/017	Bathroom 411
003/4/1/018	Bedroom 412
003/4/1/019	Bathroom 412
003/4/2/001	Circulation Area
003/4/2/002	Bedroom 423
003/4/2/003	Bathroom 423
003/4/2/004	Bedroom 424
003/4/2/005	Bathroom 424
003/4/2/006	Bedroom 425
003/4/2/007	Bathroom 425
003/4/2/008	Bedroom 426
003/4/2/009	Bathroom 426
003/4/2/010	Circulation Area
003/4/2/011	Bedroom 421
003/4/2/012	Bathroom 421
003/4/2/013	Bedroom 422
003/4/2/014	Bathroom 422
003/4/2/015	Bedroom 427
003/4/2/016	Bathroom 427
003/4/2/017	Bedroom 428
003/4/2/018	Bathroom 428

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 05

Room No	Room Name
003/5/0/001	Circulation Area
003/5/0/002	Store
003/5/0/003	Living Room
003/5/0/004	Bedroom 1
003/5/0/005	Bedroom 2
003/5/0/006	Bathroom
003/5/0/007	Store
003/5/0/008	Toilet
003/5/0/009	Stairwell
003/5/0/010	Store
003/5/0/011	Store
003/5/0/012	Store
003/5/0/013	Store
003/5/0/014	Vestibule
003/5/1/001	Circulation Area 1
003/5/1/002	WC
003/5/1/003	Circulation Area 2
003/5/1/004	Living Room
003/5/1/005	Bedroom 1
003/5/1/006	Store
003/5/1/007	Bathroom
003/5/1/008	Bedroom 2
003/5/1/009	Kitchen
003/5/2/001	Circulation Area 1
003/5/2/002	WC
003/5/2/003	Circulation Area 2
003/5/2/004	Living Room
003/5/2/005	Bedroom 1
003/5/2/006	Store

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 05

Room No	Room Name
003/5/2/007	Bathroom 1
003/5/2/008	Bedroom 2
003/5/2/009	Kitchen
003/5/3/001	Circulation Area 1
003/5/3/002	WC
003/5/3/003	Circulation Area 2
003/5/3/004	Living Room
003/5/3/005	Bedroom 1
003/5/3/006	Store
003/5/3/007	Bathroom
003/5/3/008	Bedroom 2
003/5/3/009	Kitchen
003/5/4/001	Circulation Area
003/5/4/002	Bathroom
003/5/4/003	Circulation Area
003/5/4/004	Living Room
003/5/4/005	Bedroom 1
003/5/4/006	Store
003/5/4/007	Bathroom
003/5/4/008	Bedroom 2
003/5/4/009	Kitchen

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 06

Room No	Room Name
003/6/0/001	Main Office
003/6/0/002	Office 1
003/6/0/003	Office 2
003/6/0/004	Ladies Toilet
003/6/0/005	Store
003/6/0/006	Gents Toilet
003/6/0/007	Store
003/6/0/008	Store
003/6/0/009	Stairwell and entrance
003/6/0/010	Store
003/6/0/011	Boiler room
003/6/0/012	Staff Toilet
003/6/0/013	Plant room
003/6/0/014	Circulation Area
003/6/1/001	Circulation Area 1
003/6/1/002	Circulation Area 2
003/6/1/003	Living Room
003/6/1/004	Bedroom
003/6/1/005	Bathroom
003/6/1/006	Kitchen
003/6/1/007	Circulation Area 1
003/6/1/008	Circulation Area 2
003/6/1/009	Living Room
003/6/1/010	Kitchen
003/6/1/011	Bathroom
003/6/1/012	Bedroom
003/6/2/007	Circulation Area 1
003/6/2/008	Circulation Area 2
003/6/2/009	Living Room

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 06

Room No	Room Name
003/6/2/010	Kitchen
003/6/2/011	Bathroom
003/6/2/012	Bedroom
003/6/2/001	Circulation Area 1
003/6/2/002	Circulation Area 2
003/6/2/003	Living Room
003/6/2/004	Bedroom
003/6/2/005	Bathroom
003/6/2/006	Kitchen
003/6/3/001	Circulation Area 1
003/6/3/002	Circulation Area 2
003/6/3/003	Living Room
003/6/3/004	Bedroom
003/6/3/005	Bathroom
003/6/3/006	Kitchen
003/6/3/007	Circulation Area 1
003/6/3/008	Circulation Area 2
003/6/3/009	Living Room
003/6/3/010	Kitchen
003/6/3/011	Bathroom
003/6/3/012	Bedroom

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 07

Room No	Room Name
003/7/-1/001	Circulation Area
003/7/-1/002	Bedroom 716
003/7/-1/003	Toilet 716
003/7/-1/004	Bedroom 715
003/7/-1/005	Toilet 715
003/7/-1/006	Bedroom 714
003/7/-1/007	Toilet 714
003/7/-1/008	Boiler Tank Cupboard
003/7/-1/009	Bedroom 713
003/7/-1/010	Toilet 713
003/7/-1/011	Bedroom 712
003/7/-1/012	Toilet 712
003/7/-1/013	Circulation Area
003/7/-1/014	Bedroom 707
003/7/-1/015	Toilet 707
003/7/-1/016	Circulation Area 707
003/7/-1/017	Bedroom 708
003/7/-1/018	Toilet 708
003/7/-1/019	Bedroom 709
003/7/-1/020	Toilet 709
003/7/-1/021	Bedroom 710
003/7/-1/022	Toilet 710
003/7/-1/023	Bedroom 711
003/7/-1/024	Toilet 711
003/7/-1/025	Boiler Tank Cupboard
003/7/-2/001	Circulation Area/Stairwell
003/7/-2/002	Circulation Area
003/7/-2/003	Bedroom 706
003/7/-2/004	Toilet 706

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 07

Room No	Room Name
003/7/-2/005	Bedroom 705
003/7/-2/006	Toilet 705
003/7/-2/007	Bedroom 704
003/7/-2/008	Toilet 704
003/7/-2/009	Bedroom 703
003/7/-2/010	Toilet 703
003/7/-2/011	Bedroom 702
003/7/-2/012	Toilet 702
003/7/-2/013	Living room 718
003/7/-2/014	Toilet 718
003/7/-2/015	Bedroom 718
003/7/-2/016	Circulation area 717
003/7/-2/017	Store 717
003/7/-2/018	Living room 717
003/7/-2/019	Bedroom 717
003/7/-2/020	Toilet 717
003/7/-2/021	Circulation area 701
003/7/-2/022	Toilet 701
003/7/-2/023	Bedroom 701
003/7/-2/024	Circulation Area/Stairwell
003/7/-2/025	Boiler Room
003/7/-2/026	Electrical Fuse Cupboard

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 07

Room No	Room Name
003/7/-1/001	Circulation Area
003/7/-1/002	Bedroom 716
003/7/-1/003	Toilet 716
003/7/-1/004	Bedroom 715
003/7/-1/005	Toilet 715
003/7/-1/006	Bedroom 714
003/7/-1/007	Toilet 714
003/7/-1/008	Boiler Tank Cupboard
003/7/-1/009	Bedroom 713
003/7/-1/010	Toilet 713
003/7/-1/011	Bedroom 712
003/7/-1/012	Toilet 712
003/7/-1/013	Circulation Area
003/7/-1/014	Bedroom 707
003/7/-1/015	Toilet 707
003/7/-1/016	Circulation Area 707
003/7/-1/017	Bedroom 708
003/7/-1/018	Toilet 708
003/7/-1/019	Bedroom 709
003/7/-1/020	Toilet 709
003/7/-1/021	Bedroom 710
003/7/-1/022	Toilet 710
003/7/-1/023	Bedroom 711
003/7/-1/024	Toilet 711
003/7/-1/025	Boiler Tank Cupboard
003/7/-2/001	Circulation Area/Stairwell
003/7/-2/002	Circulation Area
003/7/-2/003	Bedroom 706
003/7/-2/004	Toilet 706

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 07

Room No	Room Name
003/7/-2/005	Bedroom 705
003/7/-2/006	Toilet 705
003/7/-2/007	Bedroom 704
003/7/-2/008	Toilet 704
003/7/-2/009	Bedroom 703
003/7/-2/010	Toilet 703
003/7/-2/011	Bedroom 702
003/7/-2/012	Toilet 702
003/7/-2/013	Living room 718
003/7/-2/014	Toilet 718
003/7/-2/015	Bedroom 718
003/7/-2/016	Circulation area 717
003/7/-2/017	Store 717
003/7/-2/018	Living room 717
003/7/-2/019	Bedroom 717
003/7/-2/020	Toilet 717
003/7/-2/021	Circulation area 701
003/7/-2/022	Toilet 701
003/7/-2/023	Bedroom 701
003/7/-2/024	Circulation Area/Stairwell
003/7/-2/025	Boiler Room
003/7/-2/026	Electrical Fuse Cupboard

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 08

Room No	Room Name
003/8/0/001	Office
003/8/0/001A	Vestibule
003/8/0/002	Hall
003/8/0/003	Vestibule
003/8/0/004	Kitchen
003/8/0/005	Circulation Area
003/8/0/006	Pool room
003/8/0/007	Vestibule
003/8/0/008	Entrance

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 09

Room No	Room Name
003/9/-1/001	Bedroom 1
003/9/-1/002	Bedroom 2
003/9/-1/003	Bathroom
003/9/-2/001	Circulation Area/Stairwell
003/9/-2/002	Living Room
003/9/-2/003	Kitchen
003/9/-2/004	Living Room
003/9/-2/005	WC
003/9/-2/006	Boiler Cupboard

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 10

Room No

Room Name

003/10/-1/001

First Floor Living Area

003/10/-2/001

Entrance Hall

003/10/-2/002

Ground Floor Living Area

003/10/-2/003

Toilet



SECTION 5

Survey Report

ROOFS

BUILDING : Block 01

UPRN :

FLOOR : Roofs

ROOM : Roof 001

No : 003/1/R/001

USE :

Element : Covering

CODE : 1

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Natural slate

Fair with several slipped slates

Refix slipped slates

B

3

20

118 m2

19,600

**Year 1
Repair Cost (£)**
588

Photo 1



Photo 2

Position

Element : Covering

CODE : 1

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Bitumenous felt

Fair

No action required

B

8

66 m2

5,413

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Structure**CODE : 1****Description**

Timber joists and rafters

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

35

Quantity

184 m2

**Replacement
Cost (£)**

15,092

**Year 1
Repair Cost (£)****Element : Flashings****CODE : 1****Description**

Lead (inc. in roof)

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

25

Quantity

46 m

**Replacement
Cost (£)**

3,458

**Year 1
Repair Cost (£)****Element : Flashings****CODE : 1****Description**

Galvanised zinc hip

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

25

Quantity

3 m

**Replacement
Cost (£)**

225

**Year 1
Repair Cost (£)**

Element : Rainwater goods

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
CI gutters and downpipes	Fair	No action required	B		25	88 m	6,015	

Element : Chimney stacks/flues

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Brick / render with conc. copes and 6 No. pots	Fair	No action required	B		25	1 No.	4,000	

Element : Decoration

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Gloss paint to CI gutters and downpipes etc.	Fair	No action required	B		3	88 m2	721	

WALLS

BUILDING : Block 01

UPRN :

FLOOR : Elevations

ROOM : Elevation 001

No : 003/1/E/001

USE :

Element : External walls

CODE : 2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Wet Dash

Fair with hairline cracking

Carry out recommendations of
structural engineers report

B

1

20

131 m2

7,163

**Year 1
Repair Cost (£)**
500

Photo 1



Photo 2

Position

Element : External walls

CODE : 2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Window surrounds :cills,lintols
and jambs

Fair

No Action Required

B

35

69 m2

12,262

**Year 1
Repair Cost (£)**

Element : Windows**CODE :2****Description**

7 No. Timber sash and case
single glazed (2m2)
10 No. Timber sash and case
single glazed (3m2)
1 No. Timber fixed transome
(1m2)
1 No. Timber fixed transome
(2m2)

Condition

Fair but requires easing of
sashes,replace missing ropes etc.
Fair but requires repainting

Action

Carry out easing of
sashes,replace missing ropes etc.
Refer to decoration

Cond/Ind

B

Priority

4

L'Expec

10

Quantity

47 m2

**Replacement
Cost (£)**

19,276

**Year 1
Repair Cost (£)**
3,500**Element : Doors****CODE :2****Description**

Timber glazed doors and screen

Condition

Fair but with broken pane

Action

Reglaze pane

Cond/Ind

B

Priority

4

L'Expec

10

Quantity

4 No.

**Replacement
Cost (£)**

3,937

**Year 1
Repair Cost (£)**
50**Element : Decoration****CODE :2****Description**

Re-decoration
All timber and wall finishes

Condition

Fair but with some cills requiring
immediate decoration

Action

Redecorate cills as required

Cond/Ind

B

Priority

3

L'Expec

3

Quantity

191 m2

**Replacement
Cost (£)**

2,611

**Year 1
Repair Cost (£)**
261**Element : Cills****CODE :2****Description**

Concrete cills

Condition

Fair

Action

No Action Required

Cond/Ind

B

L'Expec

25

Quantity

16 m

**Replacement
Cost (£)**

8,000

**Year 1
Repair Cost (£)**

BUILDING : Block 01**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation 002**No** : 003/1/E/002**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Wet Dash

Fair

No Action Required

B

20

153 m2

8,366

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**7 No. Timber sash and case
single glazed (2m2)

Fair but requires repainting

Refer to decoration

B

10

23 m2

9,432

3 No. Timber sash and case
single glazed (3m2)4 No. Timber casement single
glazed some (2m2)**Year 1
Repair Cost (£)**

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration All timber and wall finishes	Fair but with some cills requiring immediate decoration	Redecorate cills as required	B	3	3	176 m2	2,406	240

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		25	10 m	5,000	

BUILDING : Block 01**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation 003**No** : 003/1/E/003**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Wet Dash

Fair

No Action Required

B

1

20

133 m2

7,272

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**Window surrounds :cills,lintols
and jambs

Fair

No Action Required

B

35

30 m2

5,331

**Year 1
Repair Cost (£)****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**4 No. Timber sash and case
single glazed (2m2)

Fair but requires easing of

Carry out easing of

B

4

10

41 m2

16,815

**Year 1
Repair Cost (£)**
530

11 No.Timber sash and case
single glazed (3m2)

sashes,replace missing ropes etc.
Fair but requires repainting

sashes,replace missing ropes etc.
Refer to decoration

Element : Decoration		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Re-decoration All timber and wall finishes	Fair but with some cills requiring immediate decoration	Redecorate cills as required	B	3	3	189	m2	2,583 258
Element : Cills		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		25	15	m	7,500

STRUCTURE

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Circulation Area/Stairwell	No : 003/1/-1/001	USE :

Element : Stairs		CODE : 4							Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)	
Concrete stair	Fair	No action required	B		32	61	m2	20,848	
									Year 1
									Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Circulation Area	No : 003/1/2/001	USE :

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Circulation Area	No : 003/1/2/001	USE :

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Circulation Area	No : 003/1/2/001	USE :

ROOM : Circulation Area	No : 003/1/2/001	USE :
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ROOM : Circulation Area	No : 003/1/2/001	USE :
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ROOM : Circulation Area	No : 003/1/2/001	USE :
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Element : Stairs **CODE :** 4

Element : Stairs **CODE :** 4

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber stair	Fair	No action required	B		35	2 m2	205

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber stair	Fair	No action required	B		35	2 m2	205

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber stair	Fair	No action required	B		35	2 m2	205

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber stair	Fair	No action required	B		35	2 m2	205

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber stair	Fair	No action required	B		35	2 m2	205

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber stair	Fair	No action required	B		35	2 m2	205

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber stair	Fair	No action required	B		35	2 m2	205

Description		Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber stair		Fair	No action required	B		35	2 m2	205

Timber stair	Fair	No action required	B	35	2	m2	205
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Timber stair	Fair	No action required	B	35	2	m2	205
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Timber stair	Fair	No action required	B	35	2	m2	205
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Timber stair	Fair	No action required	B	35	2	m2	205
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Timber stair	Fair	No action required	B	35	2	m2	205
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Timber stair	Fair	No action required	B	35	2	m2	205
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	Year 1
	Repair Cost (£)
1. Replace front suspension	1,200
2. Replace rear suspension	1,500
3. Replace front brakes	800
4. Replace rear brakes	700
5. Replace front wheel bearings	600
6. Replace rear wheel bearings	500
7. Replace front struts	900
8. Replace rear struts	800
9. Replace front shock absorbers	700
10. Replace rear shock absorbers	600
11. Replace front tie rods	400
12. Replace rear tie rods	300
13. Replace front control arms	500
14. Replace rear control arms	400
15. Replace front sway bars	300
16. Replace rear sway bars	200
17. Replace front lower ball joints	400
18. Replace rear lower ball joints	300
19. Replace front upper ball joints	300
20. Replace rear upper ball joints	200
21. Replace front steering knuckles	500
22. Replace rear steering knuckles	400
23. Replace front steering rack	600
24. Replace rear steering rack	500
25. Replace front steering idler arms	200
26. Replace rear steering idler arms	100
27. Replace front steering tie rod ends	300
28. Replace rear steering tie rod ends	200
29. Replace front steering knuckle boots	100
30. Replace rear steering knuckle boots	100
31. Replace front steering knuckle bushings	100
32. Replace rear steering knuckle bushings	100
33. Replace front steering knuckle ball joints	100
34. Replace rear steering knuckle ball joints	100
35. Replace front steering knuckle tie rod ends	100
36. Replace rear steering knuckle tie rod ends	100
37. Replace front steering knuckle idler arms	100
38. Replace rear steering knuckle idler arms	100
39. Replace front steering knuckle sway bars	100
40. Replace rear steering knuckle sway bars	100
41. Replace front steering knuckle control arms	100
42. Replace rear steering knuckle control arms	100
43. Replace front steering knuckle struts	100
44. Replace rear steering knuckle struts	100
45. Replace front steering knuckle shock absorbers	100
46. Replace rear steering knuckle shock absorbers	100
47. Replace front steering knuckle tie rods	100
48. Replace rear steering knuckle tie rods	100
49. Replace front steering knuckle control arms	100
50. Replace rear steering knuckle control arms	100
51. Replace front steering knuckle struts	100
52. Replace rear steering knuckle struts	100
53. Replace front steering knuckle shock absorbers	100
54. Replace rear steering knuckle shock absorbers	100
55. Replace front steering knuckle tie rods	100
56. Replace rear steering knuckle tie rods	100
57. Replace front steering knuckle control arms	100
58. Replace rear steering knuckle control arms	100
59. Replace front steering knuckle struts	100
60. Replace rear steering knuckle struts	100
61. Replace front steering knuckle shock absorbers	100
62. Replace rear steering knuckle shock absorbers	100
63. Replace front steering knuckle tie rods	100
64. Replace rear steering knuckle tie rods	100
65. Replace front steering knuckle control arms	100
66. Replace rear steering knuckle control arms	100
67. Replace front steering knuckle struts	100
68. Replace rear steering knuckle struts	100
69. Replace front steering knuckle shock absorbers	100
70. Replace rear steering knuckle shock absorbers	100
71. Replace front steering knuckle tie rods	100
72. Replace rear steering knuckle tie rods	100
73. Replace front steering knuckle control arms	100
74. Replace rear steering knuckle control arms	100
75. Replace front steering knuckle struts	100
76. Replace rear steering knuckle struts	100
77. Replace front steering knuckle shock absorbers	100
78. Replace rear steering knuckle shock absorbers	100
79. Replace front steering knuckle tie rods	100
80. Replace rear steering knuckle tie rods	100
81. Replace front steering knuckle control arms	100
82. Replace rear steering knuckle control arms	100
83. Replace front steering knuckle struts	100
84. Replace rear steering knuckle struts	100
85. Replace front steering knuckle shock absorbers	100
86. Replace rear steering knuckle shock absorbers	100
87. Replace front steering knuckle tie rods	100
88. Replace rear steering knuckle tie rods	100
89. Replace front steering knuckle control arms	100
90. Replace rear steering knuckle control arms	100
91. Replace front steering knuckle struts	100
92. Replace rear steering knuckle struts	100
93. Replace front steering knuckle shock absorbers	100
94. Replace rear steering knuckle shock absorbers	100
95. Replace front steering knuckle tie rods	100
96. Replace rear steering knuckle tie rods	100
97. Replace front steering knuckle control arms	100
98. Replace rear steering knuckle control arms	100
99. Replace front steering knuckle struts	100
100. Replace rear steering knuckle struts	100
101. Replace front steering knuckle shock absorbers	100
102. Replace rear steering knuckle shock absorbers	100
103. Replace front steering knuckle tie rods	100
104. Replace rear steering knuckle tie rods	100
105. Replace front steering knuckle control arms	100
106. Replace rear steering knuckle control arms	100
107. Replace front steering knuckle struts	100
108. Replace rear steering knuckle struts	100
109. Replace front steering knuckle shock absorbers	100
110. Replace rear steering knuckle shock absorbers	100
111. Replace front steering knuckle tie rods	100
112. Replace rear steering knuckle tie rods	100
113. Replace front steering knuckle control arms	100
114. Replace rear steering knuckle control arms	100
115. Replace front steering knuckle struts	100
116. Replace rear steering knuckle struts	100
117. Replace front steering knuckle shock absorbers	100
118. Replace rear steering knuckle shock absorbers	100
119. Replace front steering knuckle tie rods	100
120. Replace rear steering knuckle tie rods	100
121. Replace front steering knuckle control arms	100
122. Replace rear steering knuckle control arms	100
123. Replace front steering knuckle struts	100
124. Replace rear steering knuckle struts	100
125. Replace front steering knuckle shock absorbers	100
126. Replace rear steering knuckle shock absorbers	100
127. Replace front steering knuckle tie rods	100

BUILDING : Block 01	UPRN :	FLOOR : Level 6 - Third Floor Level
ROOM : Gym	No : 003/1/3/001	USE :

Element : Stairs	CODE : 4							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber stair	Fair	No action required	B		12	3 m2		307
								Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Structure
ROOM : Structure	No : 003/1/St/St	USE :

Element : Frame/Columns		CODE : 4					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Brick structure	Fair	No action required	B		40	m2	
							Year 1 Repair Cost (£)
Element : Floors		CODE : 4					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber floors	Fair	No action required	B		40	m2	
							Year 1 Repair Cost (£)
Element : Stairs		CODE : 4					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	m2	
							Year 1 Repair Cost (£)
Element : Walls		CODE : 4					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Brick/stone walls	Fair Vertical cracks at stairwell	Carry out structural engineer`s recommendations	B		40	m2	
							Year 1 Repair Cost (£)

ROOMS

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Circulation Area/Stairwell	No : 003/1/-1/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	25	m2	854
								Year 1 Repair Cost (£)

Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair, although slight cracking is evident in areas	Monitor	B		5	48	m2	2,624
								Year 1 Repair Cost (£)

Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair, although slight cracking is evident in areas	Monitor	B		20	102	m2	3,486
								Year 1 Repair Cost (£)

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	156	m2	5,331
								Year 1 Repair Cost (£)

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set flush	Fair	No Action Required	B		20	1	No	1,367
								Year 1 Repair Cost (£)

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Poor	Provide new 1 hour fire door set	C	1	Replace/In	1	No	1,367
								Year 1 Repair Cost (£)

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Hardwood timber panelled top & bottom glazed with side frames.	Poor	Upgrade door and frame to 1 hour Ensure laminated glass, smoke seals and intumescent strips	C	1	Replace/In	2	No	3,000
								Year 1 Repair Cost (£)

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set glazed	Fair	No Action Required	B		20	4	No	5,468
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish and nosings	Fair	No Action Required	B		5	76	m2	3,116
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair, although slight cracking is evident in areas	Redecorate during next maintenance cycle	B		2	351	m2	2,879
								Year 1 Repair Cost (£)

BUILDING : Block 01**UPRN** :**FLOOR** : Level 2 - Basement Level MacKinley**ROOM** : Circulation Area**No** : 003/1/-1/002**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	10 m2	341
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	33 m2	1,127
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	10 m2	410
							Year 1 Repair Cost (£)

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	57 m2	467
							Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Store	No : 003/1/-1/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	5 m2		170
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	28 m2		956
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Sheet Vinyl	Fair	No Action Required	B	4	5	5 m2		205
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	2	35 m2	287	

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Bedroom 101	No : 003/1/-1/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	16 m2		546
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	42 m2		1,435
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Poor, worn and stained.	Replace	C	4	Replace/In	16 m2		656
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	58 m2	475	

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Toilet 101	No : 003/1/-1/005	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	5	m2	170
		Year 1 Repair Cost (£)						
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	24	m2	820
		Year 1 Repair Cost (£)						
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1	No	492
		Year 1 Repair Cost (£)						
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	5	m2	205
		Year 1 Repair Cost (£)						

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	29 m2	237
							Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Bedroom 102	No : 003/1/-1/006	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	16 m2		546
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	38 m2		1,435
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	5	16 m2		656
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	62 m2	508
							Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Toilet 102	No : 003/1/-1/007	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	5	m2	170
		Year 1 Repair Cost (£)						
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	24	m2	820
		Year 1 Repair Cost (£)						
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1	No	492
		Year 1 Repair Cost (£)						
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4	m2	164
		Year 1 Repair Cost (£)						

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	31	m2	254
								Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Store	No : 003/1/-1/008	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	2 No		984
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet sheet finish	Fair	No Action Required	B	4	5	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	Replace/In	14	m2	114	

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Store	No : 003/1/-1/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	1 m2		34
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	6 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet floor finish	Fair	No Action Required	B	4	5	1 m2		41
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	5	8 m2	65	

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Bedroom 104	No : 003/1/-1/010	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	20 m2		683
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard finish	Fair	No Action Required	B		20	49 m2		1,674
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Poor, worn and stained.	Replace	C	4	Replace/In	20 m2		820
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	69	m2	565
								Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Store 104	No : 003/1/-1/011	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	9 m2		307
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet sheet finish	Poor	Replace	C	4	Replace/In	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	Replace/In	11	m2	90	

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Toilet 104	No : 003/1/-1/012	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	5 m2		170
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	19 m2		649
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2		164
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C		Replace/In	23	m2	188
								Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Bedroom 105	No : 003/1/-1/013	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	36 m2		1,230
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	5	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	48 m2	393
							Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Toilet 105	No : 003/1/-1/014	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4	m2	136
		Year 1 Repair Cost (£)						
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	24	m2	820
		Year 1 Repair Cost (£)						
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1	No	492
		Year 1 Repair Cost (£)						
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4	m2	164
		Year 1 Repair Cost (£)						

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	28 m2	229	

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Bedroom 103	No : 003/1/-1/015	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	15 m2		512
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	27 m2		922
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	5 m2		170
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	15 m2	615	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	53 m2	434	

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Toilet 103	No : 003/1/-1/016	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	5 m2		170
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	6 m2		205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	2 m2		68
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	17 m2	139	

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Store 103	No : 003/1/-1/017	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	6 m2		205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	2 m2		68
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	12 m2	98	

BUILDING : Block 01	UPRN :	FLOOR : Level 3 - Canongate Street Level Ground
ROOM : Circulation Area	No : 003/1/0/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ornate plaster ceiling	Fair	No Action Required	B		20	20 m2		1,600
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber panelling to walls	Fair	No Action Required	B		20	30 m2		4,000
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Hardwood timber panelled top & bottom glazed	Poor	Rehang doors and refit floor springs - doors to open in one direction. Consider routing intumescent strips and smoke seals to door edges	C	1	Replace/In	2 No		2,187
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Composite - Terrazzo	Fair, with minor pitt marks in	No Action Required	B		12	15 m2		1,845
								Year 1 Repair Cost (£)

isolated areas

Element : Decoration		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	59	m2	483	
								Year 1 Repair Cost (£)	

BUILDING : Block 01	UPRN :	FLOOR : Level 3 - Canongate Street Level Ground
ROOM : Dining Area	No : 003/1/0/002	USE :

Element : Ceilings		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Plasterboard ceiling	Fair, although slight cracking is evident in areas	No Action Required	B		20	124 m2		4,238	Year 1 Repair Cost (£)
Element : Ceilings		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Decorative suspended metal frame with timber panels	Fair	No Action Required	B		25	90 m2		4,921	Year 1 Repair Cost (£)
Element : Walls		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Plasterboard walls	Fair	No Action Required	B		20	126 m2		4,306	Year 1 Repair Cost (£)
Element : Walls		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Pre-finished board	Fair	No Action Required	B		12	50 m2		3,417	Year 1 Repair Cost (£)

Element : Floors		CODE :5																	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity												Replacement Cost (£)	
Vinyl sheet floor finish	Fair	No Action Required	B		5	104	m2											4,265	
																		Year 1 Repair Cost (£)	

Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	20	m2	820
								Year 1 Repair Cost (£)

Element : Decoration		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	254	m2	2,083
								Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Circulation Area	No : 003/1/1/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	11 m2		375
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	36 m2		1,230
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	11 m2		451
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	61 m2	500	

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Bedroom 111	No : 003/1/1/002	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	36 m2		1,230
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	13 m2		533
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	53 m2	434	

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Toilet 111	No : 003/1/1/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	6 m2		205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2		82
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	Make good finish	B	4	2	11 m2	90	

BUILDING : Block 01**UPRN** :**FLOOR** : Level 4 - First Floor Level**ROOM** : Store 117**No** : 003/1/1/004**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	5 m2	170
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	28 m2	956
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B		12	2 m2	82
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Sheet Vinyl	Fair	No Action Required	B	4	5	5 m2	205	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	2	37 m2	303	

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Bedroom 112	No : 003/1/1/005	USE :

Element : Ceilings					CODE :5			
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	13	m2	444
								Year 1 Repair Cost (£)

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	36	m2	1,230
								Year 1 Repair Cost (£)

Element : Doors		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
1 hour fire door set	Fair	No Action Required	B		20	1	No	1,367	
								Year 1 Repair Cost (£)	

Element : Floors							
CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	13 m2	533
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	53 m2	434	

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Toilet 112	No : 003/1/1/006	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	6 m2		205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2		82
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	Make good finish	B	4	2	11 m2	90	

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Bedroom 113	No : 003/1/1/007	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	16 m2		546
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	58 m2		1,982
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Poor, worn and stained.	Replace	C	4	Replace/In	16 m2		656
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair Fair, although with flaky paint	Make good finish	B	4	2	78 m2	639	50

BUILDING : Block 01**UPRN** :**FLOOR** : Level 4 - First Floor Level**ROOM** : Toilet 113**No** : 003/1/1/008**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	6 m2	205
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2	82
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	2	12 m2	98	

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Bedroom 114	No : 003/1/1/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	16 m2		546
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	58 m2		1,982
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	16 m2		656
								Year 1 Repair Cost (£)

Element : Decoration

CODE : 5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair Fair, although with flaky paint	Make good finish	B	4	2	78 m2	639	50

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Toilet 114	No : 003/1/1/010	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	5	m2	170
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	15	m2	512
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2	m2	82
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1	No	492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	5 m2	205	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	2	22 m2	180	50

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Bedroom 115	No : 003/1/1/011	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	26 m2		888
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	15 m2		615
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	42	m2	344
								Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Circulation Area	No : 003/1/1/011A	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	14 m2	114	

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Toilet 115	No : 003/1/1/012	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	6	m2	205
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	10	m2	341
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	8	m2	328
							Year 1 Repair Cost (£)	

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1	No	492
							Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	5 m2	205	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	18 m2	147	

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Circulation Area	No : 003/1/2/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	22 m2		751
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	72 m2		2,460
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	22 m2		902
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	94 m2	771
							Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Bedroom 121	No : 003/1/2/002	USE :

Element : Ceilings	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	13 m2		444
								Year 1 Repair Cost (£)

Element : Walls	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	6 m2		205
								Year 1 Repair Cost (£)

Element : Walls	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	21 m2		717
								Year 1 Repair Cost (£)

Element : Doors	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	13 m2	533	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	44 m2	360	

BUILDING : Block 01**UPRN** :**FLOOR** : Level 5 - Second Floor Level**ROOM** : Toilet 121**No** : 003/1/2/003**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	3 m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2	82
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	2 m2	68
							Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

5

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

4

L'Expec

2

Quantity

11 m2

**Replacement
Cost (£)**

90

**Year 1
Repair Cost (£)**

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Store 126	No : 003/1/2/004	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	5	m2	170
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	14	m2	478
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B		12	2	m2	82
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	14	m2	478
							Year 1 Repair Cost (£)	

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Sheet Vinyl	Fair	No Action Required	B	4	5	5 m2	205
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	2	37 m2	303
							Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Bedroom 122	No : 003/1/2/005	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	13	m2	444
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	6	m2	205
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	21	m2	717
							Year 1 Repair Cost (£)	

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1	No	1,367
							Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	13 m2	533	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	44 m2	360	

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Toilet 122	No : 003/1/2/006	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	5 m2		170
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2		82
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	2 m2		68
								Year 1 Repair Cost (£)

Element : Doors

CODE :5

Description

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

5

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

4

L'Expec

2

Quantity

13 m2

**Replacement
Cost (£)**

106

**Year 1
Repair Cost (£)**

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Bedroom 123	No : 003/1/2/007	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	17	m2	581
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	18	m2	615
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	18	m2	615
							Year 1 Repair Cost (£)	

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1	No	1,367
							Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	17 m2	697	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	57 m2	467	

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Toilet 123	No : 003/1/2/008	USE :

Element : Ceilings					CODE :5			
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4	m2	136
								Year 1 Repair Cost (£)

Element : Walls		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	8 m2	273
							Year 1 Repair Cost (£)

Element : Walls		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2	82
							Year 1 Repair Cost (£)

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Softwood timber flush	Fair	No Action Required	B		20	1 No	492	
							Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	14 m2	114	

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Bedroom 124	No : 003/1/2/009	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	17	m2	581
							Year 1 Repair Cost (£)	
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	22	m2	751
							Year 1 Repair Cost (£)	
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	13	m2	444
							Year 1 Repair Cost (£)	
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1	No	1,367
							Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	17 m2	697	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	56 m2	459	

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Toilet 124	No : 003/1/2/010	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	5	m2	170
							Year 1 Repair Cost (£)	
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	15	m2	512
							Year 1 Repair Cost (£)	
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2	m2	82
							Year 1 Repair Cost (£)	
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1	No	492
							Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	5 m2	205	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	2	22 m2	180	50

BUILDING : Block 01**UPRN** :**FLOOR** : Level 6 - Third Floor Level**ROOM** : Gym**No** : 003/1/3/001**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	116 m2	3,964	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Painted stone wall	Fair	No Action Required	B		32	27 m2	4,429	

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	5	96 m2	3,937	

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	2	149 m2	287	

FIXTURES & FITTINGS

BUILDING : Block 01

UPRN :

FLOOR : Level 2 - Basement Level MacKinley

ROOM : Store

No : 003/1/-1/008

USE :

Element : Shelving

CODE :6

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Timber shelving

Fair

No action required

B

20

2 m

54

**Year 1
Repair Cost (£)**

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Store	No : 003/1/-1/009	USE :

Element : Shelving	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber shelving	Fair	No action required	B		20	1 m		27
								Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Store 104	No : 003/1/-1/011	USE :

Element : Shelving	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber shelving	Fair	No action required	B		20	2 m		54
								Year 1 Repair Cost (£)

SANITARY

BUILDING : Block 01

UPRN :

FLOOR : Level 2 - Basement Level MacKinley

ROOM : Toilet 101

No : 003/1/-1/005

USE :

Element : WC

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328	

Element : Basins

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328	

Element : Showers

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Shower cabinet with ceramic tiled walls and glazed door	Fair	No action required	B		15	1 No	1,148	

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Toilet 102	No : 003/1/-1/007	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Toilet 104	No : 003/1/-1/012	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WHB	Fair	No action required	B		20	1	No	328	
								Year 1 Repair Cost (£)	

Element : Showers		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		15	1	No	1,148	
								Year 1 Repair Cost (£)	

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Toilet 105	No : 003/1/-1/014	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Toilet 103	No : 003/1/-1/016	USE :

Element : WC		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)
Element : Sinks		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic sink	Fair	No action required	B		10	1	No	328
								Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Toilet 111	No : 003/1/1/003	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Store 117	No : 003/1/1/004	USE :

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Store 117	No : 003/1/1/004	USE :

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Store 117	No : 003/1/1/004	USE :

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Store 117	No : 003/1/1/004	USE :

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Store 117	No : 003/1/1/004	USE :

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Store 117	No : 003/1/1/004	USE :

Element : Sinks **CODE :7**

Element : Sinks **CODE :7**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328

Stainless steel sink	Fair	No action required	B	10	1	No	328
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Stainless steel sink	Fair	No action required	B	10	1	No	328
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Stainless steel sink	Fair	No action required	B	10	1	No	328
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Stainless steel sink	Fair	No action required	B	10	1	No	328
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Stainless steel sink	Fair	No action required	B	10	1	No	328
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Stainless steel sink	Fair	No action required	B	10	1	No	328
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328
							Year 1 Repair Cost (£)

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328
							Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Toilet 112	No : 003/1/1/006	USE :

Element : WC		CODE :7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)

Element : Basins		CODE :7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)

Element : Showers		CODE :7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 01**UPRN** :**FLOOR** : Level 4 - First Floor Level**ROOM** : Toilet 113**No** : 003/1/1/008**USE** :**Element** : WC**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WC cistern and bowl

Fair

No action required

B

20

1

No

328

**Year 1
Repair Cost (£)****Element** : Basins**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WHB

Fair

No action required

B

20

1

No

328

**Year 1
Repair Cost (£)****Element** : Showers**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Shower heads/mixer valve

Fair

No action required

B

15

1

No

1,148

**Year 1
Repair Cost (£)****Element** : Baths**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic bath

Fair

No action required

B

20

1

No

656

**Year 1
Repair Cost (£)**

BUILDING : Block 01	UPRN :	FLOOR : Level 4 - First Floor Level
ROOM : Toilet 114	No : 003/1/1/010	USE :

Element : WC		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 01**UPRN** :**FLOOR** : Level 4 - First Floor Level**ROOM** : Toilet 115**No** : 003/1/1/012**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

Element : Baths**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic bath	Fair	No action required	B		20	1 No	656
							Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Toilet 121	No : 003/1/2/003	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Store 126	No : 003/1/2/004	USE :

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Store 126	No : 003/1/2/004	USE :

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Store 126	No : 003/1/2/004	USE :

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Store 126	No : 003/1/2/004	USE :

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Store 126	No : 003/1/2/004	USE :

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Store 126	No : 003/1/2/004	USE :

Element : Sinks **CODE :7**

Element : Sinks **CODE :7**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink	Fair	No action required	B		10	1 No	328

Stainless steel sink	Fair	No action required	B	10	1	No	328
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Stainless steel sink	Fair	No action required	B	10	1	No	328
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Stainless steel sink	Fair	No action required	B	10	1	No	328
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Stainless steel sink	Fair	No action required	B	10	1	No	328
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Stainless steel sink	Fair	No action required	B	10	1	No	328
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Stainless steel sink	Fair	No action required	B	10	1	No	328
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Stainless steel sink	Fair	No action required	B	10	1	No	328
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Year 1
Repair Cost (£)

Year 1
Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Toilet 122	No : 003/1/2/006	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Toilet 123	No : 003/1/2/008	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)

Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)

Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower heads/mixer valve	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

Element : Baths		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic bath	Fair	No action required	B		20	1	No	656
								Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN :	FLOOR : Level 5 - Second Floor Level
ROOM : Toilet 124	No : 003/1/2/010	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

HEALTH & SAFETY

BUILDING : Block 01	UPRN :	FLOOR : Level 2 - Basement Level MacKinley
ROOM : Circulation Area/Stairwell	No : 003/1/-1/001	USE :

Element : Health & Safety Matters		CODE : 8							Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity			
Inadequate barriers to glazing at low level	No barrier to windows on stairwell	Provide guards	C	1	Replace/In	1	Item		900
									Year 1 Repair Cost (£)

MECHANICAL SERVICES

BUILDING : Block 01

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/1/M&E/

USE :

Element : Gas Heating System

CODE : 13

Description

Heating was provided by 2 Ideal Viceroy Gas fired boilers located in the Whiteford block. Hot water from system was pumped round the bld to a number of convection radiators, by a Biral pumping setup.

Condition

The heating and its associated equipment were in fair condition. It was noted that throughout the building a number of TRV's are missing from the radiators.

Action

Continue maintenance
It is recommended that the TRV's are replaced.

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

10,000

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Extraction System

CODE : 13

Description

There was a mix of Xodus and Vent Axia single point extractors in use within the toilets in the

Condition

The condition of these were fair

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

3,000

**Year 1
Repair Cost (£)**

with no defects noted.

Description		Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Hot water was provided by the main boilers to a large Calorifier within the boiler room. , the water was pumped throughout the bld by Biral pumps.		The condition of this was fair with no defects noted.	Continue Maintenance	B		15		10,000
								Year 1 Repair Cost (£)

ELECTRICAL SERVICES

BUILDING : Block 01

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/1/M&E/

USE :

Element : Mains Distribution

CODE : 14

Description

Power distribution was via a mix of Wylex, GET and Dorman Smith DBs located around the bld. Wiring was contained within trunking. This also houses the IT & Telephone system.

Condition

All were in a fair condition with no defects noted. However there was evidence of extension leads and 3-way adapters in use throughout the bld.

Action

Continue Maintenance
It is recommended that the use of extensions is reviewed and the removal of 3-way adapters is considered.

Cond/Ind Priority

B

L'Expec

20

Quantity

Replacement Cost (£)

40,000

Year 1

Repair Cost (£)

Photo 1

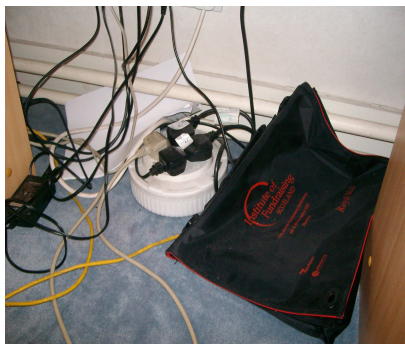


Photo 2

Position

Element : Light Fittings Internal

CODE : 14

Description

In the main this was a mix of T5, T8, (fitted with anti glare diffusers) 2D, CFL, tungsten and halogen fittings. Some corridors were

Condition

The condition of the system was

Action

Continue maintenance

Cond/Ind Priority

B

L'Expec

20

Quantity

Replacement Cost (£)

25,000

Year 1

Repair Cost (£)

controlled by PIR's, all other lighting were manually controlled.

fair with no defects noted.

This survey did not look at system compliance, a further lighting compliance survey would be required.

Element : Light Fittings Internal

CODE : 14

Description

This consisted of a mix of maintained and non-maintained self contained fittings.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

8,000

**Year 1
Repair Cost (£)**

Element : Light Fittings External

CODE : 14

Description

This consisted of a number of SON bulkhead fittings located around the boundary wall, these are controlled by timers.

Condition

The condition of the lighting and its associated equipment was fair with no defects noted.

Action

Continue Maintenance
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

1,500

**Year 1
Repair Cost (£)**

Element : Fire Alarms

CODE : 14

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
An automatic system consisting of a number of break glass manual call points, detectors and audible alarms connected to the main 3404 fire alarm control panel.	The condition of the system was fair with no defects noted.	Continue Maintenance. This survey did not look at system compliance, a further in depth compliance survey would be required.	B		20		10,000	

ROOFS

BUILDING : Block 02

UPRN :

FLOOR : Roof

ROOM : Roof

No : 003/2/R/001

USE :

Element : Covering

CODE : 1

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Natural slate

Fair, although slipped slates in isolated areas

Refix slipped slates

B

4

32

172 m2

21,162

**Year 1
Repair Cost (£)**
2,000

Photo 1



Photo 2



Position



Element : Structure

CODE : 1

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Timber joists and rafters

Fair

No action required

B

32

172 m2

14,108

**Year 1
Repair Cost (£)**

Element : Flashings

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Lead (inc. in roof)	Fair	No action required	B		32	28 m	2,105	

Element : Flashings

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Zinc ridge piece	Fair	No action required	B		32	20 m	1,503	

Element : Rainwater goods

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Cast iron gutters and downpipes	Fair	No action required	B		10	90 m	6,151	

Photo 1



Photo 2

Position

Element : Chimney stacks/flues

CODE : 1

Description

Brick / render

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

32

Quantity

2 No.

**Replacement
Cost (£)**

10,000

**Year 1
Repair Cost (£)**

Element : Decoration

CODE : 1

Description

Painterwork to gutters and
downpipes

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

2

Quantity

90 m2

**Replacement
Cost (£)**

2,000

**Year 1
Repair Cost (£)**

Element : Roof Lights

CODE : 1

Description

2 no. Velux windows

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

15

Quantity

2

**Replacement
Cost (£)**

1,200

**Year 1
Repair Cost (£)**

Element : Roof Lights

CODE : 1

Description

2 no. rooflights

Condition

Fair, although showing signs of
age

Action

No action required

Cond/Ind Priority

B

L'Expec

5

Quantity

2

**Replacement
Cost (£)**

**Year 1
Repair Cost (£)**

WALLS

BUILDING : Block 02

UPRN :

FLOOR : Elevations

ROOM : Elevation

No : 003/2/E/001

USE :

Element : External walls

CODE : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Render finish (wet-dash)	Fair	No Action Required	B		10	179 m2	12,500	

Photo 1



Photo 2

Position

Element : Windows

CODE : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber softwood sash and case single-glazed windows	Fair, although general overhaul required, including repairs and replacement of missing and snapped sash ropes	Overhaul windows	B	4	10	28 m2	11,483	2,000

Photo 1



Photo 2



Position

**Element : Doors****CODE :2****Description**

Softwood timber panelled doors

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

10

Quantity

2 No.

Replacement Cost (£)

1,968

Year 1 Repair Cost (£)**Element : Decoration****CODE :2****Description**

Masonry paint

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

179 m2

Replacement Cost (£)

2,447

Year 1 Repair Cost (£)**Element : Decoration****CODE :2****Description**

Painterwork to windows and doors

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec**Quantity**

28 m2

Replacement Cost (£)

382

Year 1 Repair Cost (£)

Element : Other

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

Replacement
Cost (£)

Timber entrance canopy with lead
covering

Fair

No Action Required

B

32

1

3,000

Year 1
Repair Cost (£)

Photo 1



Photo 2



Position

Element : Cills

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

Replacement
Cost (£)

Concrete cills

Fair

No Action Required

B

25

14 m

7,000

Year 1
Repair Cost (£)

BUILDING : Block 02**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 003/2/E/002**USE** :**Element** : External walls**CODE** : 2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Render finish (wet-dash)

Fair

No Action Required

B

10

192 m2

13,000

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** : 2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Timber softwood sash and case
single-glazed windowsFair, although general overhaul
required, including repairs and
replacement of missing and
snapped sash ropes

Overhaul windows

Note: Provisional sum included

B

4

10

36 m2

14,764

**Year 1
Repair Cost (£)**
3,000

Photo 1



Photo 2

Position

Element : Doors**CODE :2****Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**1 no. Softwood timber panelled
door

Fair

No Action Required

B

10

3 No.

2,952

1 no. Softwood timber flush door

**Year 1
Repair Cost (£)**

1 no. Softwood timber louvred door

Photo 1

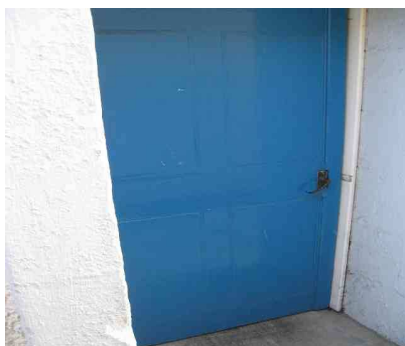
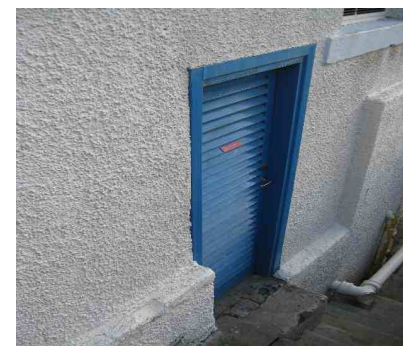


Photo 2



Position



Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Masonry paint	Fair	No Action Required	B		2	192 m2	2,624	

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Painterwork to windows and doors	Fair	No Action Required	B			6 m2	82	

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		25	25 m	12,500	

EXTERNAL GROUNDS

BUILDING : Block 02

UPRN :

FLOOR : External Grounds

ROOM : External Grounds

No : 003/2/EG/EG

USE :

Element : Roads & Parking Areas

CODE : 3

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Tarmacadam roads and parking

Fair

No Action Required

B

15

628 m2

51,512

**Year 1
Repair Cost (£)**

Photo 1



Photo 2



Position



Element : Underground Drainage

CODE : 3

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Surface and foul water drainage

Fair

No Action Required

B

35

1

**Year 1
Repair Cost (£)**

Element : Paths & Paving

CODE :3

Description

Concrete slab paths/paving

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

10

Quantity

438 m2

**Replacement
Cost (£)**

29,939

**Year 1
Repair Cost (£)**

Photo 1



Photo 2



Position



Element : Paths & Paving

CODE :3

Description

Concrete paths

Condition

Fair, although slight cracking in areas

Action

Make good finish

Cond/Ind Priority

B

4

L'Expec

10

Quantity

236 m2

**Replacement
Cost (£)**

9,679

**Year 1
Repair Cost (£)**

300

Photo 1



Photo 2



Position



Element : Paths & Paving

CODE :3

Description

Concrete slab crazy paving,
including stepped slabbing

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

10

Quantity

220 m2

**Replacement
Cost (£)**

15,038

**Year 1
Repair Cost (£)**

Photo 1



Photo 2



Position



Element : Paths & Paving

CODE :3

Description

Monoblock paths/paving

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

15

Quantity

16 m2

**Replacement
Cost (£)**

874

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Paths & Paving		CODE :3						Replacement Cost (£)	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)	
Timber finish	Fair	No Action Required	B		15	20	m2	820	

Photo 1



Photo 2

Position

Element : Steps/ramps		CODE :3						Replacement Cost (£)	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)	
Concrete steps/ramps	Fair	No Action Required	B		20	68	m2	13,944	

Photo 1

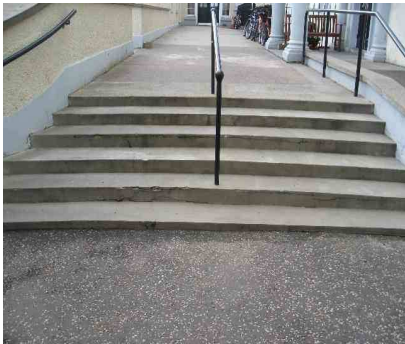
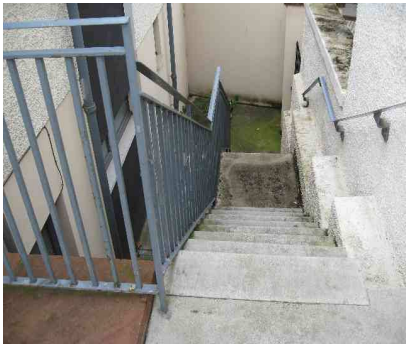


Photo 2



Position



Element : Handrails

CODE : 3

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Metal handrails	Fair	No Action Required	B		15	10 m	683	

Photo 1



Photo 2

Position

Element : Boundary fencing/walls

CODE : 3

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Common brick/render with cope	Fair, although render repairs required in areas	Repair damaged areas	B		20	452 m2	43,255	

Photo 1



Photo 2



Position



Element : Boundary fencing/walls **CODE :** 3

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Metal railings	Fair	No Action Required	B		15	46 m	5,030	

Photo 1



Photo 2



Position

Element : Boundary fencing/walls **CODE :** 3

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Sandstone boundary wall	Fair	No Action Required	B		20	66 m2	27,068	

Photo 1



Photo 2



Position

Element : Boundary fencing/walls **CODE :**3

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Brick retaining wall	Fair	No Action Required	B		20	120 m2	26,248	

Photo 1



Photo 2

Position

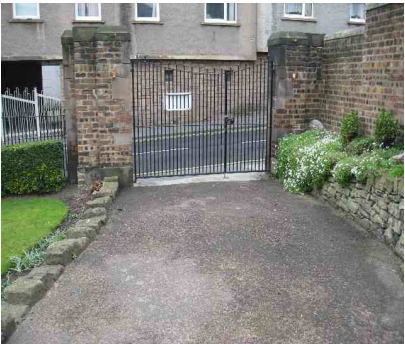
Element : Boundary fencing/walls **CODE :**3

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Metal gates	Fair	No Action Required	B		15	7 m	7,000	

Photo 1



Photo 2



Position



STRUCTURE

BUILDING : Block 02	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Circulation Area/Stairwell	No : 003/2/-2/001	USE :

Element : Stairs		CODE : 4					Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	72 m2	24,607
							Year 1
							Repair Cost (£)

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BUILDING : Block 02	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Circulation Area/Stairs	No : 003/2/1/002	USE :

Element : Stairs		CODE : 4						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Concrete stair	Fair	No action required	B		40	4	m2	1,367
								Year 1
								Repair Cost (£)

BUILDING : Block 02	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Circulation Area	No : 003/2/2/001	USE :

Element : Stairs		CODE : 4						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Concrete stair	Fair	No action required	B		40	4	m2	1,367
								Year 1
								Repair Cost (£)

BUILDING : Block 02	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Circulation Area	No : 003/2/2/002	USE :

Element : Stairs		CODE : 4						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Concrete stair	Fair	No action required	B		40	4	m2	1,367
								Year 1 Repair Cost (£)

BUILDING : Block 02	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Circulation Area/Stairs	No : 003/2/2/020	USE :

BUILDING : Block 02	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Circulation Area/Stairs	No : 003/2/2/020	USE :

BUILDING : Block 02	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Circulation Area/Stairs	No : 003/2/2/020	USE :

ROOM : Circulation Area/Stairs	No : 003/2/2/020	USE :
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ROOM : Circulation Area/Stairs	No : 003/2/2/020	USE :
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ROOM : Circulation Area/Stairs	No : 003/2/2/020	USE :
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Element : Stairs **CODE :** 4

Element : Stairs **CODE :** 4

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	4 m2	1,367

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	4 m2	1,367

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	4 m2	1,367

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	4 m2	1,367

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	4 m2	1,367

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	4 m2	1,367

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	4 m2	1,367

Concrete stair	Fair	No action required	B	40	4	m2	1,367
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Concrete stair	Fair	No action required	B	40	4	m2	1,367
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Concrete stair	Fair	No action required	B	40	4	m2	1,367
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Concrete stair	Fair	No action required	B	40	4	m2	1,367
----------------	------	--------------------	---	----	---	----	-------

Concrete stair	Fair	No action required	B	40	4	m2	1,367
----------------	------	--------------------	---	----	---	----	-------

Concrete stair	Fair	No action required	B	40	4	m2	1,367
----------------	------	--------------------	---	----	---	----	-------

Concrete stair	Fair	No action required	B	40	4	m2	1,367
----------------	------	--------------------	---	----	---	----	-------

Concrete stair	Fair	No action required	B	40	4	m2	1,367
----------------	------	--------------------	---	----	---	----	-------

Year 1
Repair Cost (£

Repair Cost (£

BUILDING : Block 02	UPRN :	FLOOR : Level 6 - Third Floor Level
ROOM : Store	No : 003/2/3/002	USE :

Element : Stairs	CODE : 4							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber stair	Fair	No action required	B		20	1 m2		102
								Year 1 Repair Cost (£)

BUILDING : Block 02	UPRN :	FLOOR : Structure
ROOM : Structure	No : 003/2/St/St	USE :

Element : Floors		CODE : 4															
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)									
Concrete floor	Fair	No action required	B		40	128	m2	20,998									
																Year 1 Repair Cost (£)	

Element : Floors		CODE : 4					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber floor	Fair	No action required	B		40	512 m2	52,496
							Year 1 Repair Cost (£)

Element : Walls		CODE : 4						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Brick & render	Fair	No action required	B		40	1	m2	150
								Year 1 Repair Cost (£)

ROOMS

BUILDING : Block 02

UPRN :

FLOOR : Level 2 - Basement Level

ROOM : Store

No : 003/2/-1/001

USE :

Element : Ceilings

CODE : 5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Lath & plaster ceiling

Fair, although damaged in
isolated areas

Make good finish

B

4

2

4

m2

218

**Year 1
Repair Cost (£)**
50

Element : Walls

CODE : 5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Plaster walls

Fair, although bossed and
damaged in areas

Make good bossed and damaged
plasterwork

B

4

20

25

m2

1,025

**Year 1
Repair Cost (£)**
100

Element : Doors

CODE : 5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Softwood timber flush

Fair, although showing signs of
age

No Action Required

B

5

1

No

492

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Composite - Linitol	Fair	No Action Required	B		20	4 m2	437	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	D	4	Replace/In	29 m2	672	

BUILDING : Block 02	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Store	No : 003/2/-1/002	USE :

Element : Ceilings		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Lath & plaster ceiling	Fair, although damaged in isolated areas	Make good finish	B	4	2	28	m2	1,531	
								Year 1 Repair Cost (£)	200
Element : Walls		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Brick pointing (painted finish)	Fair	No Action Required	B		20	26	m2	710	
								Year 1 Repair Cost (£)	
Element : Walls		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Plaster walls	Fair, although bossed and damaged in areas	Make good bossed and damaged plasterwork	B	4	20	28	m2	1,148	
								Year 1 Repair Cost (£)	250
Element : Doors		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Softwood timber panelled top glazed	Poor, at end of economic lifespan.	Replace	D	4	Replace/In	1	No	656	
								Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Composite - Linatol	Fair, with isolated cracking	Make good finish	B	4	20	28 m2	3,062	200

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	82 m2	672	

BUILDING : Block 02	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Store	No : 003/2/-1/003	USE :

Element : Ceilings		CODE :5						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Lath & plaster ceiling	Fair, although damaged in isolated areas	Make good finish	B	4	2	6	m2	328
								Year 1
								Repair Cost (£)
								100

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair, although bossed and damaged in areas	Make good bossed and damaged plasterwork	B	4	10	20	m2	820
								Year 1 Repair Cost (£)
								200

Element : Doors		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Softwood timber panelled top glazed	Fair	No Action Required	B		5	1	No	656	
								Year 1 Repair Cost (£)	

Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		3	6	m2	246
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	26 m2	672	

BUILDING : Block 02	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Store	No : 003/2/-1/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster ceiling	Fair, although damaged in isolated areas	Make good finish	B	4	2	8 m2		273
								Year 1 Repair Cost (£)
								200
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	40 m2		1,640
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		10	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted Concrete	Fair	No Action Required	B		20	8 m2		874
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	50 m2	410	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Store**No** : 003/2/-1/005**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster ceiling	Fair, although damaged in isolated areas	Make good finish	B	4	2	8 m2	273
							Year 1 Repair Cost (£) 100

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	30 m2	1,230
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber louvred door	Fair	No Action Required	B		10	1 m2	341
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Composite - Linatol	Fair	No Action Required	B		20	8 m2	874
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	40 m2	328	

BUILDING : Block 02	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Store	No : 003/2/-1/006	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster ceiling	Poor	Replace	D	4	Replace/In	1	m2	54
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		10	2	m2	82
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		5	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted Concrete	Fair	No Action Required	B		20	1	m2	68
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	3 m2	24	

BUILDING : Block 02	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Store	No : 003/2/-1/007	USE :

Element : Ceilings		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Lath & plaster ceiling	Fair, although damaged in isolated areas	Make good finish	B	4	2	25	m2	1,367	
								Year 1 Repair Cost (£)	100
Element : Walls		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Plaster walls	Fair, although bossed and damaged in areas	Make good bossed and damaged plasterwork	B	4	10	40	m2	1,640	
								Year 1 Repair Cost (£)	100
Element : Doors		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Softwood timber panelled top glazed	Fair	No Action Required	B		5	1	No	656	
								Year 1 Repair Cost (£)	
Element : Floors		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Composite - Linitol	Fair, although slight cracking is evident in areas	Make good finish	B	4	20	25	m2	2,734	
								Year 1 Repair Cost (£)	200

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	59 m2	483	

BUILDING : Block 02	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Store	No : 003/2/-1/008	USE :

Element : Ceilings		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Lath & plaster ceiling	Fair, although damaged in isolated areas	Make good finish	B	4	2	9	m2	492	
								Year 1 Repair Cost (£)	100
Element : Walls		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Plaster walls	Fair, although bossed and damaged in areas	Make good bossed and damaged plasterwork	B	4	10	28	m2	1,148	
								Year 1 Repair Cost (£)	100
Element : Doors		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Softwood timber flush	Fair	No Action Required	B		10	1	No	492	
								Year 1 Repair Cost (£)	
Element : Floors		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Composite - Linitol	Fair, although slight cracking is evident in areas	Make good finish	B	4	20	9	m2	984	
								Year 1 Repair Cost (£)	100

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	37 m2	303	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Circulation Area/Stairwell**No** : 003/2/-2/001**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster ceiling	Fair	No Action Required	B		5	16 m2	874
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		15	266 m2	10,909
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	3 No	4,101
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Composite - Linatol	Fair	No Action Required	B		20	16 m2	1,749
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish, with colour-contrasted step nosings.	Fair	No Action Required	B		5	72 m2	3,500	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	282 m2	2,313	

BUILDING : Block 02	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Circulation Area	No : 003/2/0/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	23 m2		786
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	65 m2		2,221
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	23 m2		943
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	88 m2	721	

BUILDING : Block 02	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Kitchen	No : 003/2/0/002	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Suspended grid system with fibreboard tiles	Fair	No Action Required	B		15	56 m2		1,913
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		15	82 m2		2,802
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	70 m2		2,870
								Year 1 Repair Cost (£)

BUILDING : Block 02**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Circulation Area**No** : 003/2/0/003**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Suspended grid system with
plasterboard tiles

Fair

No Action Required

B

15

9 m2

307

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster walls

Fair

No Action Required

B

20

20 m2

820

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

5

9 m2

369

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

1

20 m2

164

**Year 1
Repair Cost (£)**

BUILDING : Block 02**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Bedroom 201**No** : 003/2/0/004**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	15 m2	512
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	22 m2	902
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	22 m2	751
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	15 m2	615	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	59 m2	483	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Toilet 201**No** : 003/2/0/005**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	5 m2	170
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	5 m2	205
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	23 m2	786
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	5 m2	205	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	33 m2	270	

BUILDING : Block 02	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Store 211	No : 003/2/0/006	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Suspended grid system with plasterboard tiles	Fair	No Action Required	B		5	9 m2		307
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	16 m2		546
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	16 m2		656
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet floor finish	Fair	No Action Required	B		20	9 m2	369	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	41 m2	336	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Bedroom 202**No** : 003/2/0/009**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	14 m2	478
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	8 m2	328
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	32 m2	1,093
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair, although slightly worn and soiled in areas.	Clean carpet	B	4	2	14 m2	574	50

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	54 m2	442	

BUILDING : Block 02	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Toilet 202	No : 003/2/0/010	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	4 m2		164
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	16 m2	131	

BUILDING : Block 02	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bedroom 203	No : 003/2/0/011	USE :

Element : Ceilings							
CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	14 m2	478
							Year 1 Repair Cost (£)

Element : Walls		CODE :5																	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity												Replacement Cost (£)	
Plaster walls	Fair	No Action Required	B		20	8	m2											328	
																		Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Plasterboard walls	Fair	No Action Required	B		20	32 m2	1,093	
							Year 1 Repair Cost (£)	

Element : Doors		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
1 hour fire door set	Fair	No Action Required	B		20	1	No	1,367	
								Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		2	14 m2	574	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	54 m2	442	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Toilet 203**No** : 003/2/0/012**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	12 m2	410
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	4 m2	164
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	16 m2	131	

BUILDING : Block 02	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Circulation Area	No : 003/2/1/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	18 m2		615
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	52 m2		1,777
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	18 m2		738
								Year 1 Repair Cost (£)
Element : Decoration		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	70 m2		574
								Year 1 Repair Cost (£)

BUILDING : Block 02	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Circulation Area/Stairs	No : 003/2/1/002	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Suspended grid system with plasterboard tiles	Fair	No Action Required	B		15	15 m2		512
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	37 m2		1,517
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish, with colour-contrasted step nosings.	Fair	No Action Required	B		5	15 m2		665
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	37 m2	303	

BUILDING : Block 02	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bedroom 315	No : 003/2/1/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	15 m2		512
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	22 m2		902
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	22 m2		751
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair, although slightly worn and soiled in areas.	Clean carpet	B	4	5	15 m2	615	50

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	59 m2	483	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Toilet 315**No** : 003/2/1/004**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	5 m2	170
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	5 m2	205
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	23 m2	786
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	5 m2	205	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	33 m2	270	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Store**No** : 003/2/1/005**USE** :**Element** : Ceilings**CODE** :5**Description**Suspended grid system with
plasterboard tiles**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

5

Quantity

9 m2

**Replacement
Cost (£)**

307

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description**

Plasterboard walls

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

16 m2

**Replacement
Cost (£)**

546

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description**

Plaster walls

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

16 m2

**Replacement
Cost (£)**

656

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description**

1 hour fire door set

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet floor finish	Fair	No Action Required	B		20	9 m2	369	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	41 m2	336	

BUILDING : Block 02	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Living Room 212	No : 003/2/1/008	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	31 m2		1,271
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	11 m2		375
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	13 m2	533	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	55 m2	451	

BUILDING : Block 02	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bedroom 212	No : 003/2/1/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	35 m2		1,435
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	11 m2		375
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	13 m2		533
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	59 m2	483	

BUILDING : Block 02	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Toilet 212	No : 003/2/1/010	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	4 m2		164
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	6 m2		246
								Year 1 Repair Cost (£)

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	16 m2	131	

BUILDING : Block 02	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bedroom 214	No : 003/2/1/011	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	18 m2		615
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	38 m2		1,298
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	18 m2		738
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	56 m2	459	

BUILDING : Block 02	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Toilet 214	No : 003/2/1/012	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	5 m2		205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	13 m2		444
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor, marked and damaged finish	Redecorate	B	4	Replace/In	17 m2	139	

BUILDING : Block 02	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bedroom 215	No : 003/2/1/013	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	18 m2		615
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	38 m2		1,298
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	18 m2		738
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	56 m2	459	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Toilet 215**No** : 003/2/1/014**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	5 m2	205
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	13 m2	444
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor, marked and damaged finish	Redecorate	B	4	Replace/In	17 m2	139	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Bedroom 216**No** : 003/2/1/015**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	14 m2	478
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	8 m2	328
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	32 m2	1,093
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	14 m2	574	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	54 m2	442	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Toilet 216**No** : 003/2/1/016**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	12 m2	410
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	4 m2	164
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	16 m2	131	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Bedroom 217**No** : 003/2/1/017**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	14 m2	478
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	8 m2	328
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	32 m2	1,093
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	14 m2	574	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	54 m2	442	

BUILDING : Block 02	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Toilet 217	No : 003/2/1/018	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	4 m2		164
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	16 m2	131	

BUILDING : Block 02	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Electrical Fuse Cupboard	No : 003/2/1/019	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	1	m2	34
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	2	m2	82
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Compressed board	Fair	No Action Required	B		20	1	m2	82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	3 m2	24	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Circulation Area**No** : 003/2/2/001**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2	410	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	31 m2	1,059	

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish, with colour-contrasted step nosings.	Fair	No Action Required	B		5	12 m2	738	

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	31 m2	254	

BUILDING : Block 02	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Circulation Area	No : 003/2/2/002	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Suspended grid system with plasterboard tiles	Fair	No Action Required	B		15	24 m2		820
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	63 m2		2,153
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish, with colour-contrasted step nosings.	Fair	No Action Required	B		5	24 m2		984
								Year 1 Repair Cost (£)
Element : Decoration		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	63 m2		516
								Year 1 Repair Cost (£)

BUILDING : Block 02	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 221	No : 003/2/2/003	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	15	m2	512
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	22	m2	902
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	22	m2	751
							Year 1 Repair Cost (£)	

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1	No	1,367
							Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	15 m2	615	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	59 m2	483	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Toilet 221**No** : 003/2/2/004**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	5 m2	170
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	5 m2	205
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	23 m2	786
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	5 m2	205	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	33 m2	270	

BUILDING : Block 02	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Store	No : 003/2/2/005	USE :

Element : Ceilings		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Plasterboard ceiling	Fair	No Action Required	B		20	9	m2	307
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Plasterboard walls	Fair	No Action Required	B		20	16	m2	546
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Plaster walls	Fair	No Action Required	B		20	16	m2	656
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
1 hour fire door set	Fair	No Action Required	B		20	1	No	492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet floor finish	Fair	No Action Required	B		20	9 m2	369	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	41 m2	336	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Living Room 222**No** : 003/2/2/008**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

20

13 m2

444

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster walls

Fair

No Action Required

B

20

31 m2

1,271

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

20

11 m2

375

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

1 hour fire door set

Fair

No Action Required

B

20

1 No

1,367

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	13 m2	533	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	55 m2	451	

BUILDING : Block 02	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Toilet 222	No : 003/2/2/009	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4	m2	136
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	8	m2	273
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	4	m2	164
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	6	m2	246
							Year 1 Repair Cost (£)	

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	16 m2	131
							Year 1 Repair Cost (£)

BUILDING : Block 02	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 222	No : 003/2/2/010	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	35 m2		1,435
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	11 m2		375
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	13 m2		533
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	59 m2	483	

BUILDING : Block 02	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 223	No : 003/2/2/011	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	18 m2		615
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	38 m2		1,298
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	18 m2		738
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	56 m2	459	

BUILDING : Block 02	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Toilet 223	No : 003/2/2/012	USE :

Element : Ceilings		CODE :5											
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)					
Plasterboard ceiling	Fair	No Action Required	B		20	4	m2	136					
								Year 1 Repair Cost (£)					

Element : Walls							
CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	5 m2	205
							Year 1 Repair Cost (£)

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Plasterboard walls	Fair	No Action Required	B		20	13 m2	444	
							Year 1 Repair Cost (£)	

Element : Doors		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Softwood timber flush	Fair	No Action Required	B		20	1	No	492	
								Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor, marked and damaged finish	Redecorate	B	4	Replace/In	17 m2	139	

BUILDING : Block 02	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 224	No : 003/2/2/013	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	18 m2		615
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	38 m2		1,298
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	18 m2		738
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	56 m2	459	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Toilet 224**No** : 003/2/2/014**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2	136	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Pre-finished board	Fair	No Action Required	B		12	5 m2	205	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	13 m2	444	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor, marked and damaged finish	Redecorate	B	4	Replace/In	17 m2	139	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Bedroom 225**No** : 003/2/2/015**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	14 m2	478
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	8 m2	328
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	32 m2	1,093
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	14 m2	574	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	54 m2	442	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Toilet 225**No** : 003/2/2/016**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	12 m2	410
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	4 m2	164
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	16 m2	131	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Bedroom 226**No** : 003/2/2/017**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	14 m2	478
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	8 m2	328
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	32 m2	1,093
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	14 m2	574	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	54 m2	442	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Toilet 226**No** : 003/2/2/018**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	12 m2	410
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	4 m2	164
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	16 m2	131	

BUILDING : Block 02	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Electrical Fuse Cupboard	No : 003/2/2/019	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	1	m2	34
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	2	m2	68
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Compressed board	Fair	No Action Required	B		20	1	m2	82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	3 m2	24	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Circulation Area/Stairs**No** : 003/2/2/020**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair, although slight cracking is evident in areas	Make good finish	B	4	20	17 m2	581
							Year 1 Repair Cost (£) 100

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	56 m2	2,296
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1/2 hour fire door set	Fair, although nearing end of economic lifespan	No Action Required	B		2	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl floor finish, with colour-contrasted step nosings.	Fair, although nearing end of economic lifespan	No Action Required	B		2	17 m2	800	
	Note: Floor is uneven							

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	D	4	Replace/In	73 m2	516	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 6 - Third Floor Level**ROOM** : Store**No** : 003/2/3/001**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair, although minor damage to plasterboard in isolated areas	Make good finish	B	4	20	120 m2	4,101	100

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster walls	Fair, although bossed and damaged in areas	Make good bossed and damaged plasterwork	B	4	20	142 m2	5,823	100

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber panelled door	Fair, although nearing end of economic lifespan	No Action Required	B		2	2 No	1,312	

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl floor finish	Fair, although nearing end of economic lifespan	No Action Required	B		2	120 m2	4,921	

Note: Floor is uneven

Element : Decoration		CODE :5						Replacement Cost (£)	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)	
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	D	4	Replace/In	262	m2	2,149	

BUILDING : Block 02**UPRN** :**FLOOR** : Level 6 - Third Floor Level**ROOM** : Store**No** : 003/2/3/002**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	20 m2	683	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster walls	Fair	No Action Required	B		20	51 m2	2,091	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
1/2 hour fire door set	Fair, although nearing end of economic lifespan	No Action Required	B		2	1 No	1,025	

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl floor finish	Fair, although nearing end of economic lifespan	No Action Required	B		2	20 m2	820	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	D	4	Replace/In	71	m2	582	

BUILDING : Block 02	UPRN :	FLOOR : Level 6 - Third Floor Level
ROOM : Store	No : 003/2/3/003	USE :

Element : Ceilings		CODE : 5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	9 m2	307
							Year 1 Repair Cost (£)
Element : Walls		CODE : 5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	24 m2	984
							Year 1 Repair Cost (£)
Element : Doors		CODE : 5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1/2 hour fire door set	Fair, although nearing end of economic lifespan	No Action Required	B		2	1 No	1,025
							Year 1 Repair Cost (£)
Element : Floors		CODE : 5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair, although nearing end of economic lifespan	No Action Required	B		2	9 m2	369
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	33 m2	270	

BUILDING : Block 02	UPRN :	FLOOR : Level 6 - Third Floor Level
ROOM : Store	No : 003/2/3/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	7 m2		239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	24 m2		984
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Poor, at end of economic lifespan.	Replace	D	1	Replace/In	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair, although nearing end of economic lifespan	No Action Required	B		2	9 m2		369
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	31 m2	254	

FIXTURES & FITTINGS

BUILDING : Block 02

UPRN :

FLOOR : Level 2 - Basement Level

ROOM : Store

No : 003/2/-1/002

USE :

Element : Shelving

CODE : 6

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Timber/metal shelving

Fair

No action required

B

6

12 m

656

Year 1
Repair Cost (£)

BUILDING : Block 02	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Store	No : 003/2/-1/004	USE :

Element : Shelving	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber/metal shelving	Fair	No action required	B		6	12 m		656
								Year 1 Repair Cost (£)

BUILDING : Block 02	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Store	No : 003/2/-1/005	USE :

Element : Shelving	CODE :6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber/metal shelving	Fair	No action required	B		6	16 m		874
								Year 1 Repair Cost (£)

BUILDING : Block 02	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Store	No : 003/2/-1/006	USE :

Element : Shelving	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber shelving	Fair	No action required	B		4	3 m		82
								Year 1 Repair Cost (£)

BUILDING : Block 02	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Circulation Area	No : 003/2/0/001	USE :

Element : Fixed display units/cabinets **CODE :** 6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber display units/cabinets with glazed doors	Fair	No action required	B		20	1 No	574
							Year 1 Repair Cost (£)

SANITARY

BUILDING : Block 02

UPRN :

FLOOR : Level 2 - Basement Level

ROOM : Store

No : 003/2/-1/007

USE :

Element : Sinks

CODE : 7

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Stainless steel double sink

Fair

No action required

B

10

1

No

410

Year 1
Repair Cost (£)

BUILDING : Block 02	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Kitchen	No : 003/2/0/002	USE :

Element : Basins		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Stainless steel basin	Fair	No action required	B		20	1	No	246	
								Year 1 Repair Cost (£)	

Element : Sinks		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 no. stainless steel single sink	Fair	No action required	B		10	3	No	1,800
2 no. stainless steel double sinks								
								Year 1 Repair Cost (£)

BUILDING : Block 02**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Toilet 201**No** : 003/2/0/005**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle with pre-finished board lining	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 02**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Toilet 202**No** : 003/2/0/010**USE** :**Element** : WC**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WC cistern and bowl

Fair

No action required

B

20

1

No

328

**Year 1
Repair Cost (£)****Element** : Basins**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WHB

Fair

No action required

B

20

1

No

328

**Year 1
Repair Cost (£)****Element** : Cubicles**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Shower cubicle with pre-finished
board lining

Fair

No action required

B

20

1

No

820

**Year 1
Repair Cost (£)****Element** : Showers**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Shower heads/mixer valve

Fair

No action required

B

15

1

No

1,148

**Year 1
Repair Cost (£)**

BUILDING : Block 02**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Toilet 203**No** : 003/2/0/012**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle with pre-finished board lining	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 02	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Toilet 315	No : 003/2/1/004	USE :

Element : WC		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Cubicles		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower cubicle with pre-finished board lining	Fair, although board requires to be re-fixed and sealed	Make good	B	4	20	1	No	820
								Year 1 Repair Cost (£)
								100
Element : Showers		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 02**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Toilet 212**No** : 003/2/1/010**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle with pre-finished board lining	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 02**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Toilet 214**No** : 003/2/1/012**USE** :**Element** : WC**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WC cistern and bowl

Fair

No action required

B

20

1

No

328

**Year 1
Repair Cost (£)****Element** : Basins**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WHB

Fair

No action required

B

20

1

No

328

**Year 1
Repair Cost (£)****Element** : Showers**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Shower heads/mixer valve

Fair

No action required

B

15

1

No

1,148

**Year 1
Repair Cost (£)****Element** : Baths**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Pressed steel bath

Fair

No action required

B

20

1

No

656

**Year 1
Repair Cost (£)**

BUILDING : Block 02**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Toilet 215**No** : 003/2/1/014**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

Element : Baths**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pressed steel bath	Fair	No action required	B		20	1 No	656
							Year 1 Repair Cost (£)

BUILDING : Block 02**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Toilet 216**No** : 003/2/1/016**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle with pre-finished board lining	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 02**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Toilet 217**No** : 003/2/1/018**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle with pre-finished board lining	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 02**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Toilet 221**No** : 003/2/2/004**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle with pre-finished board lining	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 02**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Toilet 222**No** : 003/2/2/009**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle with pre-finished board lining	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 02**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Toilet 223**No** : 003/2/2/012**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

Element : Baths**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pressed steel bath	Fair	No action required	B		20	1 No	656
							Year 1 Repair Cost (£)

BUILDING : Block 02**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Toilet 224**No** : 003/2/2/014**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

Element : Baths**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pressed steel bath	Fair	No action required	B		20	1 No	656
							Year 1 Repair Cost (£)

BUILDING : Block 02**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Toilet 225**No** : 003/2/2/016**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle with pre-finished board lining	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 02**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Toilet 226**No** : 003/2/2/018**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle with pre-finished board lining	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

MECHANICAL SERVICES

BUILDING : Block 02

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/2/M&E/

USE :

Element : Gas Heating System

CODE : 13

Description

Heating was provided by 2 Ideal Viceroy Gas fired boilers. Hot water from system was pumped round the bld to a number of convection radiators, by a Biral pumping setup.

Condition

The heating and its associated equipment were in fair condition with no defects evident.

Action

Continue maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

50,000

**Year 1
Repair Cost (£)**

Element : Extraction System

CODE : 13

Description

There was a mix of Xodus and Vent Axia single point extractors in use within the toilets in the resident's rooms. Within the kitchen an industrial Canopy Extractor was installed. Xpelair extraction units were installed within the Laundry room.

Condition

The condition of these were fair with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

35,000

**Year 1
Repair Cost (£)**

Element : Domestic Hot Water

CODE : 13

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Hot water was provided by the main boilers to a large Calorfier within the boiler room. , the water was pumped throughout the bld by Biral pumps.	The condition of this was fair with no defects noted.	Continue Maintenance	B		15		50,000	

ELECTRICAL SERVICES

BUILDING : Block 02

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/2/M&E/

USE :

Element : Incoming Mains & Metering **CODE :** 14

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Power is supplied from the main REC supplies. This feeds an MEM switching system supplying a number of Distribution Boards (DB).	All were in fair condition with no defects evident.	Continue Maintenance	B		20		20,000
							Year 1 Repair Cost (£)

Element : Mains Distribution **CODE :** 14

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Power distribution was via a mix of Wylex, GET and Dorman Smith DBs located around the bld. Wiring was contained within trunking. This also houses the Telephone system.	All were in a fair condition with no defects noted. However there was evidence of extensions in use.	Continue Maintenance It is recommended that the policy on the use of extensions is reviewed.	B		20		50,000
							Year 1 Repair Cost (£)

Element : Light Fittings Internal **CODE :** 14

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
In the main this was a mix of T5, T8, (fitted with anti glare diffusers) 2D, CFL, tungsten and halogen	The condition of the system was	Continue maintenance	B		20		25,000
							Year 1 Repair Cost (£)

fittings. Some corridors were controlled by PIR's, all other lighting were manually controlled.

fair with no defects noted.

This survey did not look at system compliance, a further lighting compliance survey would be required.

Element : Light Fittings Internal

CODE : 14

Description

This consisted of a mix of maintained and non-maintained self contained fittings.

Condition

The condition of the system was fair with no defects noted.

Action

This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

8,000

**Year 1
Repair Cost (£)**

Element : Fire Alarms

CODE : 14

Description

An automatic system consisting of a number of break glass manual call points, detectors and audible alarms connected to the main 3404 fire alarm control panel.

Condition

The condition of the system was fair with no defects noted.

Action

Continue Maintenance.
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

10,000

**Year 1
Repair Cost (£)**

OTHER M&E

BUILDING : Block 02	UPRN :	FLOOR : M&E
ROOM : M & E	No : 003/2/M&E/	USE :

Element : Elevator/Lifts

CODE : 15

Description

There was a passenger lift installed.

Condition

The condition of this and its associated equipment was fair with no defects noted

Action

Continue maintenance.

Cond/Ind Priority

B

L'Expec

16

Quantity

**Replacement
Cost (£)**

100,000

**Year 1
Repair Cost (£)**

ROOFS

BUILDING : Block 03

UPRN :

FLOOR : Roof

ROOM : Roof

No : 003/3/R/001

USE :

Element : Covering

CODE : 1

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Natural slate

Fair

No action required

B

32

68 m2

8,366

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Covering

CODE : 1

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Mineral felt

Fair but showing signs of surface
deterioration

No action required

B

5

32 m2

2,624

**Year 1
Repair Cost (£)**

Element : Structure		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber joists and rafters	Fair	No action required	B		32	68	m2	5,577
								Year 1 Repair Cost (£)
Element : Flashings		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lead (inc. in roof)	Fair	No action required	B		32	24	m	1,804
								Year 1 Repair Cost (£)
Element : Rainwater goods		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Cast iron gutters and downpipes	Fair	No action required	B		10	43	m	2,939
								Year 1 Repair Cost (£)
Element : Decoration		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Painterwork to gutters and downpipes	Fair	No action required	B		2	43	m2	352
								Year 1 Repair Cost (£)

WALLS

BUILDING : Block 03

UPRN :

FLOOR : Elevations

ROOM : Elevation

No : 003/3/E/001

USE :

Element : External walls

CODE : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Render finish (wet-dash)	Fair	No Action Required	B		10	32 m2	3,500	

Photo 1



Photo 2



Position



Element : Windows

CODE : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber softwood sash and case single-glazed windows	Fair	No Action Required	B		10	11 m2	4,511	

Photo 1



Photo 2



Position

**Element : Doors****CODE :2****Description**

Softwood timber flush/glazed door

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

10

Quantity

2

No.

Replacement Cost (£)

1,968

Year 1**Repair Cost (£)**

Photo 1



Photo 2



Position

Element : Decoration**CODE :2****Description**

Masonry Paint

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

32

m2

Replacement Cost (£)

437

Year 1**Repair Cost (£)**

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Painterwork to windows and doors	Fair	No Action Required	B		2	11 m2	150	

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		25	6 m	3,000	

BUILDING : Block 03**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 003/3/E/002**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Render finish (wet-dash)

Fair

No Action Required

B

10

61 m2

3,335

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**Timber softwood sash and case
single-glazed

Fair

No Action Required

B

10

24 m2

9,843

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Decoration

CODE :2

Description

Painterwork to windows and doors

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

24 m2

Replacement
Cost (£)

328

Year 1
Repair Cost (£)

Element : Decoration

CODE :2

Description

Masonry Paint

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

61 m2

Replacement
Cost (£)

833

Year 1
Repair Cost (£)

Element : Cills

CODE :2

Description

Concrete cills

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

25

Quantity

16 m

Replacement
Cost (£)

8,000

Year 1
Repair Cost (£)

BUILDING : Block 03**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 003/3/E/003**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Render finish (wet-dash)	Fair	No Action Required	B		10	53 m2	2,898	

Photo 1



Photo 2

Position

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber softwood sash and case single-glazed windows	Fair	No Action Required	B		10	17 m2	6,972	

Element : Doors**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber flush/glazed door	Fair	No Action Required	B		10	1 No.	984	

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Painterwork to windows and doors	Fair	No Action Required	B		2	19 m2	259	

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Masonry Paint	Fair	No Action Required	B		2	53 m2	724	

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		25	11 m	5,500	

STRUCTURE

BUILDING : Block 03	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Circulation Area/Stairwell	No : 003/3/0/001	USE :

Element : Stairs		CODE : 4					Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	1 m2	341
							Year 1
							Repair Cost (£)

BUILDING : Block 03	UPRN :	FLOOR : Structure
ROOM : Structure	No : 003/3/St/St	USE :

Element : Floors		CODE : 4							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Concrete floor	Fair	No action required	B		40	50	m2	8,202	
									Year 1 Repair Cost (£)
Element : Floors		CODE : 4							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Timber floor	Fair	No action required	B		40	150	m2	15,379	
									Year 1 Repair Cost (£)
Element : Walls		CODE : 4							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Brick & render	Fair	No action required	B		40	1	m2	150	
									Year 1 Repair Cost (£)

ROOMS

BUILDING : Block 03

UPRN :

FLOOR : Level 3 - Canongate Street level Ground

ROOM : Circulation Area/Stairwell

No : 003/3/0/001

USE :

Element : Ceilings

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	13 m2	444	

Element : Walls

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster walls	Fair	No Action Required	B		20	210 m2	8,612	

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	7 No	9,569	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish, with colour-contrasted step nosings.	Fair	No Action Required	B		5	53 m2	2,500	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	263 m2	2,157	

BUILDING : Block 03**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Office**No** : 003/3/0/002**USE** :**Element** : Ceilings**CODE** :5**Description**Suspended grid system with
plasterboard tiles**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

15

Quantity

12 m2

**Replacement
Cost (£)**

410

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description**

Plaster walls

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

30 m2

**Replacement
Cost (£)**

1,230

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description**

Carpet floor finish

Condition

Poor, worn and stained.

Action

Replace

Cond/Ind Priority

D 4

L'Expec

Replace/In

Quantity

12 m2

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** :5**Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

1

Quantity

30 m2

**Replacement
Cost (£)**

246

**Year 1
Repair Cost (£)**

BUILDING : Block 03	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Circulation Area	No : 003/3/0/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Suspended grid system with plasterboard tiles	Fair	No Action Required	B		15	14 m2		478
								Year 1 Repair Cost (£)
Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	68 m2		2,788
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	21 m2		861
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber laminate flooring	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	44 m2	360	

BUILDING : Block 03	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bedroom 301	No : 003/3/0/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	28 m2		1,148
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair, although slightly worn and soiled in areas.	Clean carpet	B	4	5	12 m2	492	50

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	50 m2	410	

BUILDING : Block 03**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Toilet 301**No** : 003/3/0/005**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	9 m2	307
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	5 m2	205
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	17 m2	139	

BUILDING : Block 03**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Bedroom 302**No** : 003/3/0/006**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2	410
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	10 m2	341
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	28 m2	1,148
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	50 m2	410	

BUILDING : Block 03**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Toilet 302**No** : 003/3/0/007**USE** :**Element** : Ceilings**CODE** :5**Description**

Plasterboard ceiling

Condition

Fair, with staining in isolated areas

Action

Make good finish

Cond/Ind

B

Priority

4

L'Expec

20

Quantity

3 m2

**Replacement
Cost (£)**

102

**Year 1
Repair Cost (£)**

50

Element : Walls**CODE** :5**Description**

Plaster walls

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

20

Quantity

5 m2

**Replacement
Cost (£)**

205

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description**

Plasterboard walls

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

20

Quantity

9 m2

**Replacement
Cost (£)**

307

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

20

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	17 m2	139	

BUILDING : Block 03**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Staff Changing Rooms**No** : 003/3/0/008**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair, with staining in isolated
areas

Make good finish

B

4

20

16 m2

546

**Year 1
Repair Cost (£)**
150**Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster walls

Fair

No Action Required

B

20

23 m2

943

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

20

9 m2

307

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

1 hour fire door set

Fair

No Action Required

B

20

1 No

1,367

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	16 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	48 m2	393	

BUILDING : Block 03	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Staff Changing Rooms Store	No : 003/3/0/008A	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	15 m2		615
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2		123
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	18 m2	147	

BUILDING : Block 03	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Circulation Area	No : 003/3/1/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Suspended grid system with plasterboard tiles	Fair	No Action Required	B		20	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	16 m2		656
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	4 m2		164
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	20 m2	164	

BUILDING : Block 03**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Circulation Area**No** : 003/3/1/002**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Suspended grid system with plasterboard tiles	Fair	No Action Required	B		20	12 m2	410	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster walls	Fair	No Action Required	B		20	33 m2	1,353	

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	12 m2	492	

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	33 m2	270	

BUILDING : Block 03	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bedroom 311	No : 003/3/1/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	28 m2		1,148
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	50 m2	410	

BUILDING : Block 03	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Toilet 311	No : 003/3/1/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	5 m2		205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	9 m2		307
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	17 m2	139	

BUILDING : Block 03	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bedroom 312	No : 003/3/1/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	28 m2		1,148
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	50 m2	410	

BUILDING : Block 03	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Toilet 312	No : 003/3/1/006	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	5 m2		205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	9 m2		307
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	17 m2	139	

BUILDING : Block 03**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Bedroom 313**No** : 003/3/1/007**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

20

10 m2

341

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster walls

Fair

No Action Required

B

20

27 m2

1,107

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

1 hour fire door set

Fair

No Action Required

B

20

1 No

1,367

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Carpet floor finish

Fair, although slightly worn and
soiled in areas.

Clean carpet

B

4

5

10 m2

410

**Year 1
Repair Cost (£)**
50

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	37 m2	303	

BUILDING : Block 03	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Toilet 313	No : 003/3/1/008	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	16 m2		656
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	D	4	Replace/In	17 m2	139	

BUILDING : Block 03	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bathroom	No : 003/3/1/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	7 m2		239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	10 m2		410
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	2 No		984
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

1 hour fire door set

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

1 No

**Replacement
Cost (£)**

1,367

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

5

Quantity

7 m2

**Replacement
Cost (£)**

287

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

1

Quantity

37 m2

**Replacement
Cost (£)**

303

**Year 1
Repair Cost (£)**

BUILDING : Block 03	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bedroom 314	No : 003/3/1/010	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	20 m2		683
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	5 m2		170
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	38 m2		1,558
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair, although slightly worn and soiled in areas.	Clean carpet	B	4	5	20 m2	820	50

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	63 m2	516	

BUILDING : Block 03	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Toilet 314	No : 003/3/1/011	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	3 m2		123
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	14 m2	114	

BUILDING : Block 03	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Circulation Area	No : 003/3/2/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Suspended grid system with plasterboard tiles	Fair	No Action Required	B		20	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	16 m2		656
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	4 m2		164
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	20 m2	164	

BUILDING : Block 03**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Circulation Area**No** : 003/3/2/002**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Suspended grid system with plasterboard tiles	Fair	No Action Required	B		20	12 m2	410	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster walls	Fair	No Action Required	B		20	33 m2	1,353	

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	12 m2	492	

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	33 m2	270	

BUILDING : Block 03**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Bedroom 321**No** : 003/3/2/003**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2	410
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	28 m2	1,148
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	10 m2	341
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	50 m2	410	

BUILDING : Block 03	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Toilet 321	No : 003/3/2/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	5 m2		205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	9 m2		307
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	17 m2	139	

BUILDING : Block 03	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 322	No : 003/3/2/005	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12	m2	410
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Plaster walls	Fair	No Action Required	B		20	28	m2	1,148	
								Year 1 Repair Cost (£)	

Element : Walls		CODE :5																	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity												Replacement Cost (£)	
Plasterboard walls	Fair	No Action Required	B		20	10	m2											341	
																		Year 1 Repair Cost (£)	

Element : Doors		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
1 hour fire door set	Fair	No Action Required	B		20	1	No	1,367	
								Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	50 m2	410	

BUILDING : Block 03**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Toilet 322**No** : 003/3/2/006**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair, although damaged in isolated areas	Make good finish	B	4	20	3 m2	102
							Year 1 Repair Cost (£) 50

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	9 m2	307
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	5 m2	205
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	17 m2	139	

BUILDING : Block 03	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 323	No : 003/3/2/007	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	27 m2		1,107
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	10 m2		410
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	37 m2	303	

BUILDING : Block 03	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Toilet 323	No : 003/3/2/008	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4	m2	136
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	16	m2	656
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	2	m2	68
							Year 1 Repair Cost (£)	

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1	No	492
							Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		5	17 m2	139	

BUILDING : Block 03	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bathroom	No : 003/3/2/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	7 m2		239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair, with damaged plaster in isolated areas	Make good finish	B	4	20	10 m2		410
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	2 No		984
								Year 1 Repair Cost (£)

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	7 m2	287
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	37 m2	303
							Year 1 Repair Cost (£)

BUILDING : Block 03**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Bedroom 324**No** : 003/3/2/010**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	20 m2	683	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster walls	Fair	No Action Required	B		20	38 m2	1,558	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	5 m2	170	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	20 m2	820	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	63 m2	516	

BUILDING : Block 03	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Toilet 324	No : 003/3/2/011	USE :

Element : Ceilings		CODE :5															
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)									
Plasterboard ceiling	Fair	No Action Required	B		20	3	m2	102									
								Year 1 Repair Cost (£)									

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	13	m2	444
								Year 1 Repair Cost (£)

Element : Walls		CODE :5																	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity												Replacement Cost (£)	
Plaster walls	Fair	No Action Required	B		20	4	m2											164	
																		Year 1 Repair Cost (£)	

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1	No	492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	14 m2	114	

BUILDING : Block 03	UPRN :	FLOOR : Level 6 - Third Floor Level
ROOM : Circulation Area	No : 003/3/3/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Suspended grid system with plasterboard tiles	Fair	No Action Required	B		20	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	16 m2		656
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	4 m2		164
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	20 m2	164	

BUILDING : Block 03**UPRN** :**FLOOR** : Level 6 - Third Floor Level**ROOM** : Circulation Area**No** : 003/3/3/002**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2	410
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	33 m2	1,353
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	12 m2	492
							Year 1 Repair Cost (£)

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	33 m2	270
							Year 1 Repair Cost (£)

BUILDING : Block 03**UPRN** :**FLOOR** : Level 6 - Third Floor Level**ROOM** : Bedroom 334**No** : 003/3/3/003**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	20 m2	683
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	5 m2	170
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	38 m2	1,558
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	20 m2	820	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	63 m2	516	

BUILDING : Block 03	UPRN :	FLOOR : Level 6 - Third Floor Level
ROOM : Toilet 334	No : 003/3/3/004	USE :

Element : Ceilings		CODE :5															
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)									
Plasterboard ceiling	Fair	No Action Required	B		20	3	m2	102									
								Year 1 Repair Cost (£)									

Element : Walls				CODE :5			
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	4 m2	164
							Year 1 Repair Cost (£)

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Plasterboard walls	Fair	No Action Required	B		20	13 m2	444	
							Year 1 Repair Cost (£)	

Element : Doors		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Softwood timber flush	Fair	No Action Required	B		20	1	No	492	
								Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	14 m2	114	

BUILDING : Block 03	UPRN :	FLOOR : Level 6 - Third Floor Level
ROOM : Bedroom 331	No : 003/3/3/005	USE :

Element : Ceilings							CODE :5
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2	410
							Year 1 Repair Cost (£)

Element : Walls		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	28 m2	1,148
							Year 1 Repair Cost (£)

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	10	m2	341
								Year 1 Repair Cost (£)

Element : Doors		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	50 m2	410	

BUILDING : Block 03	UPRN :	FLOOR : Level 6 - Third Floor Level
ROOM : Toilet 331	No : 003/3/3/006	USE :

Element : Ceilings		CODE :5															
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)									
Plasterboard ceiling	Fair	No Action Required	B		20	3	m2	102									
								Year 1 Repair Cost (£)									

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Plaster walls	Fair	No Action Required	B		20	5 m2	205	
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Plasterboard walls	Fair	No Action Required	B		20	9	m2	307	
								Year 1 Repair Cost (£)	

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1	No	492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	17 m2	139	

BUILDING : Block 03	UPRN :	FLOOR : Level 6 - Third Floor Level
ROOM : Bedroom 332	No : 003/3/3/007	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	28 m2		1,148
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	50 m2	410	

BUILDING : Block 03**UPRN** :**FLOOR** : Level 6 - Third Floor Level**ROOM** : Toilet 332**No** : 003/3/3/008**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	5 m2	205
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	9 m2	307
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	17 m2	139	

BUILDING : Block 03	UPRN :	FLOOR : Level 6 - Third Floor Level
ROOM : Bedroom 333	No : 003/3/3/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	27 m2		1,107
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	10 m2		410
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	37 m2	303	

BUILDING : Block 03	UPRN :	FLOOR : Level 6 - Third Floor Level
ROOM : Toilet 333	No : 003/3/3/010	USE :

Element : Ceilings		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Plasterboard ceiling	Fair	No Action Required	B		20	4	m2	136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Plaster walls	Fair	No Action Required	B		20	16	m2	656
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Plasterboard walls	Fair	No Action Required	B		20	2	m2	68
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Softwood timber flush	Fair	No Action Required	B		20	1	No	492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		5	17 m2	139	

BUILDING : Block 03	UPRN :	FLOOR : Level 6 - Third Floor Level
ROOM : Bathroom	No : 003/3/3/011	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	7	m2	239
							Year 1 Repair Cost (£)	
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	10	m2	341
							Year 1 Repair Cost (£)	
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	10	m2	410
							Year 1 Repair Cost (£)	
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	2	No	984
							Year 1 Repair Cost (£)	

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	7 m2	287	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	37 m2	303	

SANITARY

BUILDING : Block 03

UPRN :

FLOOR : Level 3 - Canongate Street level Ground

ROOM : Toilet 301

No : 003/3/0/005

USE :

Element : WC

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle, with pre-finished board	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 03**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Toilet 302**No** : 003/3/0/007**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle, with pre-finished board	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 03**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Staff Changing Rooms**No** : 003/3/0/008**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl, including grab rails	Fair	No action required	B		20	1 No	628
							Year 1 Repair Cost (£)

Element : Basins**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Laminated toilet cubicle	Fair	No action required	B		20	3 No	2,460
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers

CODE :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 03**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Toilet 311**No** : 003/3/1/004**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle, with pre-finished board	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 03**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Toilet 312**No** : 003/3/1/006**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle, with pre-finished board	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 03**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Toilet 313**No** : 003/3/1/008**USE** :**Element** : WC**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WC cistern and bowl

Fair

No action required

B

20

1

No

328

**Year 1
Repair Cost (£)****Element** : Basins**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WHB

Fair

No action required

B

20

1

No

328

**Year 1
Repair Cost (£)****Element** : Cubicles**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Shower cubicle, with pre-finished
board

Fair

No action required

B

20

1

No

820

**Year 1
Repair Cost (£)****Element** : Showers**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Shower heads/mixer valve

Fair

No action required

B

15

1

No

1,148

**Year 1
Repair Cost (£)**

BUILDING : Block 03**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Toilet 314**No** : 003/3/1/011**USE** :**Element** : WC**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WC cistern and bowl

Fair

No action required

B

20

1

No

328

**Year 1
Repair Cost (£)****Element** : Basins**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WHB

Fair

No action required

B

20

1

No

328

**Year 1
Repair Cost (£)****Element** : Cubicles**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Shower cubicle, with pre-finished
board

Fair

No action required

B

20

1

No

820

**Year 1
Repair Cost (£)****Element** : Showers**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Shower heads/mixer valve

Fair

No action required

B

15

1

No

1,148

**Year 1
Repair Cost (£)**

BUILDING : Block 03**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Toilet 321**No** : 003/3/2/004**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle, with pre-finished board	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 03**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Toilet 322**No** : 003/3/2/006**USE** :**Element** : WC**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WC cistern and bowl

Fair

No action required

B

20

1

No

328

**Year 1
Repair Cost (£)****Element** : Basins**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WHB

Fair

No action required

B

20

1

No

328

**Year 1
Repair Cost (£)****Element** : Cubicles**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Shower cubicle, with pre-finished
board

Fair

No action required

B

20

1

No

820

**Year 1
Repair Cost (£)****Element** : Showers**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Shower heads/mixer valve

Fair

No action required

B

15

1

No

1,148

**Year 1
Repair Cost (£)**

BUILDING : Block 03**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Toilet 323**No** : 003/3/2/008**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle, with pre-finished board	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 03	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bathroom	No : 003/3/2/009	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		20	2	No	656
								Year 1 Repair Cost (£)
Element : Baths		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Pressed steel bath	Fair	No action required	B		20	1	No	656
								Year 1 Repair Cost (£)

BUILDING : Block 03**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Toilet 324**No** : 003/3/2/011**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle, with pre-finished board	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 03**UPRN** :**FLOOR** : Level 6 - Third Floor Level**ROOM** : Toilet 334**No** : 003/3/3/004**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle, with pre-finished board	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 03**UPRN** :**FLOOR** : Level 6 - Third Floor Level**ROOM** : Toilet 331**No** : 003/3/3/006**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle, with pre-finished board	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 03**UPRN** :**FLOOR** : Level 6 - Third Floor Level**ROOM** : Toilet 332**No** : 003/3/3/008**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle, with pre-finished board	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 03**UPRN** :**FLOOR** : Level 6 - Third Floor Level**ROOM** : Toilet 333**No** : 003/3/3/010**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle, with pre-finished board	Fair	No action required	B		20	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 03	UPRN :	FLOOR : Level 6 - Third Floor Level
ROOM : Bathroom	No : 003/3/3/011	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	2	No	656
								Year 1 Repair Cost (£)

Element : Baths		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pressed steel bath	Fair	No action required	B		20	1	No	656
								Year 1 Repair Cost (£)

MECHANICAL SERVICES

BUILDING : Block 03

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/3/M&E/

USE :

Element : Gas Heating System

CODE : 13

Description

Heating was provided by 2 Ideal Viceroy Gas fired boilers in Whiteford block. Hot water from system was pumped round the bld to a number of convection radiators, by a Biral pumping setup.

Condition

The heating and its associated equipment were in fair condition with no defects evident.

Action

Continue maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

15,000

**Year 1
Repair Cost (£)**

Element : Extraction System

CODE : 13

Description

There was a mix of Xodus and Vent Axia single point extractors in use within the toilets in the resident's rooms.

Condition

The condition of these were fair with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

1,500

**Year 1
Repair Cost (£)**

Element : Domestic Hot Water

CODE : 13

Description

Hot water was provided by the main boilers to a large Calorfier within the boiler room. , the water

Condition

The condition of this was fair

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

15,000

**Year 1
Repair Cost (£)**

was pumped throughout the bld with no defects noted.
by Biral pumps.

ELECTRICAL SERVICES

BUILDING : Block 03

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/3/M&E/

USE :

Element : Mains Distribution

CODE : 14

Description

Power distribution was via a mix of Wylex, GET and Dorman Smith DBs located around the bld. Wiring was contained within trunking.

Condition

All were in a fair condition with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

30,000

**Year 1
Repair Cost (£)**

Element : Light Fittings Internal

CODE : 14

Description

In the main this was a mix of T5, T8, (fitted with anti glare diffusers) 2D, CFL, tungsten and halogen fittings. Some corridors were controlled by PIR's, all other lighting were manually controlled.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

25,000

**Year 1
Repair Cost (£)**

Element : Light Fittings Internal

CODE : 14

Description

This consisted of a mix of maintained and non-maintained self contained fittings.

Condition

The condition of the system was

Action

Continue maintenance

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

8,000

**Year 1
Repair Cost (£)**

fair with no defects noted.

This survey did not look at system compliance, a further lighting compliance survey would be required.

Element : Light Fittings External

CODE : 14

Description

This consisted of a number of SON bulkhead fittings located around the boundary wall, these are controlled by timers.

Condition

The condition of the lighting and its associated equipment was fair with no defects noted.

Action

Continue Maintenance
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind

B

Priority

L'Expec

20

Quantity

**Replacement
Cost (£)**

1,500

**Year 1
Repair Cost (£)**

Element : Fire Alarms

CODE : 14

Description

An automatic system consisting of a number of break glass manual call points, detectors and audible alarms connected to the main 3404 fire alarm control panel.

Condition

The condition of the system was fair with no defects noted.

Action

Continue Maintenance.
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind

B

Priority

L'Expec

20

Quantity

**Replacement
Cost (£)**

10,000

**Year 1
Repair Cost (£)**

ROOFS

BUILDING : Block 04

UPRN :

FLOOR : Roofs

ROOM : Roof 001

No : 003/4/R/001

USE :

Element : Covering

CODE : 1

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Natural slate

Fair

No action required

B

54

216 m2

35,878

**Year 1
Repair Cost (£)**

Photo 1



Photo 2



Position

Element : Covering

CODE : 1

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Lead sheet

Fair

No action required

B

54

28 m2

6,028

**Year 1
Repair Cost (£)**

Element : Structure		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber trusses	Fair	No action required	B		44	216	m2	17,717
								Year 1 Repair Cost (£)
Element : Flashings		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lead (inc. in roof)	Fair	No action required	B		54	86	m	6,466
								Year 1 Repair Cost (£)
Element : Flashings		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Galvanised zinc ridging and hips	Fair	No action required	B		54	27	m	2,030
								Year 1 Repair Cost (£)
Element : Rainwater goods		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
CI gutters and downpipes	Fair	No action required	B		20	142	m	9,706
								Year 1 Repair Cost (£)

Element : Decoration

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Gloss paint to CI gutters and downpipes etc.	Fair	No action required	B		3	143 m2	1,172	

Element : Roof Lights

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Velux rooflights	Fair	No action required	B		25	4	2,000	

Element : Roof Lights

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Metal skylight	Fair	No action required	B		10	1	250	

WALLS

BUILDING : Block 04

UPRN :

FLOOR : Elevations

ROOM : Elevation 001

No : 003/4/E/001

USE :

Element : External walls

CODE : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Wet Dash	Fair	No Action Required	B		20	116 m2	6,343	

Photo 1



Photo 2



Position

Element : External walls

CODE : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone Window surrounds :cills,lintols and jambs	Fair	No Action Required	B		35	18 m2	3,199	

Element : Windows**CODE :2****Description**6 No.Timber softwood casement
single glazed (4m2)**Condition**

Fair but requires repainting

Action

Refer to decoration

Cond/Ind

B

Priority**L'Expec**

10

Quantity

24 m2

**Replacement
Cost (£)**

9,843

**Year 1
Repair Cost (£)****Element : Windows****CODE :2****Description**5 No. Timber softwood casement
single glazed (2m2)**Condition**

Fair but requires repainting

Action

Refer to decoration

Cond/Ind

B

Priority**L'Expec**

10

Quantity

10 m2

**Replacement
Cost (£)**

4,101

**Year 1
Repair Cost (£)****Element : Windows****CODE :2****Description**10 No.Timber softwood tilt and
turn double glazed (2m2)**Condition**

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

24

Quantity

20 m2

**Replacement
Cost (£)**

9,843

**Year 1
Repair Cost (£)****Element : Doors****CODE :2****Description**

Timber glazed doors

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

14

Quantity

4 No.

**Replacement
Cost (£)**

3,937

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
All wall and timber finishes

Fair

No Action Required

B

3

196 m2

2,679

**Year 1
Repair Cost (£)**

Element : Cills

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Concrete cills

Fair

No Action Required

B

34

21 m

10,500

**Year 1
Repair Cost (£)**

BUILDING : Block 04**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation 002**No** : 003/4/E/002**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Wet Dash

Fair

No Action Required

B

20

51 m2

2,788

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**2 No.Timber softwood tilt and turn
double glazed (4m2)

Fair

No Action Required

B

24

8 m2

3,937

**Year 1
Repair Cost (£)****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**2 No.Timber softwood casement
single glazed (2m2)

Fair but requires repainting

Refer to decoration

B

10

4 m2

1,640

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration All wall and timber finishes	Fair	No Action Required	B		3	63 m2	861	

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		35	6 m	3,000	

BUILDING : Block 04**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation 003**No** : 003/4/E/003**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Wet Dash

Fair

No Action Required

B

20

101 m2

5,523

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone walls

Fair

No Action Required

B

35

115 m2

20,438

**Year 1
Repair Cost (£)****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**4 No.Timber softwood casement
single glazed (2m2)

Fair but requires repainting

Refer to decoration

B

10

8 m2

3,281

**Year 1
Repair Cost (£)**

Element : Windows**CODE : 2****Description**

5 No. Timber softwood sash and case single glazed (2m2)

ConditionFair but requires repainting
Window rope broken**Action**Refer to decoration
Rerope window**Cond/Ind**

B

Priority

4

L'Expec

10

Quantity

10 m2

**Replacement
Cost (£)**

4,101

**Year 1
Repair Cost (£)**
60**Element : Windows****CODE : 2****Description**2 No.Timber softwood tilt and turn double glazed (4m2)
6 No.Timber softwood tilt and turn double glazed (2m2)**Condition**

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

24

Quantity

20 m2

**Replacement
Cost (£)**

9,843

**Year 1
Repair Cost (£)****Element : Decoration****CODE : 2****Description**Re-decoration
All wall and timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

3

Quantity

153 m2

**Replacement
Cost (£)**

2,091

**Year 1
Repair Cost (£)****Element : Cills****CODE : 2****Description**

Concrete cills

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

34

Quantity

19 m

**Replacement
Cost (£)**

9,500

**Year 1
Repair Cost (£)**

STRUCTURE

BUILDING : Block 04	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Stairwell	No : 003/4/0/001	USE :

Element : Stairs		CODE :4							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)		
Concrete stair	Fair	No action required	B		55	17 m2	5,810		
							Year 1 Repair Cost (£)		

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Circulation Area	No : 003/4/1/010	USE :

Element : Stairs		CODE : 4						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Concrete stair	Fair	No action required	B		32	2	m2	683
								Year 1
								Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Structure
ROOM : Structure	No : 003/4/St/St	USE :

Element : Frame/Columns		CODE : 4					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Brick structure	Fair	No action required	B		40	m2	
							Year 1 Repair Cost (£)
Element : Floors		CODE : 4					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber floors	Fair	No action required	B		40	m2	
							Year 1 Repair Cost (£)
Element : Stairs		CODE : 4					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		50	m2	
							Year 1 Repair Cost (£)
Element : Walls		CODE : 4					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stone/brick walls	Fair	No action required	B		40	m2	
							Year 1 Repair Cost (£)

ROOMS

BUILDING : Block 04

UPRN :

FLOOR : Level 3 - Canongate Street level Ground

ROOM : Stairwell

No : 003/4/0/001

USE :

Element : Ceilings

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

20

27 m2

922

**Year 1
Repair Cost (£)**

Element : Walls

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Plaster on hard to walls

Fair

No Action Required

B

20

70 m2

2,392

**Year 1
Repair Cost (£)**

Element : Walls

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

20

23 m2

786

**Year 1
Repair Cost (£)**

Element : Doors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

1 hour fire door set

Fair

No Action Required

B

20

3 No

4,101

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	31 m2	1,271	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	134 m2	1,099	

BUILDING : Block 04	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Circulation Area	No : 003/4/0/002	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	9 m2		307
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair, although slightly marked in areas	No Action Required	B		20	17 m2		1,264
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	20 m2		683
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	9 m2		369
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair, although slightly marked in areas	No Action Required	B		1	56 m2	459	

BUILDING : Block 04	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bedroom 404	No : 003/4/0/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair, with damaged plaster in isolated areas	Make good plaster finish	B	4	20	20 m2		683
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Poor	Replace	C	4	Replace/In	12	m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	49	m2	401	

BUILDING : Block 04	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bathroom 404	No : 003/4/0/004	USE :

Element : Ceilings	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2		136
								Year 1 Repair Cost (£)

Element : Walls	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	15 m2		512
								Year 1 Repair Cost (£)

Element : Doors	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2		123
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	21 m2	172
							Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bedroom 403	No : 003/4/0/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B	4	20	20 m2		683
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	49 m2	401	

BUILDING : Block 04	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bathroom 403	No : 003/4/0/006	USE :

Element : Ceilings		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Plasterboard ceiling	Fair	No Action Required	B		20	4	m2	136	
								Year 1 Repair Cost (£)	

Element : Walls		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Plasterboard walls	Fair	No Action Required	B		20	15	m2	512	
								Year 1 Repair Cost (£)	

Element : Doors		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Softwood timber flush	Fair	No Action Required	B		20	1	No	492	
								Year 1	
								Repair Cost (£)	

Element : Floors		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	21 m2	172
							Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bedroom 402	No : 003/4/0/007	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12	m2	410
								Year 1 Repair Cost (£)

Element : Walls		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Plasterboard walls	Fair	No Action Required	B		20	33	m2	1,127	
								Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	6	m2	170
								Year 1 Repair Cost (£)

Element : Doors		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
1 hour fire door set	Fair	No Action Required	B		20	1	No	1,367	
								Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	51 m2	418	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Bathroom 402**No** : 003/4/0/008**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	6 m2	205
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2	82
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	11 m2	90	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Circulation Area**No** : 003/4/0/009**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair, with isolated cracking	No Action Required	B		20	8 m2	273
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	3 m2	123
							Year 1 Repair Cost (£)

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	15 m2	123
							Year 1 Repair Cost (£)

BUILDING : Block 04**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Bedroom 401**No** : 003/4/0/010**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	20 m2	683
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	20 m2	683
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	20 m2	683
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	20 m2	820	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	64 m2	524	

BUILDING : Block 04	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bathroom 401	No : 003/4/0/010A	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	5	m2	170
		Year 1 Repair Cost (£)						
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	10	m2	341
		Year 1 Repair Cost (£)						
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	1	m2	41
		Year 1 Repair Cost (£)						
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1	No	492
		Year 1 Repair Cost (£)						

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	17 m2	139	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Circulation Area**No** : 003/4/0/011**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2	102	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster on hard to walls	Fair, although slightly marked in areas	No Action Required	B		20	10 m2	341	

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair, although slightly marked in areas	No Action Required	B		1	17 m2	139	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Accessible Toilet**No** : 003/4/0/012**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		30	4 m2	136	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B		30	3 m2	102	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster on hard to walls	Fair, although slight cracking is evident in areas	No Action Required	B		20	9 m2	307	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	18 m2	147	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Manager`s Office**No** : 003/4/0/013**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	18 m2	615
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	13 m2	444
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	24 m2	820
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	2 No	2,734
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	18 m2	738	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	59 m2	483	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Reception**No** : 003/4/0/014**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

20

35 m2

1,196

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

20

46 m2

1,572

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

5

35 m2

1,435

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Poor

Redecorate

C

Replace/In

87 m2

713

**Year 1
Repair Cost (£)**

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Circulation Area	No : 003/4/1/001	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	8	m2	273
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair, although slightly marked in areas	No Action Required	B		20	30	m2	1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set glazed	Fair	No Action Required	B		20	1	No	1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	8	m2	328
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair, although slightly marked in areas	No Action Required	B		1	50 m2	410	

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Toilet	No : 003/4/1/001A	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		30	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		30	11 m2		375
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	15 m2	123	

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bedroom 413	No : 003/4/1/002	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	11 m2		375
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Poor	Replace	C	4	Replace/In	11 m2		451
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	45 m2	369
							Year 1 Repair Cost (£)

BUILDING : Block 04**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Bathroom 413**No** : 003/4/1/003**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2	136	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair, with isolated cracking	No Action Required	B		20	10 m2	341	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2	82	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	16 m2	131	

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bedroom 414	No : 003/4/1/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	20 m2		683
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	39 m2		1,332
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	20 m2		820
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	63 m2	516
							Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bathroom 414	No : 003/4/1/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	15 m2		512
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2		82
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	21 m2	172	

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bedroom 415	No : 003/4/1/006	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	11 m2		375
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Poor	Replace	C	4	Replace/In	11 m2		451
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	45 m2	369
							Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Store	No : 003/4/1/006A	USE :

Element : Ceilings		CODE :5															
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity											Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	2	m2										68
																	Year 1 Repair Cost (£)

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	12	m2	410
								Year 1 Repair Cost (£)

Element : Doors		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
1 hour fire door set	Fair	No Action Required	B		20	1	No	1,367	
								Year 1 Repair Cost (£)	

Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet floor finish	Fair	No Action Required	B		5	2	m2	82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	14 m2	114	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Bathroom 415**No** : 003/4/1/007**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	10 m2	341
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2	82
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	16 m2	131	

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bedroom 416	No : 003/4/1/008	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	11 m2		375
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	5	9 m2		369
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	45 m2	369
							Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bathroom 416	No : 003/4/1/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	7 m2		239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2		82
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Vinyl sheet finish (non-slip)

Fair

No Action Required

B

5

3 m2

123

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

2

13 m2

106

**Year 1
Repair Cost (£)**

BUILDING : Block 04**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Circulation Area**No** : 003/4/1/010**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	6 m2	205
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair, with isolated cracking	No Action Required	B		20	30 m2	1,025
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	6 m2	246
							Year 1 Repair Cost (£)

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair, although slightly marked in areas	No Action Required	B		1	36 m2	295
							Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bedroom 417	No : 003/4/1/011	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	11 m2		375
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	42 m2		1,435
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Poor	Replace	C	4	Replace/In	11 m2		451
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	57 m2	467	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Bathroom 417**No** : 003/4/1/012**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	8 m2	273
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2	82
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	2 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	11 m2	90	

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bedroom 418	No : 003/4/1/013	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	36 m2		1,230
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Poor	Replace	C	4	Replace/In	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	52 m2	426	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Bathroom 418**No** : 003/4/1/014**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	8 m2	273
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2	82
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		2	2 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	11 m2	90	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Circulation Area**No** : 003/4/1/015**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	8 m2	273
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair, although slightly marked in areas	No Action Required	B		20	32 m2	1,093
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set glazed	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	8 m2	328
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair, although slightly marked in areas	No Action Required	B		1	40 m2	328	

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bedroom 411	No : 003/4/1/016	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	26 m2		888
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	6 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	10 m2	451	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	46 m2	377	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Bathroom 411**No** : 003/4/1/017**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	7 m2	239
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2	82
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		3	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	12 m2	98	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Bedroom 412**No** : 003/4/1/018**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	10 m2	341
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		10	18 m2	984
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	16 m2	546
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	11 m2	451	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	48 m2	393	

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bathroom 412	No : 003/4/1/019	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2		82
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		3	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	17 m2	139	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Circulation Area**No** : 003/4/2/001**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

20

8 m2

273

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair, although slightly marked in
areas

No Action Required

B

20

30 m2

1,025

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

5

8 m2

328

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishesFair, although slightly marked in
areas

No Action Required

B

1

48 m2

393

**Year 1
Repair Cost (£)**

BUILDING : Block 04**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Bedroom 423**No** : 003/4/2/002**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

20

15 m2

512

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

20

24 m2

820

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster on hard to walls

Fair

No Action Required

B

20

3 m2

102

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

1 hour fire door set

Fair

No Action Required

B

20

1 No

1,367

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		Replace/In	13 m2	533	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	42 m2	344	

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bathroom 423	No : 003/4/2/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2		82
								Year 1 Repair Cost (£)

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		2	3 m2	123
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	13 m2	106
							Year 1 Repair Cost (£)

BUILDING : Block 04**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Bedroom 424**No** : 003/4/2/004**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	20 m2	683
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	39 m2	1,332
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	18 m2	738
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	63 m2	516
							Year 1 Repair Cost (£)

BUILDING : Block 04**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Bathroom 424**No** : 003/4/2/005**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	6 m2	205
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	11 m2	375
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	1 m2	41
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	19 m2	155	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Bedroom 425**No** : 003/4/2/006**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	13 m2	444
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	28 m2	956
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	5	11 m2	451
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	45 m2	369
							Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bathroom 425	No : 003/4/2/007	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2		82
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	16 m2	131	

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 426	No : 003/4/2/008	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	15 m2		512
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	28 m2		956
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	5	13 m2		533
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	46	m2	377
								Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bathroom 426	No : 003/4/2/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	5	m2	170
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	6	m2	205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2	m2	82
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1	No	492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	B	4	Replace/In	13 m2	106	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Circulation Area**No** : 003/4/2/010**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	5 m2	170
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair, although slightly marked in areas	No Action Required	B		20	19 m2	649
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	5 m2	205
							Year 1 Repair Cost (£)

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair, although slightly marked in areas	No Action Required	B		1	24 m2	196
							Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 421	No : 003/4/2/011	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	26 m2		888
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	5	10 m2		410
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	38 m2	311
							Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bathroom 421	No : 003/4/2/012	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3	m2	102
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	7	m2	239
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2	m2	82
								Year 1 Repair Cost (£)
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1	No	492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	12 m2	98	

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 422	No : 003/4/2/013	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	28 m2		956
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	5	11 m2		451
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	45 m2	369
							Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bathroom 422	No : 003/4/2/014	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2		82
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	16 m2	131	

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 427	No : 003/4/2/015	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	35 m2		1,367
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	11 m2		451
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	51 m2	418	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Bathroom 427**No** : 003/4/2/016**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2	102	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	8 m2	273	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2	82	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	2 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	2	11 m2	90	

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 428	No : 003/4/2/017	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	35 m2		1,196
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Poor	Replace	C	4	Replace/In	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	52	m2	426
								Year 1 Repair Cost (£)

BUILDING : Block 04**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Bathroom 428**No** : 003/4/2/018**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	2 m2	68	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	7 m2	239	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Pre-finished board	Fair	No Action Required	B		12	2 m2	82	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	492	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Poor	Replace	C	4	Replace/In	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	11 m2	90	

FIXTURES & FITTINGS

BUILDING : Block 04

UPRN :

FLOOR : Level 3 - Canongate Street level Ground

ROOM : Manager`s Office

No : 003/4/0/013

USE :

Element : Built in cupboards

CODE : 6

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Timber built in cupboard

Fair

No action required

B

20

1

No

820

Year 1
Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 426	No : 003/4/2/008	USE :

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 426	No : 003/4/2/008	USE :

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 426	No : 003/4/2/008	USE :

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 426	No : 003/4/2/008	USE :

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 426	No : 003/4/2/008	USE :

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bedroom 426	No : 003/4/2/008	USE :

Element : Built in cupboards **CODE :** 6

Element : Built in cupboards **CODE :** 6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		20	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		20	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		20	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		20	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		20	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		20	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		20	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		20	1 No	820

Timber built in cupboards	Fair	No action required	B	20	1	No	820
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Timber built in cupboards	Fair	No action required	B	20	1	No	820
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Timber built in cupboards	Fair	No action required	B	20	1	No	820
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Timber built in cupboards	Fair	No action required	B	20	1	No	820
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Timber built in cupboards	Fair	No action required	B	20	1	No	820
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Timber built in cupboards	Fair	No action required	B	20	1	No	820
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Timber built in cupboards	Fair	No action required	B	20	1	No	820
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Year 1
Repair Cost (£

Year 1
Repair Cost (£

SANITARY

BUILDING : Block 04

UPRN :

FLOOR : Level 3 - Canongate Street level Ground

ROOM : Bathroom 404

No : 003/4/0/004

USE :

Element : WC

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)

Element : Basins

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)

Element : Baths

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic bath with shower above	Fair	No action required	B		20	1	No	656
								Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bathroom 403	No : 003/4/0/006	USE :

Element : WC		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Baths		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic bath with shower above	Fair	No action required	B		20	1	No	656
								Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bathroom 402	No : 003/4/0/008	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bathroom 401	No : 003/4/0/010A	USE :

Element : WC		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Toilet	No : 003/4/1/001A	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Ceramic WHB	Fair	No action required	B		20	1 No	328	
							Year 1 Repair Cost (£)	

BUILDING : Block 04**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Bathroom 413**No** : 003/4/1/003**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 04**UPRN** :**FLOOR** : Level 4 - First floor level**ROOM** : Bathroom 414**No** : 003/4/1/005**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Store	No : 003/4/1/006A	USE :

Element : Sinks	CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Stainless steel sink	Fair	No action required	B		10	1	No	328
								Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bathroom 415	No : 003/4/1/007	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bathroom 416	No : 003/4/1/009	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)

Element : Baths		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic bath with shower above	Fair	No action required	B		20	1	No	656
								Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bathroom 417	No : 003/4/1/012	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bathroom 418	No : 003/4/1/014	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7																	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity												Replacement Cost (£)	
Ceramic WHB	Poor Chipped enamel	Replace	C	4	Replace/In	1	No											328	
																		Year 1 Repair Cost (£)	

Element : Showers		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		15	1	No	1,148	
								Year 1 Repair Cost (£)	

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bathroom 411	No : 003/4/1/017	USE :

Element : WC		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 4 - First floor level
ROOM : Bathroom 412	No : 003/4/1/019	USE :

Element : WC		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bathroom 423	No : 003/4/2/003	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		2	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bathroom 424	No : 003/4/2/005	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Baths		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic bath with shower above	Fair	No action required	B		20	1	No	656
								Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bathroom 425	No : 003/4/2/007	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bathroom 426	No : 003/4/2/009	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bathroom 421	No : 003/4/2/012	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		15	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 04**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Bathroom 422**No** : 003/4/2/014**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 04**UPRN** :**FLOOR** : Level 5 - Second floor level**ROOM** : Bathroom 427**No** : 003/4/2/016**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 04	UPRN :	FLOOR : Level 5 - Second floor level
ROOM : Bathroom 428	No : 003/4/2/018	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		20	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1	No	328
								Year 1 Repair Cost (£)

Element : Showers		CODE : 7																	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity												Replacement Cost (£)	
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		15	1	No											1,148	
																		Year 1 Repair Cost (£)	

MECHANICAL SERVICES

BUILDING : Block 04

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/4/M&E/

USE :

Element : Gas Heating System

CODE : 13

Description

Heating was provided by 2 Ideal Viceroy Gas fired boilers in Whiteford block. Hot water from system was pumped round the bld to a number of convection radiators, by a Biral pumping setup.

Condition

The heating and its associated equipment were in fair condition with no defects evident.

Action

Continue maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

20,000

**Year 1
Repair Cost (£)**

Element : Extraction System

CODE : 13

Description

There was a mix of Xodus and Vent Axia single point extractors in use within the toilets in the resident's rooms. Single point Delta Extract extractors are installed the office area and communal areas.

Condition

The condition of these were fair with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

3,500

**Year 1
Repair Cost (£)**

Element : Domestic Hot Water

CODE : 13

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Hot water was provided by the main boilers to a large Calorfier within the boiler room. , the water was pumped throughout the bld by Biral pumps.	The condition of this was fair with no defects noted.	Continue Maintenance	B		15		20,000	

ELECTRICAL SERVICES

BUILDING : Block 04

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/4/M&E/

USE :

Element : Mains Distribution

CODE : 14

Description

Power distribution was via a mix of Wylex, GET and Dorman Smith DBs located around the bld. Wiring was contained within trunking.

Condition

All were in a fair condition with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

20

Quantity

Replacement Cost (£)

50,000

Year 1 Repair Cost (£)

Element : Light Fittings Internal

CODE : 14

Description

In the main this was a mix of T5, T8, (fitted with anti glare diffusers) 2D, CFL, tungsten and halogen fittings. Some corridors were controlled by PIR's, all other lighting were manually controlled.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

Replacement Cost (£)

25,000

Year 1 Repair Cost (£)

Element : Light Fittings Internal

CODE : 14

Description

This consisted of a mix of maintained and non-maintained self contained fittings.

Condition

The condition of the system was

Action

Continue maintenance

Cond/Ind Priority

B

L'Expec

20

Quantity

Replacement Cost (£)

8,000

Year 1 Repair Cost (£)

fair with no defects noted.

This survey did not look at system compliance, a further lighting compliance survey would be required.

Element : Light Fittings External

CODE : 14

Description

This consisted of a number of SON bulkhead fittings located around the boundary wall, these are controlled by timers.

Condition

The condition of the lighting and its associated equipment was fair with no defects noted.

Action

Continue Maintenance
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind

B

Priority

L'Expec

20

Quantity

**Replacement
Cost (£)**

2,000

**Year 1
Repair Cost (£)**

Element : I.T.

CODE : 14

Description

The bld is connected to the main Council IT network via a Netgear Router located within a Administration office. This provides a secure wireless network throughout the building.

Condition

The condition of the IT network was fair with no defects noted.

Action

Continue Maintenance

Cond/Ind

B

Priority

L'Expec

20

Quantity

**Replacement
Cost (£)**

150

**Year 1
Repair Cost (£)**

Element : Fire Alarms

CODE : 14

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
An automatic system consisting of a number of break glass manual call points, detectors and audible alarms connected to a 3404 fire alarm control panel.	The condition of the system was fair with no defects noted.	Continue Maintenance. This survey did not look at system compliance, a further in depth compliance survey would be required.	B		20		15,000	

ROOFS

BUILDING : Block 05

UPRN :

FLOOR : Roofs

ROOM : Roof 001

No : 003/5/R/001

USE :

Element : Covering

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Natural slate	Fair	No action required	B		20	36 m2	5,979	

Photo 1



Photo 2

Position

Element : Covering

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Bituminous felt	Poor and reaching end of economic life Signs of vegetation Evidence of some ponding	Clean vegetation off roof Strip off existing cover and replace with high performance felt	C		Replace/In	72 m2	7,382	

Photo 1



Photo 2

Position

Element : Structure**CODE : 1****Description**

Timber joists and rafters

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

35

Quantity

108 m2

**Replacement
Cost (£)**

8,858

**Year 1
Repair Cost (£)****Element : Flashings****CODE : 1****Description**

Lead (inc. in roof)

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

20

Quantity

40 m

**Replacement
Cost (£)**

3,007

**Year 1
Repair Cost (£)****Element : Rainwater goods****CODE : 1****Description**

CI gutters and downpipes

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

20

Quantity

61 m

**Replacement
Cost (£)**

4,169

**Year 1
Repair Cost (£)**

Element : Chimney stacks/flues

CODE : 1

Description

Brick / render with conc. copes and pots

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

20

Quantity

5 No.

**Replacement
Cost (£)**

12,235

**Year 1
Repair Cost (£)**

Element : TV aerials/dishes etc

CODE : 1

Description

Metal aerials/dishes

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

10

Quantity

3 No.

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)**

Element : Decoration

CODE : 1

Description

Gloss paint to CI gutters and downpipes etc.

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

3

Quantity

61 m2

**Replacement
Cost (£)**

500

**Year 1
Repair Cost (£)**

Element : Roof Lights

CODE : 1

Description

Timber roof hatch with felt

Condition

Poor

Action

Replace

Cond/Ind Priority

C

L'Expec

Replace/In

Quantity

1

**Replacement
Cost (£)**

400

**Year 1
Repair Cost (£)**

BUILDING : Block 05	UPRN :	FLOOR : Roofs
ROOM : Roof 002	No : 003/5/R/002	USE :

Element : Covering		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Mineral felt	Fair	No action required	B		11	48 m2		3,937
								Year 1 Repair Cost (£)
Element : Structure		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber joists and rafters	Fair	No action required	B		44	48 m2		3,937
								Year 1 Repair Cost (£)
Element : Flashings		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Felt	Fair	No action required	B		11	10 m2		820
								Year 1 Repair Cost (£)
Element : Flashings		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lead (inc. in roof)	Fair	No action required	B		56	9 m		676
								Year 1 Repair Cost (£)

Element : Rainwater goods		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Cast iron/downpipes and box	Fair	No action required	B		36	3	m	205
								Year 1 Repair Cost (£)

Element : Roof Lights		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Velux rooflight	Fair	No action required	B		25	1		500
								Year 1 Repair Cost (£)

WALLS

BUILDING : Block 05

UPRN :

FLOOR : Elevations

ROOM : Elevation 001

No : 003/5/E/001

USE :

Element : External walls

CODE : 2

Description

Window surrounds :cills,lintols
and jambs

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

35

Quantity

72 m2

**Replacement
Cost (£)**

12,796

**Year 1
Repair Cost (£)**

Element : External walls

CODE : 2

Description

Stone wall, painted

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

35

Quantity

23 m2

**Replacement
Cost (£)**

4,087

**Year 1
Repair Cost (£)**

Element : External walls

CODE : 2

Description

Wet Dash

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

57 m2

**Replacement
Cost (£)**

3,116

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Windows**CODE :2****Description**

Timber sash and case single glazed
 14 No. (2m2)
 2 No. (6m2)

Condition

Fair but requires redecoration
 Repairs required to rerope sashes; renew parting beads and refix/renew ironmongery.
 Windows at Ground floor flat stuck shut.

Action

Refer to decoration
 Repair parting beads; rerope sashes and refix/renew ironmongery.
 Ease windows on Ground floor

Note: Provisional sum included

Cond/Ind

B

Priority

4

L'Expec

10

Quantity

40 m2

Replacement Cost (£)

16,405

Year 1

Repair Cost (£)
 3,500

Element : Doors**CODE :2****Description**

Timber panelled within frame

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

16

Quantity

1 No.

Replacement Cost (£)

984

Year 1

Repair Cost (£)

Element : External joinery

CODE : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber frame at main door	Fair	No Action Required	B		21	2 m2	400	

Element : Decoration

CODE : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration All timber and wall finishes	Fair but with some flaking to quoins	No Action Required	B		3	124 m2	1,695	

BUILDING : Block 05**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation 002**No** : 003/5/E/002**USE** :**Element** : External walls**CODE** : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Wet Dash	Fair	No Action Required	B		20	88 m2	4,812	

Photo 1



Photo 2



Position

Element : Windows**CODE** : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber sash and case single glazed 6 No. (1m2)	Fair but requires redecoration All windows stuck shut.	Refer to decoration Ease windows	B	4	10	6 m2	2,460	480

Element : Doors**CODE** : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber glazed	Fair	No Action Required	B		16	1 No.	984	

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration All timber and wall finishes	Fair	No Action Required	B		3	100 m2	1,367	

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		25	5 m	2,500	

BUILDING : Block 05**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation 003**No** : 003/5/E/003**USE** :**Element** : External walls**CODE** : 2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Wet Dash

Fair

No Action Required

B

20

66 m2

3,609

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** : 2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Window surrounds :cills,lintols
and jambs

Fair

No Action Required

B

35

48 m2

8,530

**Year 1
Repair Cost (£)****Element** : Windows**CODE** : 2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Timber sash and case single
glazed

Fair but requires redecoration

Refer to decoration

B

4

10

20 m2

8,202

**Year 1
Repair Cost (£)**
250

10 No. (2m2)

Repairs required to rerope sashes; renew parting beads and refix/renew ironmongery.

Repair parting beads; rerope sashes and refix/renew ironmongery.

Element : Doors

CODE : 2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Timber glazed

Fair

No Action Required

B

16

1 No.

984

**Year 1
Repair Cost (£)**

Element : Doors

CODE : 2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Timber louvred doors

Fair

No Action Required

B

16

4 No.

3,937

**Year 1
Repair Cost (£)**

Element : Decoration

CODE : 2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
All timber and wall finishes

Fair

No Action Required

B

3

118 m2

1,613

**Year 1
Repair Cost (£)**

BUILDING : Block 05**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation 004**No** : 003/5/E/004**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Wet Dash

Fair

No Action Required

B

20

156 m2

8,530

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Window surrounds :cills,lintols
and jambs

Fair

No Action Required

B

35

27 m2

4,798

**Year 1
Repair Cost (£)****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**3 No.Timber sash and case
single glazed (6m2)

Fair but requires redecoration

Refer to decoration

B

10

11 m2

4,511

**Year 1
Repair Cost (£)**

3 No. Timber casement single glazed (5m2)

Element : Doors		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Timber glazed	Fair	No Action Required	B		16	1	No.	984
								Year 1 Repair Cost (£)

Element : Decoration		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Re-decoration All timber and wall finishes	Fair	No Action Required	B		3	156	m2	2,132
								Year 1 Repair Cost (£)

STRUCTURE

BUILDING : Block 05	UPRN :	FLOOR : Level 3 - Outwith flat
ROOM : Stairwell	No : 003/5/0/009	USE :

Element : Stairs		CODE :4						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Stone stairs	Fair	No action required	B		35	45 m2	15,379	
							Year 1 Repair Cost (£)	

BUILDING : Block 05	UPRN :	FLOOR : Structure
ROOM : Structure	No : 003/5/St/St	USE :

Element : Floors		CODE : 4						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber floor	Fair	No action required	B		35	m2		
								Year 1 Repair Cost (£)
Element : Stairs		CODE : 4						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Stone stair	Fair	No action required	B		35	m2		
								Year 1 Repair Cost (£)
Element : Walls		CODE : 4						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Stone walls	Fair	No action required	B		35	m2		
								Year 1 Repair Cost (£)

ROOMS

BUILDING : Block 05

UPRN :

FLOOR : Level 3 - Canongate Street level Ground

ROOM : Circulation Area

No : 003/5/0/001

USE :

Element : Ceilings

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	7 m2	239	

Element : Walls

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	20 m2	683	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls;	Fair	No Action Required	B		2	37 m2	303	

gloss/varnish to timber finishes



BUILDING : Block 05**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Store**No** : 003/5/0/002**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	2	m2	68
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	7	m2	239
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber strip flooring	Fair	No Action Required	B	22	2	m2	164
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	11 m2	90	

BUILDING : Block 05	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Living Room	No : 003/5/0/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	44 m2		649
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	61 m2		2,084
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B		12	3 m2		123
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber panelling to walls	Fair	No Action Required	B		10	3 m2		205
								Year 1 Repair Cost (£)

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber strip flooring	Fair	No Action Required	B		22	44 m2	3,609
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	116 m2	926
							Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bedroom 1	No : 003/5/0/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	9 m2		307
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	27 m2		922
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber strip flooring	Fair	No Action Required	B		22	9 m2		738
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	42 m2	344	

BUILDING : Block 05	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bedroom 2	No : 003/5/0/005	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	19	m2	649	
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	32	m2	1,093	
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492	
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber strip flooring	Fair	No Action Required	B	22	19	m2	738	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	58 m2	475
							Year 1 Repair Cost (£)

BUILDING : Block 05**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Bathroom**No** : 003/5/0/006**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	4	m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	6	m2	205
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lining board to walls Pre-finished board	Fair	No Action Required	B	15	3	m2	123
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Quarry tiled floor	Fair	No Action Required	B		27	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	12 m2	98	

BUILDING : Block 05**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Store**No** : 003/5/0/007**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard ceiling (stairwell above)	Fair	No Action Required	B	31	3	m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B	31	10	m2	341
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber strip flooring	Fair	No Action Required	B	10	2	m2	164
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	15	m2	123
								Year 1 Repair Cost (£)

BUILDING : Block 05**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Toilet**No** : 003/5/0/008**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

32

6

m2

205

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

20

m2

683

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Lining board to walls and ceiling
Pre-finished board

Fair

No Action Required

B

15

6

m2

246

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Softwood timber flush

Fair

No Action Required

B

22

1

No

492

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Vinyl tile floor finish

Fair

No Action Required

B

7

6 m2

246

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

2

28 m2

229

**Year 1
Repair Cost (£)**

BUILDING : Block 05		UPRN :		FLOOR : Level 3 - Outwith flat			
ROOM : Stairwell		No : 003/5/0/009		USE :			
Element : Ceilings		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster ceiling	Fair, although nearing end of economic lifespan	Make good plaster finish	B	4	5	12 m2	656
							Year 1 Repair Cost (£)
							100
Element : Ceilings		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard ceiling	Fair	No Action Required	B		15	10 m2	341
							Year 1 Repair Cost (£)
Element : Ceilings		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair, although minor damage to plasterboard in isolated areas.	Make good damaged plasterboard finish	B	4	15	14 m2	478
							Year 1 Repair Cost (£)
							150
Element : Walls		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair, with damaged plaster in isolated areas	Make good plaster finish	B	4	20	248 m2	8,476
							Year 1 Repair Cost (£)
							50

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Composite - Linatol	Fair	No Action Required	B		12	46 m2	5,030	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	294 m2	2,411	

BUILDING : Block 05	UPRN :	FLOOR : Level 3 - Outwith flat
ROOM : Store	No : 003/5/0/010	USE :

Element : Ceilings		CODE :5																	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity												Replacement Cost (£)	
Plasterboard ceiling	Fair	No Action Required	B		32	7	m2											239	
																		Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	36	m2	1,230
								Year 1 Repair Cost (£)

Element : Doors		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
1 hour fire door set	Fair	No Action Required	B		20	1	No	1,367	
								Year 1 Repair Cost (£)	

Element : Floors							
CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Composite - Linatol	Fair	No Action Required	B		12	7 m2	574
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	45 m2	90	

BUILDING : Block 05	UPRN :	FLOOR : Level 3 - Outwith flat
ROOM : Store	No : 003/5/0/011	USE :

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Brick/stone walls	Fair	No Action Required	B		32	6	m2	492
								Year 1 Repair Cost (£)
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber louvred doors	Fair	No Action Required	B		22	1	m2	341
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted Concrete	Fair	No Action Required	B		40	1	m2	68
								Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 3 - Outwith flat
ROOM : Store	No : 003/5/0/012	USE :

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Brick/stone walls	Fair	No Action Required	B		32	8	m2	656
							Year 1 Repair Cost (£)	

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber louvred doors	Fair	No Action Required	B		22	2	m2	683
							Year 1 Repair Cost (£)	

Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted Concrete	Fair	No Action Required	B		40	2	m2	164
							Year 1 Repair Cost (£)	

BUILDING : Block 05	UPRN :	FLOOR : Level 3 - Outwith flat
ROOM : Store	No : 003/5/0/013	USE :

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Brick/stone walls	Fair	No Action Required	B		32	6	m2	492
							Year 1 Repair Cost (£)	
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber louvred doors	Fair	No Action Required	B		22	1	m2	341
							Year 1 Repair Cost (£)	
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted Concrete	Fair	No Action Required	B		40	1	m2	68
							Year 1 Repair Cost (£)	

BUILDING : Block 05	UPRN :	FLOOR : Level 3 - Outwith flat
ROOM : Vestibule	No : 003/5/0/014	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	2	m2	68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair, although damaged in isolated areas	Make good damaged plasterboard finish	B	4	20	5	m2	170
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	3	m2	102
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Composite - Linatol	Fair	No Action Required	B		12	2	m2	218
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	14	m2	114
								Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : Circulation Area 1	No : 003/5/1/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	2	m2	68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	3	m2	102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	6	m2	205
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	2	m2	82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No Action Required	B		2	11 m2	90	

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : WC	No : 003/5/1/002	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	2	m2	68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	8	m2	273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	2	m2	82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No Action Required	B		2	10 m2	82	

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : Circulation Area 2	No : 003/5/1/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	7 m2		239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	14 m2		478
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	14 m2		478
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No Action Required	B		2	35 m2	287	

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : Living Room	No : 003/5/1/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	19 m2		649
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		5	20 m2		1,093
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	19 m2	779	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No Action Required	B		2	52 m2	426	

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : Bedroom 1	No : 003/5/1/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	11 m2		375
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	20 m2		683
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		5	10 m2		546
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	11 m2	451	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No action required	B		2	43 m2	352	

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : Store	No : 003/5/1/006	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	11 m2		375
								Year 1 Repair Cost (£)
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		Replace/In	15	m2	123
								Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : Bathroom	No : 003/5/1/007	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		5	3 m2		164
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lining board to walls Pre-finished board	Fair	No Action Required	B		15	10 m2		410
								Year 1 Repair Cost (£)

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No Action Required	B		2	10 m2	82	

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : Bedroom 2	No : 003/5/1/008	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		5	20 m2		1,093
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	13 m2	533	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	45 m2	369	

BUILDING : Block 05**UPRN** :**FLOOR** : Level 4 - First floor level Flat 55/1**ROOM** : Kitchen**No** : 003/5/1/009**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	10 m2	341
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		5	13 m2	710
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	5 m2	170
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	2 m2	68
							Year 1 Repair Cost (£)

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B		12	2	m2	82
								Year 1 Repair Cost (£)
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	10	m2	410
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration	Fair	No Action Required	B		2	30	m2	246
								Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 5 - Second floor level Flat 55/2
ROOM : Circulation Area 1	No : 003/5/2/001	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	2	m2	68
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	3	m2	102
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	6	m2	205
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	2	m2	82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No Action Required	B		2	11 m2	90	

BUILDING : Block 05	UPRN :	FLOOR : Level 5 - Second floor level Flat 55/2
ROOM : WC	No : 003/5/2/002	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	2	m2	68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	8	m2	273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	2	m2	82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No Action Required	B		2	10 m2	82	

BUILDING : Block 05	UPRN :	FLOOR : Level 5 - Second floor level Flat 55/2
ROOM : Circulation Area 2	No : 003/5/2/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	7 m2		239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	14 m2		478
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	14 m2		478
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No Action Required	B		2	35 m2	287	

BUILDING : Block 05**UPRN** :**FLOOR** : Level 5 - Second floor level Flat 55/2**ROOM** : Living Room**No** : 003/5/2/004**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	19	m2	649
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	13	m2	444
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B	5	20	m2	1,093
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	19 m2	779	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	52 m2	426	

BUILDING : Block 05**UPRN** :**FLOOR** : Level 5 - Second floor level Flat 55/2**ROOM** : Bedroom 1**No** : 003/5/2/005**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	11	m2	375
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	20	m2	683
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B	5	10	m2	546
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	11 m2	451	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No action required	B		2	43 m2	352	

BUILDING : Block 05**UPRN** :**FLOOR** : Level 5 - Second floor level Flat 55/2**ROOM** : Store**No** : 003/5/2/006**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	2	m2	68
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	11	m2	375
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	7	2	m2	82
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		Replace/In	15	m2	123
								Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 5 - Second floor level Flat 55/2
ROOM : Bathroom 1	No : 003/5/2/007	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Plasterboard ceiling	Fair	No Action Required	B		32	4 m2	136	
							Year 1 Repair Cost (£)	
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Plasterboard walls	Fair	No Action Required	B		32	2 m2	68	
							Year 1 Repair Cost (£)	
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Lath & plaster to walls	Fair	No Action Required	B		5	3 m2	164	
							Year 1 Repair Cost (£)	
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Lining board to walls Pre-finished board	Fair	No Action Required	B		15	10 m2	410	
							Year 1 Repair Cost (£)	

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	3 m2	123
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration	Fair	No Action Required	B		2	10 m2	82
							Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 5 - Second floor level Flat 55/2
ROOM : Bedroom 2	No : 003/5/2/008	USE :

Element : Ceilings		CODE : 5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	13 m2	444
							Year 1 Repair Cost (£)
Element : Walls		CODE : 5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	10 m2	341
							Year 1 Repair Cost (£)
Element : Walls		CODE : 5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		5	20 m2	1,093
							Year 1 Repair Cost (£)
Element : Doors		CODE : 5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	13 m2	533	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	45 m2	369	

BUILDING : Block 05**UPRN** :**FLOOR** : Level 5 - Second floor level Flat 55/2**ROOM** : Kitchen**No** : 003/5/2/009**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	10	m2	341
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B	5	13	m2	710
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	5	m2	170
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B	31	2	m2	68
							Year 1 Repair Cost (£)

Element : Walls		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B		12	2 m2	82
							Year 1 Repair Cost (£)
Element : Doors		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492
							Year 1 Repair Cost (£)
Element : Floors		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	10 m2	410
							Year 1 Repair Cost (£)
Element : Decoration		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	30 m2	246
							Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 6 - Third floor level Flat 55/3
ROOM : Circulation Area 1	No : 003/5/3/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	2	m2	68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	3	m2	102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	6	m2	205
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	2	m2	82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No Action Required	B		2	11 m2	90	

BUILDING : Block 05**UPRN** :**FLOOR** : Level 6 - Third floor level Flat 55/3**ROOM** : WC**No** : 003/5/3/002**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	2	m2	68	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	8	m2	273	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492	

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B	7	2	m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No Action Required	B		2	10 m2	82	

BUILDING : Block 05	UPRN :	FLOOR : Level 6 - Third floor level Flat 55/3
ROOM : Circulation Area 2	No : 003/5/3/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	7 m2		239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	14 m2		478
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	14 m2		478
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No Action Required	B		2	35 m2	287	

BUILDING : Block 05**UPRN** :**FLOOR** : Level 6 - Third floor level Flat 55/3**ROOM** : Living Room**No** : 003/5/3/004**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	19 m2	649
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	13 m2	444
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		5	20 m2	1,093
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	19 m2	779	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No Action Required	B		2	52 m2	426	

BUILDING : Block 05	UPRN :	FLOOR : Level 6 - Third floor level Flat 55/3
ROOM : Bedroom 1	No : 003/5/3/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	11 m2		375
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	20 m2		683
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		5	10 m2		546
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	11 m2	451	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No action required	B		2	43 m2	352	

BUILDING : Block 05	UPRN :	FLOOR : Level 6 - Third floor level Flat 55/3
ROOM : Store	No : 003/5/3/006	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	11 m2		375
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		Replace/In	15	m2	123
								Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 6 - Third floor level Flat 55/3
ROOM : Bathroom	No : 003/5/3/007	USE :

Element : Ceilings		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Plasterboard ceiling	Fair	No Action Required	B	32	4	m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Plasterboard walls	Fair	No Action Required	B	32	2	m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Lath & plaster to walls	Fair	No Action Required	B	5	3	m2		164
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Lining board to walls Pre-finished board	Fair	No Action Required	B	15	10	m2		410
								Year 1 Repair Cost (£)

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	3 m2	123
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration	Fair	No Action Required	B		2	10 m2	82
							Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 6 - Third floor level Flat 55/3
ROOM : Bedroom 2	No : 003/5/3/008	USE :

Element : Ceilings		CODE :5																	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity												Replacement Cost (£)	
Plasterboard ceiling	Fair	No Action Required	B		32	13	m2											444	
																		Year 1 Repair Cost (£)	

Element : Walls		CODE :5											
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)					
Plasterboard walls	Fair	No Action Required	B		32	10	m2	341					
									Year 1 Repair Cost (£)				

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Lath & plaster to walls	Fair	No Action Required	B		5	20 m2	1,093	
							Year 1 Repair Cost (£)	

Element : Doors				CODE :5			
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	13 m2	533	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	45 m2	369	

BUILDING : Block 05	UPRN :	FLOOR : Level 6 - Third floor level Flat 55/3
ROOM : Kitchen	No : 003/5/3/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		5	13 m2		710
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	5 m2		170
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	2 m2		68
								Year 1 Repair Cost (£)

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B		12	2	m2	82
								Year 1 Repair Cost (£)
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	10	m2	410
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration	Fair	No Action Required	B		2	30	m2	246
								Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 7 - Fourth floor level Flat 55/4
ROOM : Circulation Area	No : 003/5/4/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	6 m2		205
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No Action Required	B		2	11 m2	90	

BUILDING : Block 05**UPRN** :**FLOOR** : Level 7 - Fourth floor level Flat 55/4**ROOM** : Bathroom**No** : 003/5/4/002**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	2	m2	68
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	8	m2	273
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Vinyl sheet finish	Fair	No Action Required	B	7	2	m2	82
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No Action Required	B		2	10 m2	82	

BUILDING : Block 05	UPRN :	FLOOR : Level 7 - Fourth floor level Flat 55/4
ROOM : Circulation Area	No : 003/5/4/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	5 m2		170
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	2 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	14 m2		478
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	5 m2		205
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	33 m2	270	

BUILDING : Block 05**UPRN** :**FLOOR** : Level 7 - Fourth floor level Flat 55/4**ROOM** : Living Room**No** : 003/5/4/004**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	18	m2	615
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	13	m2	444
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B	5	20	m2	1,093
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	19 m2	779	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	52 m2	426	

BUILDING : Block 05	UPRN :	FLOOR : Level 7 - Fourth floor level Flat 55/4
ROOM : Bedroom 1	No : 003/5/4/005	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Plasterboard ceiling	Fair	No Action Required	B		32	13 m2	444	
							Year 1 Repair Cost (£)	
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Plasterboard walls	Fair	No Action Required	B		32	22 m2	751	
							Year 1 Repair Cost (£)	
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Lath & plaster to walls	Fair	No Action Required	B		5	10 m2	546	
							Year 1 Repair Cost (£)	
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Softwood timber flush	Fair	No Action Required	B		22	1 No	492	
							Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	13 m2	533	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No action required	B		2	47 m2	385	

BUILDING : Block 05**UPRN** :**FLOOR** : Level 7 - Fourth floor level Flat 55/4**ROOM** : Store**No** : 003/5/4/006**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	1	m2	34
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	7	m2	239
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	7	1	m2	41
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		Replace/In	8	m2	65
								Year 1 Repair Cost (£)

BUILDING : Block 05**UPRN** :**FLOOR** : Level 7 - Fourth floor level Flat 55/4**ROOM** : Bathroom**No** : 003/5/4/007**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	4 m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	2 m2	68
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		5	3 m2	164
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lining board to walls Pre-finished board	Fair	No Action Required	B		15	3 m2	123
							Year 1 Repair Cost (£)

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	10 m2	82	

BUILDING : Block 05**UPRN** :**FLOOR** : Level 7 - Fourth floor level Flat 55/4**ROOM** : Bedroom 2**No** : 003/5/4/008**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	8	m2	273
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	8	m2	273
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B	5	12	m2	656
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	13 m2	533	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	30 m2	246	

BUILDING : Block 05	UPRN :	FLOOR : Level 7 - Fourth floor level Flat 55/4
ROOM : Kitchen	No : 003/5/4/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	11 m2		375
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		5	13 m2		710
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	5 m2		170
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	2 m2		68
								Year 1 Repair Cost (£)

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B		12	2	m2	82
								Year 1 Repair Cost (£)
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	10	m2	410
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	30	m2	246
								Year 1 Repair Cost (£)

FIXTURES & FITTINGS

BUILDING : Block 05	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bedroom 1	No : 003/5/0/004	USE :

Element : Built in cupboards		CODE : 6						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Timber buit in cupboards	Fair	No action required	B		22	1	No	820
								Year 1
								Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bedroom 2	No : 003/5/0/005	USE :

BUILDING : Block 05	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bedroom 2	No : 003/5/0/005	USE :

BUILDING : Block 05	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bedroom 2	No : 003/5/0/005	USE :

ROOM : Bedroom 2	No : 003/5/0/005	USE :
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ROOM : Bedroom 2	No : 003/5/0/005	USE :
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ROOM : Bedroom 2	No : 003/5/0/005	USE :
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Element : Built in cupboards **CODE :** 6

Element : Built in cupboards **CODE :** 6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Timber built in cupboards	Fair	No action required	B	22	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	22	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	22	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	22	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	22	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	22	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	22	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	22	2	No	1,640
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[illegible]

BUILDING : Block 05	UPRN :	FLOOR : Level 3 - Outwith flat
ROOM : Stairwell	No : 003/5/0/009	USE :

Element : Built in cupboards	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Boiler tank cupboard	Fair	No action required	B		20	1	No	820
								Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : Kitchen	No : 003/5/1/009	USE :

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : Kitchen	No : 003/5/1/009	USE :

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : Kitchen	No : 003/5/1/009	USE :

ROOM : Kitchen	No : 003/5/1/009	USE :
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ROOM : Kitchen	No : 003/5/1/009	USE :
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ROOM : Kitchen	No : 003/5/1/009	USE :
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Element : Worktops **CODE :** 6

Element : Worktops **CODE :** 6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Laminate / chipboard worktop	Fair	No action required	B		12	3 m2	205

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Laminate / chipboard worktop	Fair	No action required	B		12	3 m2	205

Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
							Year 1 Repair Cost (£)

Element : Built in cupboards **CODE :** 6

Element : Built in cupboards **CODE :** 6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		12	5 No	4,101

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		12	5 No	4,101

Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
							Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 5 - Second floor level Flat 55/2
ROOM : Kitchen	No : 003/5/2/009	USE :

BUILDING : Block 05	UPRN :	FLOOR : Level 5 - Second floor level Flat 55/2
ROOM : Kitchen	No : 003/5/2/009	USE :

BUILDING : Block 05	UPRN :	FLOOR : Level 5 - Second floor level Flat 55/2
ROOM : Kitchen	No : 003/5/2/009	USE :

ROOM : Kitchen	No : 003/5/2/009	USE :
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ROOM : Kitchen	No : 003/5/2/009	USE :
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ROOM : Kitchen	No : 003/5/2/009	USE :
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Element : Worktops **CODE :** 6

Element : Worktops **CODE :** 6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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	Year 1
	Repair Cost (£)

Element : Built in cupboards **CODE :** 6

Element : Built in cupboards **CODE :** 6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Year 1		Year 1 Repair Cost (£)
1	100	100
2	200	200
3	300	300
4	400	400
5	500	500
6	600	600
7	700	700
8	800	800
9	900	900
10	1000	1000

BUILDING : Block 05	UPRN :	FLOOR : Level 7 - Fourth floor level Flat 55/4
ROOM : Kitchen	No : 003/5/4/009	USE :

BUILDING : Block 05	UPRN :	FLOOR : Level 7 - Fourth floor level Flat 55/4
ROOM : Kitchen	No : 003/5/4/009	USE :

BUILDING : Block 05	UPRN :	FLOOR : Level 7 - Fourth floor level Flat 55/4
ROOM : Kitchen	No : 003/5/4/009	USE :

BUILDING : Block 05	UPRN :	FLOOR : Level 7 - Fourth floor level Flat 55/4
ROOM : Kitchen	No : 003/5/4/009	USE :

BUILDING : Block 05	UPRN :	FLOOR : Level 7 - Fourth floor level Flat 55/4
ROOM : Kitchen	No : 003/5/4/009	USE :

BUILDING : Block 05	UPRN :	FLOOR : Level 7 - Fourth floor level Flat 55/4
ROOM : Kitchen	No : 003/5/4/009	USE :

Element : Worktops **CODE :** 6

Element : Worktops **CODE :** 6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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Laminate / chipboard worktop	Fair	No action required	B	12	3	m2	205
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	Year 1
	Repair Cost (£)

Element : Built in cupboards **CODE :** 6

Element : Built in cupboards **CODE :** 6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	12	5	No	4,101
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Year 1		Year 1 Repair Cost (£)
1	100	100
2	200	200
3	300	300
4	400	400
5	500	500
6	600	600
7	700	700
8	800	800
9	900	900
10	1000	1000
11	1100	1100
12	1200	1200
13	1300	1300
14	1400	1400
15	1500	1500
16	1600	1600
17	1700	1700
18	1800	1800
19	1900	1900
20	2000	2000
21	2100	2100
22	2200	2200
23	2300	2300
24	2400	2400
25	2500	2500
26	2600	2600
27	2700	2700
28	2800	2800
29	2900	2900
30	3000	3000
31	3100	3100
32	3200	3200
33	3300	3300
34	3400	3400
35	3500	3500
36	3600	3600
37	3700	3700
38	3800	3800
39	3900	3900
40	4000	4000
41	4100	4100
42	4200	4200
43	4300	4300
44	4400	4400
45	4500	4500
46	4600	4600
47	4700	4700
48	4800	4800
49	4900	4900
50	5000	5000
51	5100	5100
52	5200	5200
53	5300	5300
54	5400	5400
55	5500	5500
56	5600	5600
57	5700	5700
58	5800	5800
59	5900	5900
60	6000	6000
61	6100	6100
62	6200	6200
63	6300	6300
64	6400	6400
65	6500	6500
66	6600	6600
67	6700	6700
68	6800	6800
69	6900	6900
70	7000	7000
71	7100	7100
72	7200	7200
73	7300	7300
74	7400	7400
75	7500	7500
76	7600	7600
77	7700	7700
78	7800	7800
79	7900	7900
80	8000	8000
81	8100	8100
82	8200	8200
83	8300	8300
84	8400	8400
85	8500	8500
86	8600	8600
87	8700	8700
88	8800	8800
89	8900	8900
90	9000	9000
91	9100	9100
92	9200	9200
93	9300	9300
94	9400	9400
95	9500	9500
96	9600	9600
97	9700	9700
98	9800	9800
99	9900	9900
100	10000	10000

SANITARY

BUILDING : Block 05	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Living Room	No : 003/5/0/003	USE :

Element : Sinks		CODE : 7						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Ceramic sink	Fair	No action required	B		12	1	No	500
								Year 1
								Repair Cost (£)

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BUILDING : Block 05	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Bathroom	No : 003/5/0/006	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		22	1	No	328	
									Year 1 Repair Cost (£)
Element : Sinks		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic sink	Fair	No action required	B		12	1	No	328	
									Year 1 Repair Cost (£)
Element : Baths		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic bath&shower	Fair	No action required	B		22	1	No	656	
									Year 1 Repair Cost (£)

BUILDING : Block 05**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Toilet**No** : 003/5/0/008**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		17	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : WC	No : 003/5/1/002	USE :

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : WC	No : 003/5/1/002	USE :

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : WC	No : 003/5/1/002	USE :

ROOM : WC	No : 003/5/1/002	USE :
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ROOM : WC	No : 003/5/1/002	USE :
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ROOM : WC	No : 003/5/1/002	USE :
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Element : WC **CODE :** 7

Element : WC **CODE :** 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1 No	328

Ceramic WC cistern and bowl	Fair	No action required	B	22	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	22	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	22	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	22	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	22	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	22	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	22	1	No	328
							Year 1 Repair Cost (£)

Element : Sinks	CODE : 7
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Element : Sinks	CODE : 7
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic sink	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic sink	Fair	No action required	B		12	1 No	328

Ceramic sink	Fair	No action required	B	12	1	No	328
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Ceramic sink	Fair	No action required	B	12	1	No	328
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Ceramic sink	Fair	No action required	B	12	1	No	328
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Ceramic sink	Fair	No action required	B	12	1	No	328
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Ceramic sink	Fair	No action required	B	12	1	No	328
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Ceramic sink	Fair	No action required	B	12	1	No	328
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Ceramic sink	Fair	No action required	B	12	1	No	328
							Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : Bathroom	No : 003/5/1/007	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		22	1	No	328
								Year 1 Repair Cost (£)
Element : Sinks		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic sink	Fair	No action required	B		12	1	No	328
								Year 1 Repair Cost (£)
Element : Baths		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic bath	Fair	No action required	B		22	1	No	656
								Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : Kitchen	No : 003/5/1/009	USE :

Element : Sinks	CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1	No	328
								Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 5 - Second floor level Flat 55/2
ROOM : WC	No : 003/5/2/002	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		22	1	No	328
								Year 1 Repair Cost (£)

Element : Sinks		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic sink	Fair	No action required	B		12	1	No	328
								Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 5 - Second floor level Flat 55/2
ROOM : Bathroom 1	No : 003/5/2/007	USE :

Element : WC		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1	No	328
								Year 1 Repair Cost (£)
Element : Sinks		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic sink	Fair	No action required	B		12	1	No	328
								Year 1 Repair Cost (£)
Element : Baths		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic bath	Fair	No action required	B		22	1	No	656
								Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 6 - Third floor level Flat 55/3
ROOM : WC	No : 003/5/3/002	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		22	1	No	328	
								Year 1 Repair Cost (£)	

Element : Sinks		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic sink	Fair	No action required	B		12	1	No	328
								Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 6 - Third floor level Flat 55/3
ROOM : Bathroom	No : 003/5/3/007	USE :

Element : WC		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1	No	328
								Year 1 Repair Cost (£)
Element : Sinks		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic sink	Fair	No action required	B		12	1	No	328
								Year 1 Repair Cost (£)
Element : Baths		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic bath	Fair	No action required	B		22	1	No	656
								Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 6 - Third floor level Flat 55/3
ROOM : Kitchen	No : 003/5/3/009	USE :

Element : Sinks		CODE : 7						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1	No	328
								Year 1
								Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 7 - Fourth floor level Flat 55/4
ROOM : Bathroom	No : 003/5/4/007	USE :

Element : WC		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1	No	328
								Year 1 Repair Cost (£)
Element : Sinks		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic sink	Fair	No action required	B		12	1	No	328
								Year 1 Repair Cost (£)
Element : Baths		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic bath	Fair	No action required	B		22	1	No	656
								Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 7 - Fourth floor level Flat 55/4
ROOM : Kitchen	No : 003/5/4/009	USE :

Element : Sinks	CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1	No	328
								Year 1 Repair Cost (£)

FIRE MATTERS

BUILDING : Block 05	UPRN :	FLOOR : Level 4 - First floor level Flat 55/1
ROOM : Circulation Area 1	No : 003/5/1/001	USE :

Element : Fire Risk Assessment		CODE : 9						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Softwood timber flush 1 HR Fire doors with smoke seals and intumescent strips(one with door closer)	Fair	No Action Required	B		22	2	No	2,000

BUILDING : Block 05	UPRN :	FLOOR : Level 5 - Second floor level Flat 55/2
ROOM : Circulation Area 1	No : 003/5/2/001	USE :

BUILDING : Block 05	UPRN :	FLOOR : Level 5 - Second floor level Flat 55/2
ROOM : Circulation Area 1	No : 003/5/2/001	USE :

BUILDING : Block 05	UPRN :	FLOOR : Level 5 - Second floor level Flat 55/2
ROOM : Circulation Area 1	No : 003/5/2/001	USE :

ROOM : Circulation Area 1 **No :** 003/5/2/001 **USE :**

ROOM : Circulation Area 1 **No :** 003/5/2/001 **USE :**

ROOM : Circulation Area 1 **No :** 003/5/2/001 **USE :**

Element : Fire Risk Assessment **CODE :** 9

Element : Fire Risk Assessment **CODE :** 9

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush 1 HR Fire doors with smoke seals and intumescent strips and door closers	Fair	No Action Required	B		22	2 No	2,000
							Year 1 Repair Cost (£)

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush 1 HR Fire doors with smoke seals and intumescent strips and door closers	Fair	No Action Required	B		22	2 No	2,000
							Year 1 Repair Cost (£)

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush 1 HR Fire doors with smoke seals and intumescent strips and door closers	Fair	No Action Required	B		22	2 No	2,000
							Year 1 Repair Cost (£)

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush 1 HR Fire doors with smoke seals and intumescent strips and door closers	Fair	No Action Required	B		22	2 No	2,000
							Year 1 Repair Cost (£)

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush 1 HR Fire doors with smoke seals and intumescent strips and door closers	Fair	No Action Required	B		22	2 No	2,000
							Year 1 Repair Cost (£)

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush 1 HR Fire doors with smoke seals and intumescent strips and door closers	Fair	No Action Required	B		22	2 No	2,000
							Year 1 Repair Cost (£)

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush 1 HR Fire doors with smoke seals and intumescent strips and door closers	Fair	No Action Required	B		22	2 No	2,000
							Year 1 Repair Cost (£)

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush 1 HR Fire doors with smoke seals and intumescent strips and door closers	Fair	No Action Required	B		22	2 No	2,000
							Year 1 Repair Cost (£)

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush 1 HR Fire doors with smoke seals and intumescent strips and door closers	Fair	No Action Required	B		22	2 No	2,000
							Year 1 Repair Cost (£)

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush 1 HR Fire doors with smoke seals and intumescent strips and door closers	Fair	No Action Required	B		22	2 No	2,000
							Year 1 Repair Cost (£)

Description		Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush		Fair	No Action Required	B		22	2	No
1 HR Fire doors with smoke seals and intumescent strips and door closers								
								Year 1 Repair Cost (£)

Description		Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush		Fair	No Action Required	B		22	2	No
1 HR Fire doors with smoke seals and intumescent strips and door closers								
								Year 1 Repair Cost (£)

seals and intumescent strips and door closers	Year 1 Repair Cost (£)
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BUILDING : Block 05	UPRN :	FLOOR : Level 6 - Third floor level Flat 55/3
ROOM : Circulation Area 1	No : 003/5/3/001	USE :

Element : Fire Risk Assessment		CODE : 9						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Softwood timber flush 1 HR Fire doors with smoke seals and intumescent strips and door closers	Fair	No Action Required	B		22	2	No	2,000
								Year 1 Repair Cost (£)

BUILDING : Block 05	UPRN :	FLOOR : Level 7 - Fourth floor level Flat 55/4
ROOM : Circulation Area	No : 003/5/4/001	USE :

Element : Fire Risk Assessment		CODE : 9						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Softwood timber flush 1 HR Fire doors with smoke seals and intumescent strips and door closers	Fair	No Action Required	B		22	2	No	2,000
								Year 1 Repair Cost (£)

MECHANICAL SERVICES

BUILDING : Block 05

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/5/M&E/

USE :

Element : Gas Heating System

CODE : 13

Description

Heating was provided from two Potterton Suprima 100 gas fired boilers; this supplied a district heating system to all the residences. Hot water from system was pumped round the residences to a number of convection radiators, by a Grundfos pumping setup.

Condition

The heating and its associated equipment were in fair condition however Flat 55/2 has evidence of leakage at the bathroom pipework and the controls for the heating system are located within the basement residence of Addison Smith, this is a remote location from the actual heating equipment.

Action

Continue maintenance Flat 55/2 pipework to be examined and It is recommended that the controls are repositioned as access to the controls may not always be available. The boilers in use are of fair condition for their age however the building has been modernised and the system is now supplying more equipment than when it was first installed. It is recommended that consideration be given to upgrading the system to a more efficient system; a further detailed survey would be required to confirm this.

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

70,000

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Extraction System

CODE : 13

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
There was Greenwood extractors in use within the toilets. Within the kitchen a domestic cooker extractor was installed.	The condition of these were fair with no defects noted.	Continue Maintenance	B		15		1,500	

Element : Domestic Hot Water

CODE : 13

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Hot water was provided by the boilers to a calorfier, the water was pumped throughout the bld by Grundfos pumps.	The condition of this was fair with no defects noted.	Continue Maintenance	B		15		15,000	

ELECTRICAL SERVICES

BUILDING : Block 05

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/5/M&E/

USE :

Element : Mains Distribution

CODE : 14

Description

Power distribution was via Dorman Smith Load Limiter DB's located in each residence. Wiring was contained within the walls.

Condition

All were in a fair condition with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

20

Quantity

Replacement Cost (£)

100,000

Year 1

Repair Cost (£)

Element : Light Fittings Internal

CODE : 14

Description

In the main this was a mix of tungsten, CFL and 2D fittings. There was no sign of automatic controls. Within the stairwell T8 lighting was in use. These were controlled by time delay switches.

Condition

The condition of the system was fair however it was noted that none of them operated and all stairwell lights were constantly lit.

Action

Continue maintenance
It is recommended that the lighting controls are rectified.
It is recommended that an ongoing maintenance plan is introduced for the replacement of all tungsten lights with CFL lighting; this would help towards reducing the annual electricity costs.
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

Replacement Cost (£)

50,000

Year 1

Repair Cost (£)

Photo 1**Photo 2****Position****Element : Light Fittings Internal****CODE : 14****Description**

This consisted of non-maintained self contained fittings.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity**Replacement Cost (£)**

8,000

Year 1 Repair Cost (£)**Element : Light Fittings External****CODE : 14****Description**

This consisted of a number of SON bulkhead fittings located around the building, these are controlled by timers.

Condition

The condition of the lighting and its associated equipment was fair with no defects noted.

Action

Continue Maintenance
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity**Replacement Cost (£)**

8,000

Year 1 Repair Cost (£)

Element : Fire Alarms**CODE : 14****Description**

Each residence has been supplied with battery operated stand alone smoke detectors. There are Gent detectors and Sirens installed within the residences.

Condition

The condition of the system was fair however it was stated that detectors may have been disconnected at the time of refurbishment although it was stated that the sirens still sound when the main building alarm is tested.

Action

Continue Maintenance.
It is recommended that the Gent detectors and sirens are checked for operation.
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity**Replacement
Cost (£)**

100

**Year 1
Repair Cost (£)****Element : Security Systems****CODE : 14****Description**

There is a secure door entry installed.

Condition

The condition of this was fair with no defects noted.

Action

Continue maintenance

Cond/Ind Priority

B

L'Expec

20

Quantity**Replacement
Cost (£)**

10,000

**Year 1
Repair Cost (£)**

ROOFS

BUILDING : Block 06

UPRN :

FLOOR : Roofs

ROOM : Roof 001

No : 003/6/R/001

USE :

Element : Covering

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Natural slate	Fair	No action required	B		45	15 m2	1,845	

Photo 1



Photo 2

Position

Element : Covering

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Natural slate	Fair although verge patching uneven	Overhaul and renew sections of roof	B	3	10	102 m2	16,942	
	Fair although sections require reslating	Replace lose slates, re-point and re-bed skews,copes etc						
	Fair with several slipped slates							5,000

Element : Structure		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber trusses	Fair	No action required	B		35	15	m2	1,230
								Year 1 Repair Cost (£)
Element : Structure		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber joists and rafters	Fair	No action required	B		35	102	m2	8,366
								Year 1 Repair Cost (£)
Element : Flashings		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lead (inc. in roof)	Fair	No action required	B		45	25	m	1,879
								Year 1 Repair Cost (£)
Element : Flashings		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Cement fillet at skew	Poor	Repair defective skew flashing	C	3	5	18	m	1,353
								Year 1 Repair Cost (£)

Element : Parapets

CODE : 1

Description

Felt over concrete cope

Condition

Poor

Action

Remove, re-point and re-bed cope

Cond/Ind

C

Priority

L'Expec

Replace/In

Quantity

4 m

**Replacement
Cost (£)**

600

**Year 1
Repair Cost (£)**

Element : Parapets

CODE : 1

Description

Lead on cope

Condition

Fair

Action

No action required

Cond/Ind

B

Priority

L'Expec

35

Quantity

7 m

**Replacement
Cost (£)**

1,052

**Year 1
Repair Cost (£)**

Element : Rainwater goods

CODE : 1

Description

Cast iron/downpipes

Condition

Fair

Action

No action required

Cond/Ind

B

Priority

L'Expec

20

Quantity

85 m

**Replacement
Cost (£)**

5,810

**Year 1
Repair Cost (£)**

Element : Chimney stacks/flues

CODE : 1

Description

Stone/brick chimneys

Condition

Fair

Action

No action required

Cond/Ind

B

Priority

L'Expec

30

Quantity

3 No.

**Replacement
Cost (£)**

7,341

**Year 1
Repair Cost (£)**

Element : Decoration

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Gloss paint to CI gutters and downpipes etc.	Fair	No action required	B		3	85 m2	697	

WALLS

BUILDING : Block 06

UPRN :

FLOOR : Elevations

ROOM : Elevation 001

No : 003/6/E/001

USE :

Element : External walls

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Wet Dash	Fair	No Action Required	B		20	117 m2	6,398	

Photo 1



Photo 2

Position

Element : External walls

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone block	Fair	No Action Required	B		35	25 m2	4,443	

Element : Windows

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
22 No. Timber sash and case (2m2)	Fair but requires repainting	Refer to decoration	B		15	44 m2	18,045	

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Masonry paint to walls Gloss paint to timber windows	Poor	Redecorate	D	3	Replace/In	161 m2	2,201	

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		25	22 m	11,000	

BUILDING : Block 06**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation 002**No** : 003/6/E/002**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Wet Dash

Fair

No Action Required

B

20

117 m2

6,398

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**3 No. Timber sash and case
(2m2)Fair but requires repainting
2 No cills require replacementRefer to decoration 2
Replace 2 No. cills

B

3

15

7 m2

2,870

1 No. Timber sash and case
(1m2)

Note: Provisional sum included

**Year 1
Repair Cost (£)**
1,000

Element : Wall fixture & fittings

CODE : 2

Description

Metal grille

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

10

Quantity

1

No

**Replacement
Cost (£)**

68

**Year 1
Repair Cost (£)**

Element : Decoration

CODE : 2

Description

Re-decoration
Paint windows

Condition

Poor

Action

Redecorate

Cond/Ind

C

Priority

3

L'Expec

Replace/In

Quantity

7

m2

**Replacement
Cost (£)**

95

**Year 1
Repair Cost (£)**

Element : Decoration

CODE : 2

Description

Re-decoration
Masonry paint to walls

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

3

Quantity

97

m2

**Replacement
Cost (£)**

1,326

**Year 1
Repair Cost (£)**

Element : Cills

CODE : 2

Description

Concrete cills

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

25

Quantity

5

m

**Replacement
Cost (£)**

2,500

**Year 1
Repair Cost (£)**

BUILDING : Block 06**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation 003**No** : 003/6/E/003**USE** :**Element** : External walls**CODE** : 2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone wall, painted

Fair

No Action Required

B

35

33 m2

5,864

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** : 2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**6 No. Timber sash and case
(2m2)

Fair but requires repainting

Refer to decoration

B

15

12 m2

4,921

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** : 2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**Re-decoration
Masonry paint to walls

Poor

Redecorate

C

3

Replace/In

45 m2

615

**Year 1
Repair Cost (£)**

Gloss paint to timber windows

Element : Cills		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Concrete cills and lintols	Fair	No Action Required	B		25	12	m	6,000
								Year 1 Repair Cost (£)

BUILDING : Block 06**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation 004**No** : 003/6/E/004**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone wall, painted	Fair	No Action Required	B		35	50 m2	8,886	

Photo 1



Photo 2

Position

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
3 No. Timber sash and case (2 m2)	Fair but requires repainting	Refer to decoration	B		15	6 m2	2,460	

Element : Decoration**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Masonry paint to walls	Poor	Redecorate	C	3	Replace/In	59 m2	806	

Gloss paint to timber windows

Element : Cills		CODE :2						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)	
Concrete cills and lintols	Fair	No Action Required	B		25	6 m	3,000	
							Year 1	
							Repair Cost (£)	

BUILDING : Block 06	UPRN :	FLOOR : Elevations
ROOM : Elevation 005	No : 003/6/E/005	USE :

Element : External walls		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Stone wall, painted	Fair	No Action Required	B		35	21	m2	3,732
								Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : Decoration		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Re-decoration Masonry paint to walls	Poor	Redecorate	C	4	Replace/In	21	m2	287
								Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Elevations
ROOM : Elevation 006	No : 003/6/E/006	USE :

Element : External walls		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Stone wall, painted	Fair	No Action Required	B		35	44	m2	7,819
								Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : Decoration		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Re-decoration Masonry paint to walls	Poor	Redecorate	C	4	Replace/In	44	m2	601
								Year 1 Repair Cost (£)

BUILDING : Block 06**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation 007**No** : 003/6/E/007**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Wet Dash	Fair	No Action Required	B		20	33 m2	1,804	

Photo 1



Photo 2

Position

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
3 No. Timber sash and case (2m2)	Fair but requires repainting	Refer to decoration	B		15	6 m2	2,460	

Element : Doors**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber glazed	Fair	No Action Required	B		10	1 No.	984	

Element : External joinery

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber louvre	Fair	No Action Required	B		15	1 m2	54	

Element : Decoration

CODE :2


Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Masonry paint to walls Gloss paint to timber windows and door	Fair	No Action Required	B		3	42 m2	574	

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		25	3 m	1,500	

BUILDING : Block 06	UPRN :	FLOOR : Elevations
ROOM : Elevation 008	No : 003/6/E/008	USE :

Element : External walls		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Wet Dash	Fair	No Action Required	B		20	24	m2	1,312
Photo 1		Photo 2		Position				
								

Element : External walls		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Stone wall, painted	Fair	No Action Required	B		35	45	m2	7,997

Element : Windows		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
4 No. Timber sash and case (2m2)	Fair	No Action Required	B		15	8	m2	3,281

Element : Doors

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber flush doors	Fair	No Action Required	B		10	2 No.	1,968	

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Masonry paint to walls Gloss paint to timber windows and doors	Fair	No Action Required	B		3	57 m2	779	

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills and lintols	Fair	No Action Required	B		25	9 m	4,500	

BUILDING : Block 06**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation 009**No** : 003/6/E/009**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone wall, painted

Fair

No Action Required

B

35

14 m2

2,488

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**3 No. Timber sash and case
single glazed (2m2)

Fair but requires repainting

Refer to decoration

B

10

6 m2

2,460

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**Re-decoration
Masonry paint to walls

Poor

Redecorate

C

3

Replace/In

20 m2

273

**Year 1
Repair Cost (£)**

Gloss paint to timber windows



STRUCTURE

BUILDING : Block 06	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Main Office	No : 003/6/0/001	USE :

Element : Stairs		CODE : 4					Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		32	2 m2	683
							Year 1
							Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Stairwell and entrance	No : 003/6/0/009	USE :

Element : Stairs		CODE : 4						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Concrete stair	Fair	No action required	B		40	24	m2	8,202
								Year 1
								Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Structure
ROOM : Structure	No : 003/6/St/St	USE :

Element : Floors		CODE : 4						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber floors	Fair	No action required	B		35	m2		
								Year 1 Repair Cost (£)
Element : Stairs		CODE : 4						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Stone stair	Fair	No action required	B		35	m2		
								Year 1 Repair Cost (£)
Element : Walls		CODE : 4						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Stone walls	Fair	No action required	B		35	m2		
								Year 1 Repair Cost (£)

ROOMS

BUILDING : Block 06

UPRN :

FLOOR : Level 3 - Canongate Street level Ground

ROOM : Main Office

No : 003/6/0/001

USE :

Element : Ceilings

CODE : 5

Description

Suspended grid system with fibreboard tiles

Condition

Fair, although there are damaged tiles in isolated areas

Action

Replace damaged ceiling tiles

Cond/Ind Priority

B 4

L'Expec

15

Quantity

29 m2

Replacement Cost (£)

991

**Year 1
Repair Cost (£)**
50

Element : Walls

CODE : 5

Description

Plaster on hard to walls

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

21 m2

Replacement Cost (£)

717

**Year 1
Repair Cost (£)**

Element : Walls

CODE : 5

Description

Plasterboard walls

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

9 m2

Replacement Cost (£)

307

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	29 m2	1,189	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Decorative paper to walls; gloss/varnish to timber finishes	Fair, although slightly marked in areas	No Action Required	B		1	58 m2	475	

BUILDING : Block 06**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Office 1**No** : 003/6/0/002**USE** :**Element** : Ceilings**CODE** :5**Description**

Suspended grid system with fibreboard tiles

Condition

Fair, although one damaged tile

Action

Replace damaged ceiling tile

Cond/Ind

B

Priority

4

L'Expec

15

Quantity

12 m2

Replacement Cost (£)

410

Year 1**Repair Cost (£)**

40

Element : Walls**CODE** :5**Description**

Plaster on hard to walls

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

20

Quantity

22 m2

Replacement Cost (£)

751

Year 1**Repair Cost (£)****Element** : Walls**CODE** :5**Description**

Plasterboard walls

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

20

Quantity

10 m2

Replacement Cost (£)

341

Year 1**Repair Cost (£)****Element** : Floors**CODE** :5**Description**

Carpet floor finish

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

5

Quantity

12 m2

Replacement Cost (£)

492

Year 1**Repair Cost (£)**

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Decorative paper to walls; gloss/varnish to timber finishes	Fair, although slightly marked in areas	No Action Required	B		1	34 m2	278
							Year 1 Repair Cost (£)

BUILDING : Block 06**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Office 2**No** : 003/6/0/003**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**Suspended grid system with
fibreboard tiles

Fair

No Action Required

B

4

15

15 m2

512

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster on hard to walls

Fair

No Action Required

B

20

8 m2

273

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

20

27 m2

922

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

5

15 m2

615

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Decorative paper to walls; gloss/varnish to timber finishes	Fair, although slightly marked in areas	No Action Required	B		1	35 m2	287
							Year 1 Repair Cost (£)

BUILDING : Block 06**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Ladies Toilet**No** : 003/6/0/004**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

30

8

m2

273

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster on hard to walls

Fair, although slightly marked in
areas

No Action Required

B

20

12

m2

410

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

20

10

m2

341

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Lining board to walls

Fair

No Action Required

B

20

4

m2

164

**Year 1
Repair Cost (£)**

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

1 No

**Replacement
Cost (£)**

656

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

5

Quantity

8 m2

**Replacement
Cost (£)**

328

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Poor

Action

Redecorate

Cond/Ind Priority

C

4

L'Expec

Replace/In

Quantity

30 m2

**Replacement
Cost (£)**

147

**Year 1
Repair Cost (£)**

BUILDING : Block 06	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Store	No : 003/6/0/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		30	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		32	25 m2		854
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	2 m2		68
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	33 m2	270	

BUILDING : Block 06**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Gents Toilet**No** : 003/6/0/006**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		30	6 m2	205	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster on hard to walls	Fair, although slightly marked in areas	No Action Required	B		20	7 m2	239	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	1 m2	34	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Lining board to walls	Fair	No Action Required	B		20	6 m2	246	

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No	656
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	8 m2	328
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	18 m2	147
							Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Store	No : 003/6/0/007	USE :

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	3	m2	102
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Stone walls	Fair	No Action Required	B		50	4	m2	328
								Year 1 Repair Cost (£)
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		10	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted Concrete	Fair	No Action Required	B		40	1	m2	68
								Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Store	No : 003/6/0/008	USE :

BUILDING : Block 06**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Stairwell and entrance**No** : 003/6/0/009**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair, with hairline cracking in isolated areas	No Action Required	B		30	14 m2	478	

Element : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster ceiling	Fair	No Action Required	B		20	15 m2	512	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		30	312 m2	10,663	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367	

Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Composite - Linatol	Fair	No Action Required	B		12	30	m2	3,281
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	10	m2	410
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	357	m2	2,928
								Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Store	No : 003/6/0/010	USE :

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Brick / stone walls	Fair	No Action Required	B		32	4	m2	328
								Year 1 Repair Cost (£)

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1	No	1,367
								Year 1 Repair Cost (£)

Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted Concrete	Fair	No Action Required	B		40	1	m2	68
								Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Boiler room	No : 003/6/0/011	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Compressed board ceiling	Fair	No Action Required	B		10	6 m2		328
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Brick walls	Fair	No Action Required	B		50	25 m2		2,050
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted concrete	Fair	No Action Required	B		40	6 m2		410
								Year 1 Repair Cost (£)

BUILDING : Block 06**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Staff Toilet**No** : 003/6/0/012**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

30

5

m2

170

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster on hard to walls

Fair

No Action Required

B

35

5

m2

170

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

30

7

m2

239

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Softwood timber flush

Fair

No Action Required

B

20

1

No

492

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	19 m2	155	

BUILDING : Block 06	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Plant room	No : 003/6/0/013	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster ceiling	Fair	No Action Required	B		20	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Brick walls and plaster	Fair	No Action Required	B		35	16 m2		1,312
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted concrete	Fair	No Action Required	B		40	3 m2		410
								Year 1 Repair Cost (£)

BUILDING : Block 06**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Circulation Area**No** : 003/6/0/014**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	9 m2	307
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	3 m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		30	27 m2	2,214
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	2 No	2,734
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Composite - Linatol
To stairs and landings

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

12

Quantity

12 m2

**Replacement
Cost (£)**

1,312

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

5

Quantity

2 m2

**Replacement
Cost (£)**

82

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

2

Quantity

61 m2

**Replacement
Cost (£)**

500

**Year 1
Repair Cost (£)**

BUILDING : Block 06**UPRN** :**FLOOR** : Level 4 - First floor level Flat 2**ROOM** : Circulation Area 1**No** : 003/6/1/001**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	3	m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	10	m2	341
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	7	3	m2	123
							Year 1 Repair Cost (£)

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	2	17	m2	139
							Year 1 Repair Cost (£)

BUILDING : Block 06**UPRN** :**FLOOR** : Level 4 - First floor level Flat 2**ROOM** : Circulation Area 2**No** : 003/6/1/002**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

32

3

m2

102

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

10

m2

341

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

7

3

m2

123

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

2

17

m2

139

**Year 1
Repair Cost (£)**

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 2
ROOM : Living Room	No : 003/6/1/003	USE :

Element : Ceilings	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	20 m2		683
								Year 1 Repair Cost (£)

Element : Walls	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	28 m2		956
								Year 1 Repair Cost (£)

Element : Walls	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		31	30 m2		1,025
								Year 1 Repair Cost (£)

Element : Doors	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	20 m2	820	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	78 m2	639	

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 2
ROOM : Bedroom	No : 003/6/1/004	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	10	m2	341
								Year 1 Repair Cost (£)

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	25	m2	854
								Year 1 Repair Cost (£)

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Plasterboard walls	Fair	No Action Required	B		32	8 m2	273	
							Year 1 Repair Cost (£)	

Element : Doors		CODE :5																	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity												Replacement Cost (£)	
Softwood timber flush	Fair	No Action Required	B		22	1	No											492	
																		Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	10 m2	410	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	43 m2	352	

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 2
ROOM : Bathroom	No : 003/6/1/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	5 m2		170
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		5	4 m2		218
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B		37	4 m2		328
								Year 1 Repair Cost (£)

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	6 m2	246
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	21 m2	172
							Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 2
ROOM : Kitchen	No : 003/6/1/006	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	9 m2		307
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	23 m2		786
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B		12	2 m2		82
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish	Fair	No Action Required	B		7	9 m2	369	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	32 m2	262	

BUILDING : Block 06**UPRN** :**FLOOR** : Level 4 - First floor level Flat 1**ROOM** : Circulation Area 1**No** : 003/6/1/007**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

32

3

m2

102

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

10

m2

341

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

7

3

m2

123

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

2

17

m2

139

**Year 1
Repair Cost (£)**

BUILDING : Block 06**UPRN** :**FLOOR** : Level 4 - First floor level Flat 1**ROOM** : Circulation Area 2**No** : 003/6/1/008**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	3 m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	10 m2	341
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	3 m2	123
							Year 1 Repair Cost (£)

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	17 m2	139
							Year 1 Repair Cost (£)

BUILDING : Block 06**UPRN** :**FLOOR** : Level 4 - First floor level Flat 1**ROOM** : Living Room**No** : 003/6/1/009**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	20 m2	683
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	28 m2	956
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		31	30 m2	1,025
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	20 m2	820	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	78 m2	639	

BUILDING : Block 06**UPRN** :**FLOOR** : Level 4 - First floor level Flat 1**ROOM** : Kitchen**No** : 003/6/1/010**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	9	m2	307
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	23	m2	786
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B	12	2	m2	82
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	9 m2	369	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	32 m2	262	

BUILDING : Block 06**UPRN** :**FLOOR** : Level 4 - First floor level Flat 1**ROOM** : Bathroom**No** : 003/6/1/011**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	8	m2	273
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	10	m2	341
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B	5	4	m2	218
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B	37	8	m2	328
							Year 1 Repair Cost (£)

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	6	m2	246
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	24	m2	196
								Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 1
ROOM : Bedroom	No : 003/6/1/012	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	25 m2		854
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	10 m2	410	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	43 m2	352	

BUILDING : Block 06**UPRN** :**FLOOR** : Level 5 - Second floor level Flat 4**ROOM** : Circulation Area 1**No** : 003/6/2/001**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

32

3

m2

102

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

10

m2

341

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

7

3

m2

123

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

2

17

m2

139

**Year 1
Repair Cost (£)**

BUILDING : Block 06**UPRN** :**FLOOR** : Level 5 - Second floor level Flat 4**ROOM** : Circulation Area 2**No** : 003/6/2/002**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	3	m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	10	m2	341
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	7	3	m2	123
							Year 1 Repair Cost (£)

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	2	17	m2	139
							Year 1 Repair Cost (£)

BUILDING : Block 06**UPRN** :**FLOOR** : Level 5 - Second floor level Flat 4**ROOM** : Living Room**No** : 003/6/2/003**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	20 m2	683
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	28 m2	956
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		31	30 m2	1,025
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	20 m2	820	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	78 m2	639	

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 4
ROOM : Bedroom	No : 003/6/2/004	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	10	m2	341
							Year 1 Repair Cost (£)	
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	25	m2	854
							Year 1 Repair Cost (£)	
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	8	m2	273
							Year 1 Repair Cost (£)	
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1	No	492
							Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	10 m2	410	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	43 m2	352	

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 4
ROOM : Bathroom	No : 003/6/2/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		5	4 m2		218
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B		37	8 m2		328
								Year 1 Repair Cost (£)

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	6 m2	246	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	24 m2	196	

BUILDING : Block 06**UPRN** :**FLOOR** : Level 5 - Second floor level Flat 4**ROOM** : Kitchen**No** : 003/6/2/006**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

32

9

m2

307

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

23

m2

786

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Lining board to walls

Fair

No Action Required

B

12

2

m2

82

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Softwood timber flush

Fair

No Action Required

B

22

1

No

492

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	9 m2	369	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	32 m2	262	

BUILDING : Block 06**UPRN** :**FLOOR** : Level 5 - Second floor level Flat 3**ROOM** : Circulation Area 1**No** : 003/6/2/007**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

32

3

m2

102

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

10

m2

341

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

7

3

m2

123

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

2

17

m2

139

**Year 1
Repair Cost (£)**

BUILDING : Block 06**UPRN** :**FLOOR** : Level 5 - Second floor level Flat 3**ROOM** : Circulation Area 2**No** : 003/6/2/008**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	3	m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	10	m2	341
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	7	3	m2	123
							Year 1 Repair Cost (£)

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	2	17	m2	139
							Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 3
ROOM : Living Room	No : 003/6/2/009	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	20	m2	683
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	28	m2	956
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		31	30	m2	1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1	No	492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	20 m2	820	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	78 m2	639	

BUILDING : Block 06**UPRN** :**FLOOR** : Level 5 - Second floor level Flat 3**ROOM** : Kitchen**No** : 003/6/2/010**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	9	m2	307
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	23	m2	786
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B	12	2	m2	82
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	9 m2	369	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	32 m2	262	

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 3
ROOM : Bathroom	No : 003/6/2/011	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	8	m2	273
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	10	m2	341
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		5	4	m2	218
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B		37	8	m2	328
							Year 1 Repair Cost (£)	

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	6	m2	246
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	24	m2	196
								Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 3
ROOM : Bedroom	No : 003/6/2/012	USE :

Element : Ceilings		CODE :5															
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity											Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	10	m2										341
																Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	25	m2	854
								Year 1 Repair Cost (£)

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	8	m2	273
								Year 1 Repair Cost (£)

Element : Doors		CODE :5																	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity												Replacement Cost (£)	
Softwood timber flush	Fair	No Action Required	B		22	1	No											492	
																		Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	10 m2	410	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	43 m2	352	

BUILDING : Block 06**UPRN** :**FLOOR** : Level 6 - Third floor level Flat 6**ROOM** : Circulation Area 1**No** : 003/6/3/001**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

32

3

m2

102

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

10

m2

341

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

7

3

m2

123

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

2

17

m2

139

**Year 1
Repair Cost (£)**

BUILDING : Block 06**UPRN** :**FLOOR** : Level 6 - Third floor level Flat 6**ROOM** : Circulation Area 2**No** : 003/6/3/002**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

32

3

m2

102

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

10

m2

341

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

7

3

m2

123

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

2

17

m2

139

**Year 1
Repair Cost (£)**

BUILDING : Block 06	UPRN :	FLOOR : Level 6 - Third floor level Flat 6
ROOM : Living Room	No : 003/6/3/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	20 m2		683
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	28 m2		956
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		31	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	20 m2	820	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	78 m2	639	

BUILDING : Block 06**UPRN** :**FLOOR** : Level 6 - Third floor level Flat 6**ROOM** : Bedroom**No** : 003/6/3/004**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

32

10 m2

341

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster on hard to walls

Fair

No Action Required

B

31

25 m2

854

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

8 m2

273

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Softwood timber flush

Fair

No Action Required

B

22

1 No

492

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	10 m2	410	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	43 m2	352	

BUILDING : Block 06	UPRN :	FLOOR : Level 6 - Third floor level Flat 6
ROOM : Bathroom	No : 003/6/3/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		5	4 m2		218
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B		37	8 m2		328
								Year 1 Repair Cost (£)

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	6	m2	246
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	24	m2	196
								Year 1 Repair Cost (£)

BUILDING : Block 06**UPRN** :**FLOOR** : Level 6 - Third floor level Flat 6**ROOM** : Kitchen**No** : 003/6/3/006**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	9	m2	307
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	23	m2	786
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B	12	2	m2	82
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	9 m2	369	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	32 m2	262	

BUILDING : Block 06**UPRN** :**FLOOR** : Level 6 - Third floor level Flat 5**ROOM** : Circulation Area 1**No** : 003/6/3/007**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

32

3

m2

102

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

10

m2

341

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

7

3

m2

123

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

2

17

m2

139

**Year 1
Repair Cost (£)**

BUILDING : Block 06**UPRN** :**FLOOR** : Level 6 - Third floor level Flat 5**ROOM** : Circulation Area 2**No** : 003/6/3/008**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	3	m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	10	m2	341
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	7	3	m2	123
							Year 1 Repair Cost (£)

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	2	17	m2	139
							Year 1 Repair Cost (£)

BUILDING : Block 06**UPRN** :**FLOOR** : Level 6 - Third floor level Flat 5**ROOM** : Living Room**No** : 003/6/3/009**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	20 m2	683
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	28 m2	956
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		31	30 m2	1,025
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	20 m2	820	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	78 m2	639	

BUILDING : Block 06**UPRN** :**FLOOR** : Level 6 - Third floor level Flat 5**ROOM** : Kitchen**No** : 003/6/3/010**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	9	m2	307
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	23	m2	786
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B	12	2	m2	82
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	9 m2	369	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	32 m2	262	

BUILDING : Block 06**UPRN** :**FLOOR** : Level 6 - Third floor level Flat 5**ROOM** : Bathroom**No** : 003/6/3/011**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	8	m2	273
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	10	m2	341
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B	5	4	m2	218
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lining board to walls	Fair	No Action Required	B	37	8	m2	328
							Year 1 Repair Cost (£)

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	6	m2	246
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	24	m2	196
								Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 6 - Third floor level Flat 5
ROOM : Bedroom	No : 003/6/3/012	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	10	m2	341
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		31	25	m2	854
							Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	8	m2	273
							Year 1 Repair Cost (£)	

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1	No	492
							Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	10 m2	410	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	43 m2	352	

FIXTURES & FITTINGS

BUILDING : Block 06

UPRN :

FLOOR : Level 3 - Canongate Street level Ground

ROOM : Main Office

No : 003/6/0/001

USE :

Element : Worktops

CODE : 6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Laminate / chipboard worktop	Fair	No action required	B		10	1 m2	68	

Element : Built in cupboards

CODE : 6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber base unit	Fair	No action required	B		20	1 No	820	

Element : Built in cupboards

CODE : 6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber buit in cupboards	Fair	No action required	B		20	3 No	2,460	

BUILDING : Block 06	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Store	No : 003/6/0/005	USE :

Element : Shelving	CODE :6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber shelving	Fair	No action required	B		10	7 m		191
								Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 2
ROOM : Kitchen	No : 003/6/1/006	USE :

Element : Worktops		CODE :6																	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity												Replacement Cost (£)	
Laminate / chipboard worktop	Fair	No action required	B		5	2	m2											136	
																		Year 1 Repair Cost (£)	

Element : Built in cupboards		CODE : 6						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Timber buit in cupboards	Fair	No action required	B		5	7	No	5,741
								Year 1
								Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 1
ROOM : Kitchen	No : 003/6/1/010	USE :

Element : Worktops		CODE :6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Laminate / chipboard worktop	Fair	No action required	B		12	2	m2	136	
								Year 1 Repair Cost (£)	

Element : Built in cupboards		CODE : 6						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber buit in cupboards	Fair	No action required	B		22	5	No	4,101
								Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 4
ROOM : Kitchen	No : 003/6/2/006	USE :

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 4
ROOM : Kitchen	No : 003/6/2/006	USE :

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 4
ROOM : Kitchen	No : 003/6/2/006	USE :

ROOM : Kitchen	No : 003/6/2/006	USE :
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ROOM : Kitchen	No : 003/6/2/006	USE :
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ROOM : Kitchen	No : 003/6/2/006	USE :
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Element : Worktops **CODE :** 6

Element : Worktops **CODE :** 6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Laminate / chipboard worktop	Fair	No action required	B		12	2 m2	136

Description		Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Laminate / chipboard worktop		Fair	No action required	B		12	2 m2	136

Laminate / chipboard worktop	Fair	No action required	B	12	2	m2	136
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Laminate / chipboard worktop	Fair	No action required	B	12	2	m2	136
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Laminate / chipboard worktop	Fair	No action required	B	12	2	m2	136
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Laminate / chipboard worktop	Fair	No action required	B	12	2	m2	136
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Laminate / chipboard worktop	Fair	No action required	B	12	2	m2	136
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Laminate / chipboard worktop	Fair	No action required	B	12	2	m2	136
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	Year 1
	Repair Cost (£)

Element : Built in cupboards **CODE :** 6

Element : Built in cupboards **CODE :** 6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		22	5 No	4,101

Description		Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber built in cupboards		Fair	No action required	B		22	5 No	4,101

Timber built in cupboards	Fair	No action required	B	22	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	22	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	22	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	22	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	22	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	22	5	No	4,101
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Year 1		Year 1 Repair Cost (£)
1	100	100
2	200	200
3	300	300
4	400	400
5	500	500
6	600	600
7	700	700
8	800	800
9	900	900
10	1000	1000

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 3
ROOM : Kitchen	No : 003/6/2/010	USE :

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 3
ROOM : Kitchen	No : 003/6/2/010	USE :

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 3
ROOM : Kitchen	No : 003/6/2/010	USE :

ROOM : Kitchen	No : 003/6/2/010	USE :
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ROOM : Kitchen	No : 003/6/2/010	USE :
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[illegible]

Element : Worktops **CODE :** 6

Element : Worktops **CODE :** 6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Laminate / chipboard worktop	Fair	No action required	B	12	2	m2	136
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Laminate / chipboard worktop	Fair	No action required	B	12	2	m2	136
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Laminate / chipboard worktop	Fair	No action required	B	12	2	m2	136
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Laminate / chipboard worktop	Fair	No action required	B	12	2	m2	136
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Laminate / chipboard worktop	Fair	No action required	B	12	2	m2	136
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Laminate / chipboard worktop	Fair	No action required	B	12	2	m2	136
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Laminate / chipboard worktop	Fair	No action required	B	12	2	m2	136
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Laminate / chipboard worktop	Fair	No action required	B	12	2	m2	136
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	Year 1
	Repair Cost (£)

Element : Built in cupboards **CODE :** 6

Element : Built in cupboards **CODE :** 6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Timber built in cupboards	Fair	No action required	B	22	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	22	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	22	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	22	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	22	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	22	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	22	5	No	4,101
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Timber built in cupboards	Fair	No action required	B	22	5	No	4,101
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Year 1		Year 1 Repair Cost (£)
1	100	100
2	200	200
3	300	300
4	400	400
5	500	500
6	600	600
7	700	700
8	800	800
9	900	900
10	1000	1000
11	1100	1100
12	1200	1200
13	1300	1300
14	1400	1400
15	1500	1500
16	1600	1600
17	1700	1700
18	1800	1800
19	1900	1900
20	2000	2000
21	2100	2100
22	2200	2200
23	2300	2300
24	2400	2400
25	2500	2500
26	2600	2600
27	2700	2700
28	2800	2800
29	2900	2900
30	3000	3000
31	3100	3100
32	3200	3200
33	3300	3300
34	3400	3400
35	3500	3500
36	3600	3600
37	3700	3700
38	3800	3800
39	3900	3900
40	4000	4000
41	4100	4100
42	4200	4200
43	4300	4300
44	4400	4400
45	4500	4500
46	4600	4600
47	4700	4700
48	4800	4800
49	4900	4900
50	5000	5000
51	5100	5100
52	5200	5200
53	5300	5300
54	5400	5400
55	5500	5500
56	5600	5600
57	5700	5700
58	5800	5800
59	5900	5900
60	6000	6000
61	6100	6100
62	6200	6200
63	6300	6300
64	6400	6400
65	6500	6500
66	6600	6600
67	6700	6700
68	6800	6800
69	6900	6900
70	7000	7000
71	7100	7100
72	7200	7200
73	7300	7300
74	7400	7400
75	7500	7500
76	7600	7600
77	7700	7700
78	7800	7800
79	7900	7900
80	8000	8000
81	8100	8100
82	8200	8200
83	8300	8300
84	8400	8400
85	8500	8500
86	8600	8600
87	8700	8700
88	8800	8800
89	8900	8900
90	9000	9000
91	9100	9100
92	9200	9200
93	9300	9300
94	9400	9400
95	9500	9500
96	9600	9600
97	9700	9700
98	9800	9800
99	9900	9900
100	10000	10000

BUILDING : Block 06	UPRN :	FLOOR : Level 6 - Third floor level Flat 5
ROOM : Kitchen	No : 003/6/3/010	USE :

SANITARY

BUILDING : Block 06

UPRN :

FLOOR : Level 3 - Canongate Street level Ground

ROOM : Ladies Toilet

No : 003/6/0/004

USE :

Element : WC

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	2 No	656	

Element : Basins

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Ceramic WHB	Fair	No action required	B		20	2 No	656	

Element : Cubicles

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Melamine toilet cubicle	Fair	No action required	B		20	2 No	1,640	

BUILDING : Block 06**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Gents Toilet**No** : 003/6/0/006**USE** :**Element** : Internal Drainage**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Upvc soil vent pipe

Fair

No action required

B

30

3 m

123

**Year 1
Repair Cost (£)****Element** : WC**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WC cistern and bowl

Fair

No action required

B

20

2 No

656

**Year 1
Repair Cost (£)****Element** : Basins**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WHB

Fair

No action required

B

20

2 No

656

**Year 1
Repair Cost (£)****Element** : Cubicles**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Melamine toilet cubicle

Fair

No action required

B

20

2 No

1,640

**Year 1
Repair Cost (£)**

Element : Urinals

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Ceramic urinals	Fair	No action required	B		20	2 No	984	

BUILDING : Block 06**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Staff Toilet**No** : 003/6/0/012**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		20	1 No	328
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		15	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 2
ROOM : Bathroom	No : 003/6/1/005	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern (hidden)and bowl	Fair	No action required	B		22	1	No	328
								Year 1 Repair Cost (£)

Element : Sinks		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic sink	Fair	No action required	B		12	1	No	328
								Year 1 Repair Cost (£)

Element : Baths		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic bath	Fair	No action required	B		22	1	No	656
								Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 2
ROOM : Kitchen	No : 003/6/1/006	USE :

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 2
ROOM : Kitchen	No : 003/6/1/006	USE :

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 2
ROOM : Kitchen	No : 003/6/1/006	USE :

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 2
ROOM : Kitchen	No : 003/6/1/006	USE :

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 2
ROOM : Kitchen	No : 003/6/1/006	USE :

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 2
ROOM : Kitchen	No : 003/6/1/006	USE :

Element : Sinks **CODE :7**

Element : Sinks **CODE :7**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Stainless steel sink - single drainer	Fair	No action required	B	12	1	No	328
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BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 1
ROOM : Kitchen	No : 003/6/1/010	USE :

Element : Sinks		CODE : 7						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1	No	328
								Year 1
								Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 1
ROOM : Bathroom	No : 003/6/1/011	USE :

Element : WC		CODE :7											
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity						Replacement Cost (£)	
Ceramic WC cistern (hidden)and bowl	Fair	No action required	B		22	1	No					328	
												Year 1 Repair Cost (£)	

Element : Sinks		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic sink	Fair	No action required	B		12	1	No	328
								Year 1 Repair Cost (£)

Element : Baths		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic bath	Fair	No action required	B		22	1	No	656
								Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 4
ROOM : Bathroom	No : 003/6/2/005	USE :

Element : WC		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern (hidden)and bowl	Fair	No action required	B		22	1	No	328
								Year 1 Repair Cost (£)
Element : Sinks		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic sink	Fair	No action required	B		12	1	No	328
								Year 1 Repair Cost (£)
Element : Baths		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic bath	Fair	No action required	B		22	1	No	656
								Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 4
ROOM : Kitchen	No : 003/6/2/006	USE :

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 4
ROOM : Kitchen	No : 003/6/2/006	USE :

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 4
ROOM : Kitchen	No : 003/6/2/006	USE :

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 4
ROOM : Kitchen	No : 003/6/2/006	USE :

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 4
ROOM : Kitchen	No : 003/6/2/006	USE :

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 4
ROOM : Kitchen	No : 003/6/2/006	USE :

Element : Sinks	CODE : 7	Parlement

Element : Sinks	CODE : 7	Parlement

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1 No	328
							Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 3
ROOM : Kitchen	No : 003/6/2/010	USE :

Element : Sinks	CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1	No	328
								Year 1 Repair Cost (£)

BUILDING : Block 06**UPRN** :**FLOOR** : Level 5 - Second floor level Flat 3**ROOM** : Bathroom**No** : 003/6/2/011**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern (hidden)and bowl	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Sinks**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic sink	Fair	No action required	B		12	1 No	328
							Year 1 Repair Cost (£)

Element : Baths**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic bath	Fair	No action required	B		22	1 No	656
							Year 1 Repair Cost (£)

BUILDING : Block 06**UPRN** :**FLOOR** : Level 6 - Third floor level Flat 6**ROOM** : Bathroom**No** : 003/6/3/005**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern (hidden)and bowl	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Sinks**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic sink	Fair	No action required	B		12	1 No	328
							Year 1 Repair Cost (£)

Element : Baths**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic bath	Fair	No action required	B		22	1 No	656
							Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 6 - Third floor level Flat 6
ROOM : Kitchen	No : 003/6/3/006	USE :

Element : Sinks	CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1	No	328
								Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 6 - Third floor level Flat 5
ROOM : Kitchen	No : 003/6/3/010	USE :

Element : Sinks		CODE : 7						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Stainless steel sink - single drainer	Fair	No action required	B		12	1	No	328
								Year 1
								Repair Cost (£)

BUILDING : Block 06**UPRN** :**FLOOR** : Level 6 - Third floor level Flat 5**ROOM** : Bathroom**No** : 003/6/3/011**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern (hidden)and bowl	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Sinks**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic sink	Fair	No action required	B		12	1 No	328
							Year 1 Repair Cost (£)

Element : Baths**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic bath	Fair	No action required	B		22	1 No	656
							Year 1 Repair Cost (£)

FIRE MATTERS

BUILDING : Block 06

UPRN :

FLOOR : Level 4 - First floor level Flat 2

ROOM : Circulation Area 1

No : 003/6/1/001

USE :

Element : Fire Risk Assessment

CODE : 9

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Timber one hour door with smoke seals and intumescent strips and door closer
Softwood timber flush

Fair

No Action Required

B

22

1

No

492

Year 1
Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 2
ROOM : Circulation Area 2	No : 003/6/1/002	USE :

Element : Fire Risk Assessment		CODE : 9						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Front door	Fair	No Action Required	B		22	1	No	492
Timber one hour door with smoke seals and intumescent strips and door closer								Year 1 Repair Cost (£)
Softwood timber flush								

BUILDING : Block 06	UPRN :	FLOOR : Level 4 - First floor level Flat 1
ROOM : Circulation Area 1	No : 003/6/1/007	USE :

Element : Fire Risk Assessment		CODE : 9						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Front door	Fair	No Action Required	B		22	1	No	492
Timber one hour door with smoke seals and intumescent strips and door closer								Year 1 Repair Cost (£)
Softwood timber flush								

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 4
ROOM : Circulation Area 1	No : 003/6/2/001	USE :

Element : Fire Risk Assessment		CODE :9						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Timber one hour door with smoke seals and intumescent strips and door closer	Fair	No Action Required	B		22	1	No	492
Softwood timber flush								Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 5 - Second floor level Flat 4
ROOM : Circulation Area 2	No : 003/6/2/002	USE :

Element : Fire Risk Assessment		CODE : 9						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Front door	Fair	No Action Required	B		22	1	No	492
Timber one hour door with smoke seals and intumescent strips and door closer								Year 1 Repair Cost (£)
Softwood timber flush								

BUILDING : Block 06	UPRN :	FLOOR : Level 6 - Third floor level Flat 6
ROOM : Circulation Area 1	No : 003/6/3/001	USE :

Element : Fire Risk Assessment		CODE : 9						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Timber one hour door with smoke seals and intumescent strips and door closer	Fair	No Action Required	B		22	1	No	492
Softwood timber flush								Year 1 Repair Cost (£)

BUILDING : Block 06	UPRN :	FLOOR : Level 6 - Third floor level Flat 6
ROOM : Circulation Area 2	No : 003/6/3/002	USE :

Element : Fire Risk Assessment		CODE : 9						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Front door	Fair	No Action Required	B		22	1	No	492
Timber one hour door with smoke seals and intumescent strips and door closer								Year 1 Repair Cost (£)
Softwood timber flush								

BUILDING : Block 06	UPRN :	FLOOR : Level 6 - Third floor level Flat 5
ROOM : Circulation Area 1	No : 003/6/3/007	USE :

Element : Fire Risk Assessment		CODE : 9						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Front door	Fair	No Action Required	B		22	1	No	492
Timber one hour door with smoke seals and intumescent strips and door closer								Year 1 Repair Cost (£)
Softwood timber flush								

MECHANICAL SERVICES

BUILDING : Block 06

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/6/M&E/

USE :

Element : Gas Heating System

CODE : 13

Description

Heating was provided from a district heating system. Hot water from system was pumped round the residences to a number of convection radiators, by a Wilo pumping setup.

Condition

The heating and its associated equipment were in fair condition however in Flat 57/ 2 it was stated that the Living room Radiator has never worked.

Action

Continue maintenance
It is recommended that the heating system is examined. The boilers in use are of fair condition for their age however the building has been modernised and the system is now supplying more equipment than when it was first installed. It is recommended that consideration be given to upgrading the system to a more efficient system; a further detailed survey would be required to confirm this.

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

70,000

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Extraction System

CODE : 13

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
There was Greenwood extractors in use within the toilets. Within the kitchen a domestic cooker extractor was installed.	The condition of these were fair with no defects noted.	Continue Maintenance	B		15		1,500	

Element : Domestic Hot Water

CODE : 13

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Hot water was provided by the boilers to a calorfier, the water was pumped throughout the bld by Grundfos pumps.	The condition of this was fair with no defects noted.	Continue Maintenance	B		15		15,000	

ELECTRICAL SERVICES

BUILDING : Block 06

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/6/M&E/

USE :

Element : Mains Distribution

CODE : 14

Description

Power distribution was via Dorman Smith Load Limiter DB's located in each residence. Wiring was contained within the walls.

Condition

All were in a fair condition with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

100,000

**Year 1
Repair Cost (£)**

Element : Light Fittings Internal

CODE : 14

Description

In the main this was a mix of tungsten, CFL and 2D fittings. There was no sign of automatic controls. Within the stairwell T8 lighting was in use. These were controlled by time delay switches.

Condition

The condition of the system was fair however it was noted that none of them operated and all stairwell lights were constantly lit.

Action

Continue maintenance
It is recommended that the lighting controls are rectified.
It is recommended that an ongoing maintenance plan is introduced for the replacement of all tungsten lights with CFL lighting; this would help towards reducing the annual electricity costs.
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

50,000

**Year 1
Repair Cost (£)**

Element : Light Fittings Internal**CODE : 14****Description**

This consisted of non-maintained self contained fittings.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity**Replacement
Cost (£)**

8,000

Year 1**Repair Cost (£)****Element : Light Fittings External****CODE : 14****Description**

This consisted of a number of SON bulkhead fittings located around the building, these are controlled by timers.

Condition

The condition of the lighting and its associated equipment was fair with no defects noted.

Action

Continue Maintenance
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity**Replacement
Cost (£)**

8,000

Year 1**Repair Cost (£)****Element : Fire Alarms****CODE : 14****Description**

Each residence has been supplied with battery operated stand alone smoke detectors. There are Gent detectors and Sirens installed within the residences.

Condition

The condition of the system was fair however it was stated that detectors may have been disconnected at the time of refurbishment although it was stated that the sirens still sound when the main building alarm is tested.

Action

Continue Maintenance.
It is recommended that the Gent detectors and sirens are checked for operation.
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity**Replacement
Cost (£)**

100

Year 1**Repair Cost (£)**

Element : Security Systems

CODE : 14

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
There is a secure door entry installed.	The condition of this was fair with no defects noted.	Continue maintenance	B		20		10,000	

ROOFS

BUILDING : Block 07

UPRN :

FLOOR : Roof

ROOM : Roof

No : 003/7/R/001

USE :

Element : Covering

CODE : 1

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Sheet metal finish

Fair

No action required

B

17

495 m2

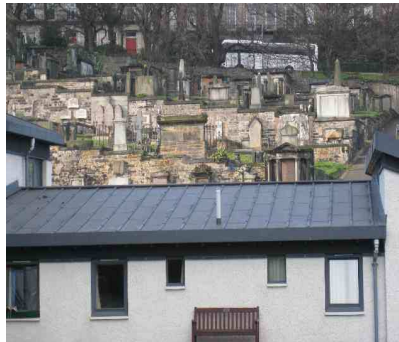
67,671

**Year 1
Repair Cost (£)**

Photo 1



Photo 2



Position



Element : Structure

CODE : 1

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Timber trusses

Fair

No action required

B

47

495 m2

40,602

**Year 1
Repair Cost (£)**

Element : Rainwater goods

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Metal box gutters and PVC-u downpipes	Fair	No action required	B		22	36 m	1,476	

WALLS

BUILDING : Block 07	UPRN :	FLOOR : Elevations
ROOM : Elevation	No : 003/7/E/001	USE :

Element : External walls

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Render finish (wet-dash)	Fair	No Action Required	B		32	38 m2	2,077	

Photo 1



Photo 2



Position

Element : Windows

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber softwood casement double-glazed windows	Fair	No Action Required	B		27	6 m2	2,952	

Photo 1



Photo 2



Position

Element : Decoration**CODE :2****Description**

Painterwork to timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

6 m2

Replacement Cost (£)

82

Year 1 Repair Cost (£)**Element : Decoration****CODE :2****Description**

Masonry paint

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

38 m2

Replacement Cost (£)

519

Year 1 Repair Cost (£)**Element : Cills****CODE :2****Description**

Concrete cills

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

37

Quantity

8 m

Replacement Cost (£)

4,000

Year 1 Repair Cost (£)

BUILDING : Block 07**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 003/7/E/002**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Render finish (wet-dash)

Fair

No Action Required

B

32

49 m2

2,679

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**Timber softwood casement
double-glazed windows

Fair

No Action Required

B

27

4 m2

1,968

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Doors**CODE :**2**Description**

Timber Louvred door

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

17

Quantity

1 m2

**Replacement
Cost (£)**

328

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Decoration**CODE :**2**Description**

Painterwork to timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

2

Quantity

6 m2

**Replacement
Cost (£)**

82

**Year 1
Repair Cost (£)**

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		37	6 m	3,000	

BUILDING : Block 07	UPRN :	FLOOR : Elevations
ROOM : Elevation	No : 003/7/E/003	USE :

Element : External walls	CODE : 2							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Render finish (wet-dash)	Fair	No Action Required	B		32	12 m2		656
								Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : Windows	CODE : 2							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber softwood casement double-glazed windows	Fair	No Action Required	B		27	1 m2		492
								Year 1 Repair Cost (£)

Element : Decoration	CODE : 2							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Painterwork to timber finishes	Fair	No Action Required	B		2	1 m2		13
								Year 1 Repair Cost (£)

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Masonry paint	Fair	No Action Required	B		2	12 m2	164	

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		37	1 m	500	

BUILDING : Block 07**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 003/7/E/004**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Render finish (wet-dash)	Fair	No Action Required	B		32	15 m2	820	

Photo 1



Photo 2



Position

Element : Doors**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber/glazed patio door	Fair	No Action Required	B		15	1 No.	4,000	

Element : Doors**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber flush/glazed door	Fair	No Action Required	B		17	1 No.	984	

Photo 1



Photo 2

Position

Element : Decoration
CODE :2**Description**

Painterwork to timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

8 m2

**Replacement
Cost (£)**

109

**Year 1
Repair Cost (£)**

Element : Decoration
CODE :2**Description**

Masonry paint

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

15 m2

**Replacement
Cost (£)**

205

**Year 1
Repair Cost (£)**

BUILDING : Block 07**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 003/7/E/005**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Render finish (wet-dash)	Fair	No Action Required	B		32	36 m2	1,968	

Photo 1



Photo 2



Position

**Element** : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber softwood casement double-glazed windows	Fair	No Action Required	B		27	4 m2	1,968	

Element : Doors**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber patio doors	Fair	No Action Required	B		17	4 No.	4,000	

Photo 1



Photo 2

Position

Element : Decoration

CODE :2

Description

Masonry paint

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

36 m2

Replacement
Cost (£)

492

Year 1
Repair Cost (£)

Element : Decoration

CODE :2

Description

Painterwork to timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

12 m2

Replacement
Cost (£)

164

Year 1
Repair Cost (£)

Element : Cills

CODE :2

Description

Concrete cills

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

37

Quantity

4 m

Replacement
Cost (£)

2,000

Year 1
Repair Cost (£)

BUILDING : Block 07**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 003/7/E/006**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Render finish (wet-dash)

Fair

No Action Required

B

32

33 m2

1,804

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**Timber softwood casement
double-glazed

Fair

No Action Required

B

27

2 m2

984

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Doors**CODE :2****Description**

Timber softwood patio doors

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

27

Quantity

6 m2

**Replacement
Cost (£)**

6,000

**Year 1
Repair Cost (£)****Element : Decoration****CODE :2****Description**

Painterwork to timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

14 m2

**Replacement
Cost (£)**

191

**Year 1
Repair Cost (£)****Element : Decoration****CODE :2****Description**

Masonry paint

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

33 m2

**Replacement
Cost (£)**

451

**Year 1
Repair Cost (£)**

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		37	2 m	1,000	

BUILDING : Block 07	UPRN :	FLOOR : Elevations
ROOM : Elevation	No : 003/7/E/007	USE :

Element : External walls		CODE : 2						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Stone pointed finish	Fair	No Action Required	B		27	44 m2		1,203
								Year 1 Repair Cost (£)

Element : External walls		CODE : 2						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Render finish (wet-dash)	Fair	No Action Required	B		32	44 m2		2,406
								Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : Windows		CODE : 2						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber softwood casement double-glazed windows	Fair	No Action Required	B		27	13 m2		6,398
								Year 1 Repair Cost (£)

Element : External joinery

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
T & G Timber Cladding	Fair	No Action Required	B		22	2 m2	109
							Year 1 Repair Cost (£)

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Painterwork to timber finishes	Fair	No Action Required	B		2	15 m2	205
							Year 1 Repair Cost (£)

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Masonry paint	Fair	No Action Required	B		2	44 m2	601
							Year 1 Repair Cost (£)

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stone cills	Fair	No Action Required	B		37	17 m	8,500
							Year 1 Repair Cost (£)

BUILDING : Block 07**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 003/7/E/008**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Render finish (wet-dash)

Fair

No Action Required

B

32

27 m2

1,476

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**Timber softwood casement
double-glazed windows

Fair

No Action Required

B

27

4 m2

1,968

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : External joinery**CODE :**2**Description**

T & G Timber Cladding

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

22

Quantity

2 m2

**Replacement
Cost (£)**

109

**Year 1
Repair Cost (£)****Element :** Decoration**CODE :**2**Description**

Painterwork to timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

6 m2

**Replacement
Cost (£)**

82

**Year 1
Repair Cost (£)****Element :** Decoration**CODE :**2**Description**

Masonry Paint

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

27 m2

**Replacement
Cost (£)**

369

**Year 1
Repair Cost (£)**

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		37	3 m	1,500	

BUILDING : Block 07**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 003/7/E/009**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Render finish (wet-dash)

Fair

No Action Required

B

32

56 m2

3,062

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**Timber softwood casement
double-glazed windows

Fair

No Action Required

B

27

3 m2

1,476

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Doors

CODE :2

Description

Softwood timber patio doors

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

17

Quantity

10 No.

Replacement Cost (£)

5,000

Year 1

Repair Cost (£)

Photo 1



Photo 2



Position

Element : Decoration

CODE :2

Description

Painterwork to timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

13 m2

Replacement Cost (£)

177

Year 1

Repair Cost (£)

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Masonry Paint	Fair	No Action Required	B		2	56 m2	765	

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		37	3 m	1,500	

BUILDING : Block 07	UPRN :	FLOOR : Elevations
ROOM : Elevation	No : 003/7/E/010	USE :

Element : External walls	CODE : 2							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Render finish (wet-dash)	Fair	No Action Required	B		32	12 m2		656
								Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : Windows	CODE : 2							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber softwood casement double-glazed windows	Fair	No Action Required	B		27	4 m2		1,968
								Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : Doors**CODE :2****Description**

Softwood timber flush/glazed door

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

17

Quantity

1

No.

**Replacement
Cost (£)**

984

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Decoration**CODE :2****Description**

Painterwork to timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

2

Quantity

6

m2

**Replacement
Cost (£)**

82

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Masonry Paint	Fair	No Action Required	B		2	12 m2	164	

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		37	1 m	500	

STRUCTURE

BUILDING : Block 07

UPRN :

FLOOR : Level 1 - Calton Road Street Level

ROOM : Circulation Area/Stairwell

No : 003/7/-2/001

USE :

Element : Stairs

CODE : 4

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete stair	Fair	No action required	B		57	52 m2	17,772	

BUILDING : Block 07	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Circulation Area/Stairwell	No : 003/7/-2/024	USE :

BUILDING : Block 07	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Circulation Area/Stairwell	No : 003/7/-2/024	USE :

BUILDING : Block 07	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Circulation Area/Stairwell	No : 003/7/-2/024	USE :

ROOM : Circulation Area/Stairwell	No : 003/7/-2/024	USE :
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ROOM : Circulation Area/Stairwell	No : 003/7/-2/024	USE :
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ROOM : Circulation Area/Stairwell	No : 003/7/-2/024	USE :
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Element : Stairs **CODE :** 4

Element : Stairs **CODE :** 4

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		57	52 m2	17,772

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		57	52 m2	17,772

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		57	52 m2	17,772

Concrete stair	Fair	No action required	B	57	52	m2	17,772
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		57	52 m2	17,772

Concrete stair	Fair	No action required	B	57	52	m2	17,772
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		57	52 m2	17,772

Concrete stair	Fair	No action required	B	57	52	m2	17,772
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		57	52 m2	17,772

Concrete stair	Fair	No action required	B	57	52	m2	17,772
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Description		Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair		Fair	No action required	B		57	52 m2	17,772

Concrete stair	Fair	No action required	B	57	52	m2	17,772
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	Year 1
	Repair Cost (£)
1. Replace front suspension	1,200
2. Replace rear suspension	1,500
3. Replace front brakes	800
4. Replace rear brakes	700
5. Replace front wheel bearings	600
6. Replace rear wheel bearings	500
7. Replace front struts	900
8. Replace rear struts	800
9. Replace front shock absorbers	700
10. Replace rear shock absorbers	600
11. Replace front tie rods	400
12. Replace rear tie rods	300
13. Replace front control arms	500
14. Replace rear control arms	400
15. Replace front sway bars	300
16. Replace rear sway bars	200
17. Replace front lower ball joints	400
18. Replace rear lower ball joints	300
19. Replace front upper ball joints	300
20. Replace rear upper ball joints	200
21. Replace front steering knuckles	500
22. Replace rear steering knuckles	400
23. Replace front steering rack	600
24. Replace rear steering rack	500
25. Replace front steering idler arms	300
26. Replace rear steering idler arms	200
27. Replace front steering tie rod ends	400
28. Replace rear steering tie rod ends	300
29. Replace front steering knuckle boots	200
30. Replace rear steering knuckle boots	100
31. Replace front steering knuckle bushings	100
32. Replace rear steering knuckle bushings	100
33. Replace front steering knuckle ball joints	200
34. Replace rear steering knuckle ball joints	100
35. Replace front steering knuckle tie rod ends	100
36. Replace rear steering knuckle tie rod ends	100
37. Replace front steering knuckle idler arms	100
38. Replace rear steering knuckle idler arms	100
39. Replace front steering knuckle sway bars	100
40. Replace rear steering knuckle sway bars	100
41. Replace front steering knuckle control arms	100
42. Replace rear steering knuckle control arms	100
43. Replace front steering knuckle struts	100
44. Replace rear steering knuckle struts	100
45. Replace front steering knuckle shock absorbers	100
46. Replace rear steering knuckle shock absorbers	100
47. Replace front steering knuckle tie rod ends	100
48. Replace rear steering knuckle tie rod ends	100
49. Replace front steering knuckle idler arms	100
50. Replace rear steering knuckle idler arms	100
51. Replace front steering knuckle sway bars	100
52. Replace rear steering knuckle sway bars	100
53. Replace front steering knuckle control arms	100
54. Replace rear steering knuckle control arms	100
55. Replace front steering knuckle struts	100
56. Replace rear steering knuckle struts	100
57. Replace front steering knuckle shock absorbers	100
58. Replace rear steering knuckle shock absorbers	100
59. Replace front steering knuckle tie rod ends	100
60. Replace rear steering knuckle tie rod ends	100
61. Replace front steering knuckle idler arms	100
62. Replace rear steering knuckle idler arms	100
63. Replace front steering knuckle sway bars	100
64. Replace rear steering knuckle sway bars	100
65. Replace front steering knuckle control arms	100
66. Replace rear steering knuckle control arms	100
67. Replace front steering knuckle struts	100
68. Replace rear steering knuckle struts	100
69. Replace front steering knuckle shock absorbers	100
70. Replace rear steering knuckle shock absorbers	100
71. Replace front steering knuckle tie rod ends	100
72. Replace rear steering knuckle tie rod ends	100
73. Replace front steering knuckle idler arms	100
74. Replace rear steering knuckle idler arms	100
75. Replace front steering knuckle sway bars	100
76. Replace rear steering knuckle sway bars	100
77. Replace front steering knuckle control arms	100
78. Replace rear steering knuckle control arms	100
79. Replace front steering knuckle struts	100
80. Replace rear steering knuckle struts	100
81. Replace front steering knuckle shock absorbers	100
82. Replace rear steering knuckle shock absorbers	100
83. Replace front steering knuckle tie rod ends	100
84. Replace rear steering knuckle tie rod ends	100
85. Replace front steering knuckle idler arms	100
86. Replace rear steering knuckle idler arms	100
87. Replace front steering knuckle sway bars	100
88. Replace rear steering knuckle sway bars	100
89. Replace front steering knuckle control arms	100
90. Replace rear steering knuckle control arms	100
91. Replace front steering knuckle struts	100
92. Replace rear steering knuckle struts	100
93. Replace front steering knuckle shock absorbers	100
94. Replace rear steering knuckle shock absorbers	100
95. Replace front steering knuckle tie rod ends	100
96. Replace rear steering knuckle tie rod ends	100
97. Replace front steering knuckle idler arms	100
98. Replace rear steering knuckle idler arms	100
99. Replace front steering knuckle sway bars	100
100. Replace rear steering knuckle sway bars	100
101. Replace front steering knuckle control arms	100
102. Replace rear steering knuckle control arms	100
103. Replace front steering knuckle struts	100
104. Replace rear steering knuckle struts	100
105. Replace front steering knuckle shock absorbers	100
106. Replace rear steering knuckle shock absorbers	100
107. Replace front steering knuckle tie rod ends	100
108. Replace rear steering knuckle tie rod ends	100
109. Replace front steering knuckle idler arms	100
110. Replace rear steering knuckle idler arms	100
111. Replace front steering knuckle sway bars	100
112. Replace rear steering knuckle sway bars	100
113. Replace front steering knuckle control arms	100
114. Replace rear steering knuckle control arms	100
115. Replace front steering knuckle struts	100
116. Replace rear steering knuckle struts	100
117. Replace front steering knuckle shock absorbers	100
118. Replace rear steering knuckle shock absorbers	100
119. Replace front steering knuckle tie rod ends	100
120. Replace rear steering knuckle tie rod ends	100
121. Replace front steering knuckle idler arms	100
122. Replace rear steering knuckle idler arms	100
123. Replace front steering knuckle sway bars	100
124. Replace rear steering knuckle sway bars	100
125. Replace front steering knuckle control arms	100
126. Replace rear steering knuckle control arms	100
127. Replace front steering	

BUILDING : Block 07	UPRN :	FLOOR : Structure
ROOM : Structure	No : 003/7/St/St	USE :

ROOMS

BUILDING : Block 07

UPRN :

FLOOR : Level 2 - Basement Level

ROOM : Circulation Area

No : 003/7/-1/001

USE :

Element : Ceilings

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

32

19 m2

649

**Year 1
Repair Cost (£)**

Element : Walls

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Plaster walls

Fair

No Action Required

B

32

58 m2

2,378

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

7

19 m2

779

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

2

77 m2

631

**Year 1
Repair Cost (£)**

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Bedroom 716**No** : 003/7/-1/002**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	15 m2	512
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	30 m2	1,230
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2	307
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	15 m2	615	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	54 m2	442	

BUILDING : Block 07	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Toilet 716	No : 003/7/-1/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		32	7 m2		287
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	2 m2		82
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2		307
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

22

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

7

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

14 m2

**Replacement
Cost (£)**

114

**Year 1
Repair Cost (£)**

BUILDING : Block 07	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Bedroom 715	No : 003/7/-1/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	27 m2		1,107
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Replace	D	4	Replace/In	52 m2	426	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Toilet 715**No** : 003/7/-1/005**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	4 m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		32	7 m2	287
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2	307
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	13 m2	106	

BUILDING : Block 07	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Bedroom 714	No : 003/7/-1/006	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	27 m2		1,107
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	52 m2	426	

BUILDING : Block 07	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Toilet 714	No : 003/7/-1/007	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		32	7 m2		287
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	2 m2		82
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2		307
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

22

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

7

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

14 m2

**Replacement
Cost (£)**

114

**Year 1
Repair Cost (£)**

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Boiler Tank Cupboard**No** : 003/7/-1/008**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Profiled metal panels	Fair	No Action Required	B		32	2 m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Block pointed finish (painted)	Fair	No Action Required	B		40	9 m2	246
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Unpainted Concrete	Fair, although slightly uneven in areas	No Action Required	B		37	2 m2	136
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		4	9 m2	73	

BUILDING : Block 07	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Bedroom 713	No : 003/7/-1/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	27 m2		1,107
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	52 m2	426	

BUILDING : Block 07	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Toilet 713	No : 003/7/-1/010	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		32	7 m2		287
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2		307
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	2 m2		82
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

22

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

7

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

14 m2

**Replacement
Cost (£)**

114

**Year 1
Repair Cost (£)**

BUILDING : Block 07	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Bedroom 712	No : 003/7/-1/011	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	27 m2		1,107
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet sheet finish	Fair	No Action Required	B		7	12 m2	984	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	52 m2	426	

BUILDING : Block 07	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Toilet 712	No : 003/7/-1/012	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		32	7 m2		287
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2		307
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	2 m2		82
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

22

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

7

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

14 m2

**Replacement
Cost (£)**

114

**Year 1
Repair Cost (£)**

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Circulation Area**No** : 003/7/-1/013**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	15	m2	512
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B	32	42	m2	1,722
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	7	15	m2	615
							Year 1 Repair Cost (£)

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	2	57	m2	467
							Year 1 Repair Cost (£)

BUILDING : Block 07	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Bedroom 707	No : 003/7/-1/014	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	14 m2		478
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	21 m2		861
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	11 m2		375
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	14 m2	574	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling, decorative paper to walls; gloss to timber finishes	Fair, although slight lifting of paperwork	No Action Required	B		2	46 m2	377	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Toilet 707**No** : 003/7/-1/015**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	4 m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		32	7 m2	287
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2	307
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	13 m2	106	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Circulation Area 707**No** : 003/7/-1/016**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair, although slight water staining to ceiling finish	No Action Required	B		32	4 m2	136	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster walls	Fair	No Action Required	B		32	8 m2	328	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	6 m2	205	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1 No	1,367	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling, decorative paper to walls; gloss to timber finishes	Fair	No Action Required	B		2	18 m2	147	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Bedroom 708**No** : 003/7/-1/017**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	13 m2	444
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	28 m2	1,148
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	6 m2	205
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair, although slightly worn and soiled in areas.	No Action Required	B		2	10 m2	410	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair, although slightly marked in areas	No Action Required	B		2	13 m2	106	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Toilet 708**No** : 003/7/-1/018**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	4 m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		32	7 m2	287
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2	307
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	13 m2	106	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Bedroom 709**No** : 003/7/-1/019**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	13 m2	444
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	27 m2	1,107
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	8 m2	273
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	13 m2	533	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling, decorative paper to walls; gloss to timber finishes	Fair	No Action Required	B		2	53 m2	434	

BUILDING : Block 07	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Toilet 709	No : 003/7/-1/020	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		32	7 m2		287
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2		307
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	2 m2		82
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

22

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

7

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

14 m2

**Replacement
Cost (£)**

114

**Year 1
Repair Cost (£)**

BUILDING : Block 07	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Bedroom 710	No : 003/7/-1/021	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	27 m2		1,107
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair, although slightly worn and soiled in areas.	Clean carpet	B	4	7	13 m2	533	50

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	53 m2	434	

BUILDING : Block 07	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Toilet 710	No : 003/7/-1/022	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		32	7 m2		287
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	2 m2		82
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2		307
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

22

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

7

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

14 m2

**Replacement
Cost (£)**

114

**Year 1
Repair Cost (£)**

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Bedroom 711**No** : 003/7/-1/023**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	13 m2	444	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster walls	Fair, slight stain in corner at ceiling	No Action Required	B		32	27 m2	1,107	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	8 m2	273	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1 No	1,367	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	13 m2	533	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	53 m2	434	

BUILDING : Block 07	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Toilet 711	No : 003/7/-1/024	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		32	7 m2		287
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2		307
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	2 m2		82
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

22

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

7

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

14 m2

**Replacement
Cost (£)**

114

**Year 1
Repair Cost (£)**

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Boiler Tank Cupboard**No** : 003/7/-1/025**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Profiled metal panels	Fair	No Action Required	B		32	2 m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Block pointed finish (painted)	Fair	No Action Required	B		40	9 m2	246
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Unpainted Concrete	Fair, although slightly uneven in areas	No Action Required	B		37	2 m2	136
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		4	9 m2	73	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Circulation Area/Stairwell**No** : 003/7/-2/001**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	26	m2	888
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B	32	160	m2	6,562
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B	22	6	No	8,202
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish, with colour-contrasted step nosings.	Fair	No Action Required	B	7	52	m2	2,500
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	286 m2	2,345	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Circulation Area**No** : 003/7/-2/002**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	19	m2	649	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster walls	Fair	No Action Required	B	32	58	m2	2,378	

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B	7	19	m2	779	

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	2	77	m2	631	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Bedroom 706**No** : 003/7/-2/003**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	15 m2	512
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	30 m2	1,230
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2	307
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair, although slightly worn and soiled in areas.	Clean carpet	B	4	7	15 m2	615	50

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	54 m2	442	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Toilet 706**No** : 003/7/-2/004**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	3 m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		32	7 m2	287
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2	307
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	2 m2	82
							Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

22

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

7

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

14 m2

**Replacement
Cost (£)**

114

**Year 1
Repair Cost (£)**

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Bedroom 705**No** : 003/7/-2/005**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

32

12 m2

410

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster walls

Fair

No Action Required

B

32

27 m2

1,107

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

8 m2

273

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Timber 1 hour fire door set

Fair

No Action Required

B

22

1 No

1,367

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	Year 1 Repair Cost (£)
Compressed board	Poor, worn and stained.	Replace	D	4	Replace/In	12	m2	984	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Replace	D	4	Replace/In	52	m2	426	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Toilet 705**No** : 003/7/-2/006**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	4	m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B	32	7	m2	287
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	9	m2	307
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	13 m2	106	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Bedroom 704**No** : 003/7/-2/007**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair, with staining in isolated areas	No Action Required	B		32	12 m2	410	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster walls	Fair	No Action Required	B		32	27 m2	1,107	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	8 m2	273	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1 No	1,367	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	52 m2	426	

BUILDING : Block 07	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Toilet 704	No : 003/7/-2/008	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair, although slight damage in isolated area	Make good finish	B	4	32	3	m2	102
								Year 1 Repair Cost (£)
								100
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		32	7	m2	287
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9	m2	307
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	2	m2	82
								Year 1 Repair Cost (£)

Element : Doors

CODE :5

Description

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

22

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

7

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

14 m2

**Replacement
Cost (£)**

114

**Year 1
Repair Cost (£)**

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Bedroom 703**No** : 003/7/-2/009**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

32

12 m2

410

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster walls

Fair, slight stain in corner at
ceiling

No Action Required

B

32

27 m2

1,107

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

8 m2

273

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Timber 1 hour fire door set

Fair

No Action Required

B

22

1 No

1,367

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	52 m2	426	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Toilet 703**No** : 003/7/-2/010**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	3 m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		32	7 m2	287
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	2 m2	82
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2	307
							Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

22

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

7

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

14 m2

**Replacement
Cost (£)**

114

**Year 1
Repair Cost (£)**

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Bedroom 702**No** : 003/7/-2/011**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	12 m2	410
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	27 m2	1,107
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	8 m2	273
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet sheet finish	Fair	No Action Required	B		7	12 m2	984	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	52 m2	426	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Toilet 702**No** : 003/7/-2/012**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	3 m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		32	7 m2	287
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	2 m2	82
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2	307
							Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

22

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

7

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

14 m2

**Replacement
Cost (£)**

114

**Year 1
Repair Cost (£)**

BUILDING : Block 07	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Living room 718	No : 003/7/-2/013	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	15 m2		512
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	28 m2		1,148
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2		307
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		27	3 m2		246
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Timber 1 hour fire door set

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

22

Quantity

2 No

**Replacement
Cost (£)**

2,734

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Carpet floor finish

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

7

Quantity

8 m2

**Replacement
Cost (£)**

328

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

7

Quantity

6 m2

**Replacement
Cost (£)**

246

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling, decorative
paper to walls; gloss to timber
finishes**Condition**Fair, although slight lifting of
paperwork**Action**

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

52 m2

**Replacement
Cost (£)**

426

**Year 1
Repair Cost (£)**

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Toilet 718**No** : 003/7/-2/014**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

32

4

m2

136

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Pre-finished board

Fair

No Action Required

B

32

7

m2

287

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

9

m2

307

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Softwood timber flush

Fair

No Action Required

B

22

1

No

492

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	13 m2	106	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Bedroom 718**No** : 003/7/-2/015**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	10	m2	341
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B	32	14	m2	574
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	11	m2	375
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	22	1	No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	10 m2	410	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling, decorative paper to walls; gloss to timber finishes	Fair	No Action Required	B		2	35 m2	287	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Circulation area 717**No** : 003/7/-2/016**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair, although slight water
staining to ceiling finish

No Action Required

B

32

3 m2

102

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster walls

Fair

No Action Required

B

32

10 m2

410

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Timber 1 hour fire door set

Fair

No Action Required

B

22

1 No

1,367

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

7

3 m2

123

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling, decorative paper to walls; gloss to timber finishes	Fair	No Action Required	B		2	13 m2	106	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Store 717**No** : 003/7/-2/017**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Underside of Stairs	Fair, although slight water staining to ceiling finish	No Action Required	B		32	2 m2	68	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster walls	Fair	No Action Required	B		32	10 m2	410	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber 1/2 hour fire door set	Fair	No Action Required	B		22	1 No	1,025	

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling, decorative paper to walls; gloss to timber finishes	Fair	No Action Required	B		2	12 m2	98	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Living room 717**No** : 003/7/-2/018**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	32	16	m2	546
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B	32	24	m2	984
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B	27	3	m2	246
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	32	9	m2	369
							Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Timber 1 hour fire door set

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

22

Quantity

1 No

**Replacement
Cost (£)**

1,367

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Carpet floor finish

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

7

Quantity

10 m2

**Replacement
Cost (£)**

410

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

7

Quantity

6 m2

**Replacement
Cost (£)**

246

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling, decorative
paper to walls; gloss to timber
finishes**Condition**Fair, although slight lifting of
paperwork**Action**

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

52 m2

**Replacement
Cost (£)**

426

**Year 1
Repair Cost (£)**

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Bedroom 717**No** : 003/7/-2/019**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair, although slight water
staining to ceiling finish

No Action Required

B

32

10 m2

341

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster walls

Fair

No Action Required

B

32

14 m2

574

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

11 m2

375

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Softwood timber flush

Fair

No Action Required

B

22

1 No

492

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	10 m2	410	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling, decorative paper to walls; gloss to timber finishes	Fair	No Action Required	B		2	35 m2	287	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Toilet 717**No** : 003/7/-2/020**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

32

4

m2

136

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Pre-finished board

Fair

No Action Required

B

32

7

m2

287

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

9

m2

307

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Softwood timber flush

Fair

No Action Required

B

22

1

No

492

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	13 m2	106	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Circulation area 701**No** : 003/7/-2/021**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair, although slight water
staining to ceiling finish

No Action Required

B

32

4 m2

136

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster walls

Fair

No Action Required

B

32

8 m2

328

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

6 m2

205

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Timber 1 hour fire door set

Fair

No Action Required

B

22

1 No

1,367

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling, decorative paper to walls; gloss to timber finishes	Fair	No Action Required	B		2	18 m2	147	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Toilet 701**No** : 003/7/-2/022**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	4 m2	136
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		32	7 m2	287
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	9 m2	307
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	13 m2	106	

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Bedroom 701**No** : 003/7/-2/023**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

32

14 m2

478

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster walls

Fair

No Action Required

B

32

21 m2

861

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

32

11 m2

375

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Timber 1 hour fire door set

Fair

No Action Required

B

22

1 No

1,367

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	14 m2	574	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair, although slight lifting of paperwork	No Action Required	B		2	46 m2	377	

BUILDING : Block 07	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Circulation Area/Stairwell	No : 003/7/-2/024	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	11 m2		375
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		32	58 m2		2,378
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		22	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish, with colour-contrasted step nosings.	Fair	No Action Required	B		7	11 m2		650
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	69 m2	565	

BUILDING : Block 07	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Boiler Room	No : 003/7/-2/025	USE :

Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Block pointed finish (unpainted)	Fair	No Action Required	B		40	38 m2		1,038
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted Concrete	Fair	No Action Required	B		40	16 m2		1,093
								Year 1 Repair Cost (£)
Element : Decoration		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Gloss/varnish to timber finishes	Fair	No Action Required	B		2	2 m2		16
								Year 1 Repair Cost (£)

BUILDING : Block 07	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Electrical Fuse Cupboard	No : 003/7/-2/026	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Concrete beams unfinished	Fair	No Action Required	B		40	2	m2	
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Block pointed finish (unpainted)	Fair	No Action Required	B		40	9	m2	246
								Year 1 Repair Cost (£)
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	B		22	1	No	1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted Concrete	Fair, although slightly uneven in areas	No Action Required	B		37	2	m2	136
								Year 1 Repair Cost (£)

FIXTURES & FITTINGS

BUILDING : Block 07	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Circulation Area/Stairwell	No : 003/7/-2/001	USE :

Element : Built in cupboards		CODE : 6						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Timber built-in cupboard (under stair), including door	Fair	No action required	B		22	1	No	2,000

BUILDING : Block 07	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Living room 718	No : 003/7/-2/013	USE :

Element : Worktops		CODE : 6						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Laminate / chipboard worktop	Fair	No action required	B		12	3	m2	205

Element : Built in cupboards		CODE : 6						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Timber base and wall units	Fair	No action required	B		22	6	No	4,921

BUILDING : Block 07	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Living room 717	No : 003/7/-2/018	USE :

Element : Worktops		CODE : 6						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Laminate / chipboard worktop	Fair	No action required	B		12	3	m2	205

Element : Built in cupboards		CODE : 6						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Timber base and wall units	Fair	No action required	B		22	6	No	4,921

SANITARY

BUILDING : Block 07

UPRN :

FLOOR : Level 2 - Basement Level

ROOM : Toilet 716

No : 003/7/-1/003

USE :

Element : WC

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Basins

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle	Fair	No action required	B		15	1 No	820
							Year 1 Repair Cost (£)

Element : Showers

CODE : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		17	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Toilet 715**No** : 003/7/-1/005**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		17	1 No	1,148
							Year 1 Repair Cost (£)

Element : Baths**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pressed steel bath	Fair	No action required	B		22	1 No	656
							Year 1 Repair Cost (£)

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Toilet 714**No** : 003/7/-1/007**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle	Fair	No action required	B		15	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		17	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Toilet 713**No** : 003/7/-1/010**USE** :**Element** : WC**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WC cistern and bowl

Fair

No action required

B

22

1

No

328

**Year 1
Repair Cost (£)****Element** : Basins**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WHB

Fair

No action required

B

22

1

No

328

**Year 1
Repair Cost (£)****Element** : Cubicles**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Shower cubicle

Fair

No action required

B

15

1

No

820

**Year 1
Repair Cost (£)****Element** : Showers**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Shower heads/mixer valve

Fair

No action required

B

17

1

No

1,148

**Year 1
Repair Cost (£)**

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Toilet 712**No** : 003/7/-1/012**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle	Fair	No action required	B		15	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		17	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Toilet 707**No** : 003/7/-1/015**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		17	1 No	1,148
							Year 1 Repair Cost (£)

Element : Baths**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pressed steel bath	Fair	No action required	B		22	1 No	656
							Year 1 Repair Cost (£)

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Toilet 708**No** : 003/7/-1/018**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		17	1 No	1,148
							Year 1 Repair Cost (£)

Element : Baths**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pressed steel bath	Fair	No action required	B		22	1 No	656
							Year 1 Repair Cost (£)

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Toilet 709**No** : 003/7/-1/020**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle	Fair	No action required	B		15	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		17	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Toilet 710**No** : 003/7/-1/022**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle	Fair	No action required	B		15	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		17	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 07**UPRN** :**FLOOR** : Level 2 - Basement Level**ROOM** : Toilet 711**No** : 003/7/-1/024**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle	Fair	No action required	B		15	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		17	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Toilet 706**No** : 003/7/-2/004**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle	Fair	No action required	B		15	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		17	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Toilet 705**No** : 003/7/-2/006**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Poor	Replace	D	4	Replace/In	1	No	328
								Year 1 Repair Cost (£)

Element : Basins**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		22	1	No	328
								Year 1 Repair Cost (£)

Element : Showers**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		17	1	No	1,148
								Year 1 Repair Cost (£)

Element : Baths**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pressed steel bath	Fair	No action required	B		22	1	No	656
								Year 1 Repair Cost (£)

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Toilet 704**No** : 003/7/-2/008**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		22	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle	Fair	No action required	B		15	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		17	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Toilet 703**No** : 003/7/-2/010**USE** :**Element** : WC**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WC cistern and bowl

Fair

No action required

B

22

1

No

328

**Year 1
Repair Cost (£)****Element** : Basins**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WHB

Fair

No action required

B

22

1

No

328

**Year 1
Repair Cost (£)****Element** : Cubicles**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Shower cubicle

Fair

No action required

B

15

1

No

820

**Year 1
Repair Cost (£)****Element** : Showers**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Shower heads/mixer valve

Fair

No action required

B

17

1

No

1,148

**Year 1
Repair Cost (£)**

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Toilet 702**No** : 003/7/-2/012**USE** :**Element** : WC**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WC cistern and bowl

Fair

No action required

B

22

1

No

328

**Year 1
Repair Cost (£)****Element** : Basins**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WHB

Fair

No action required

B

22

1

No

328

**Year 1
Repair Cost (£)****Element** : Cubicles**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Shower cubicle

Fair

No action required

B

15

1

No

820

**Year 1
Repair Cost (£)****Element** : Showers**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Shower heads/mixer valve

Fair

No action required

B

17

1

No

1,148

**Year 1
Repair Cost (£)**

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Toilet 718**No** : 003/7/-2/014**USE** :**Element** : WC**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WC cistern and bowl

Fair

No action required

B

22

1

No

328

**Year 1
Repair Cost (£)****Element** : Basins**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WHB

Fair

No action required

B

22

1

No

328

**Year 1
Repair Cost (£)****Element** : Showers**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Shower heads/mixer valve

Fair

No action required

B

17

1

No

1,148

**Year 1
Repair Cost (£)****Element** : Baths**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Pressed steel bath

Fair

No action required

B

22

1

No

656

**Year 1
Repair Cost (£)**

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Toilet 717**No** : 003/7/-2/020**USE** :**Element** : WC**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WC cistern and bowl

Fair

No action required

B

22

1

No

328

**Year 1
Repair Cost (£)****Element** : Basins**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WHB

Fair

No action required

B

22

1

No

328

**Year 1
Repair Cost (£)****Element** : Showers**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Shower heads/mixer valve

Fair

No action required

B

17

1

No

1,148

**Year 1
Repair Cost (£)****Element** : Baths**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Pressed steel bath

Fair

No action required

B

22

1

No

656

**Year 1
Repair Cost (£)**

BUILDING : Block 07**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Toilet 701**No** : 003/7/-2/022**USE** :**Element** : WC**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WC cistern and bowl

Fair

No action required

B

22

1

No

328

**Year 1
Repair Cost (£)****Element** : Basins**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Ceramic WHB

Fair

No action required

B

22

1

No

328

**Year 1
Repair Cost (£)****Element** : Showers**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Shower heads/mixer valve

Fair

No action required

B

17

1

No

1,148

**Year 1
Repair Cost (£)****Element** : Baths**CODE** :7**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Pressed steel bath

Fair

No action required

B

22

1

No

656

**Year 1
Repair Cost (£)**

MECHANICAL SERVICES

BUILDING : Block 07

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/7/M&E/M&E

USE :

Element : Gas Heating System

CODE : 13

Description

Heating was provided by 2 Ideal Viceroy Gas fired boilers in Whiteford block. Hot water from system was pumped round the bld to a number of convection radiators, by a Biral pumping setup.

Condition

The heating and its associated equipment were in fair condition with no defects evident.

Action

Continue maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

20,000

**Year 1
Repair Cost (£)**

Element : Extraction System

CODE : 13

Description

There was a mix of Xodus and Vent Axia single point extractors in use within the toilets in the resident's rooms.

Condition

The condition of these were fair with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

3,500

**Year 1
Repair Cost (£)**

Element : Domestic Hot Water

CODE : 13

Description

Hot water was provided by the main boilers to two Calorfiers within the Glouster Block, the

Condition

The condition of this was fair

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

20,000

**Year 1
Repair Cost (£)**

water was pumped to the
resident's rooms by a pumping
set up.

with no defects noted.



ELECTRICAL SERVICES

BUILDING : Block 07

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/7/M&E/M&E

USE :

Element : Mains Distribution

CODE : 14

Description

Power distribution was via a mix of Wylex, GET and Dorman Smith DBs located around the bld. Wiring was contained within trunking.

Condition

All were in a fair condition with no defects noted.
However there was evidence of extensions in use.

Action

Continue Maintenance
It is recommended that the policy on use of extensions is reviewed.

Cond/Ind Priority

B

L'Expec

20

Quantity

Replacement Cost (£)

50,000

Year 1

Repair Cost (£)

Photo 1



Photo 2

Position

Element : Light Fittings Internal

CODE : 14

Description

In the main this was a mix of T5, T8, (fitted with anti glare diffusers) 2D, CFL, tungsten and halogen fittings. Some corridors were controlled by PIR's, all other

Condition

The condition of the system was

Action

Continue maintenance

Cond/Ind Priority

B

L'Expec

20

Quantity

Replacement Cost (£)

25,000

Year 1

Repair Cost (£)

lighting were manually controlled. fair with no defects noted.

This survey did not look at system compliance, a further lighting compliance survey would be required.

Element : Light Fittings Internal

CODE : 14

Description

This consisted of a mix of maintained and non-maintained self contained fittings.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind

B

Priority

L'Expec

20

Quantity

**Replacement
Cost (£)**

8,000

**Year 1
Repair Cost (£)**

Element : Light Fittings External

CODE : 14

Description

This consisted of a number of SON bulkhead fittings located around the boundary wall, these are controlled by timers.

Condition

The condition of the lighting and its associated equipment was fair with no defects noted.

Action

Continue Maintenance
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind

B

Priority

L'Expec

20

Quantity

**Replacement
Cost (£)**

2,000

**Year 1
Repair Cost (£)**

Element : Fire Alarms

CODE : 14

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
An automatic system consisting of a number of break glass manual call points, detectors and audible alarms connected to the main 3404 fire alarm control panel.	The condition of the system was fair with no defects noted.	Continue Maintenance. This survey did not look at system compliance, a further in depth compliance survey would be required.	B		20		10,000	

OTHER M&E

BUILDING : Block 07

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/7/M&E/M&E

USE :

Element : Elevator/Lifts

CODE : 15

Description

There was a passenger lift installed.

Condition

The condition of this and its associated equipment was fair with no defects noted

Action

Continue maintenance.

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

80,000

**Year 1
Repair Cost (£)**

ROOFS

BUILDING : Block 08

UPRN :

FLOOR : Roof

ROOM : Roof001

No : 003/8/R/001

USE :

Element : Covering

CODE : 1

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Bituminous felt

Fair, although nearing end of
economic lifespan

No action required

B

5

16 m2

1,640

**Year 1
Repair Cost (£)**

Photo 1



Photo 2



Position

Element : Covering

CODE : 1

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Natural slate

Fair

No action required

B

25

395 m2

48,600

**Year 1
Repair Cost (£)**

Element : Structure		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber joists and rafters	Fair	No action required	B		35	395	m2	32,400
								Year 1 Repair Cost (£)
Element : Structure		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber joists and rafters	Fair	No action required	B		35	16	m2	1,312
								Year 1 Repair Cost (£)
Element : Flashings		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lead (inc. in roof)	Fair	No action required	B		25	130	m	9,774
								Year 1 Repair Cost (£)
Element : Flashings		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Cement fillet to skew	Fair	No action required	B		20	32	m	2,406
								Year 1 Repair Cost (£)

Element : Rainwater goods

CODE : 1

Description

CI gutters and downpipes and box

Condition

Fair however requires maintenance

Action

Refix downpipe

Cond/Ind

B

Priority

3

L'Expec

20

Quantity

59 m

**Replacement
Cost (£)**

4,032

**Year 1
Repair Cost (£)**
60

Element : Chimney stacks/flues

CODE : 1

Description

Brick / render

Condition

Fair

Action

No action required

Cond/Ind

B

Priority

L'Expec

20

Quantity

1 No.

**Replacement
Cost (£)**

2,447

**Year 1
Repair Cost (£)**

Element : TV aerials/dishes etc

CODE : 1

Description

Metal aerials/dishes

Condition

Fair

Action

No action required

Cond/Ind

B

Priority

L'Expec

10

Quantity

1 No.

**Replacement
Cost (£)**

164

**Year 1
Repair Cost (£)**

Element : Decoration

CODE : 1

Description

Gloss paint to CI gutters and downpipes etc.

Condition

Fair

Action

No action required

Cond/Ind

B

Priority

L'Expec

3

Quantity

59 m2

**Replacement
Cost (£)**

483

**Year 1
Repair Cost (£)**

WALLS

BUILDING : Block 08

UPRN :

FLOOR : Elevations

ROOM : Elevation001

No : 003/8/E/001

USE :

Element : External walls

CODE : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Wet Dash	Fair	No Action Required	B		20	39 m2	2,132	

Photo 1



Photo 2

Position

Element : External walls

CODE : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone block wall Door surround ,jambs and lintol	Fair	No Action Required	B		35	10 m2	1,777	

Photo 1



Photo 2

Position

Element : Doors**CODE :2****Description**

Hardwood timber flush/glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

25

Quantity

2 No.

Replacement Cost (£)

3,500

Year 1 Repair Cost (£)**Element : Wall fixture & fittings****CODE :2****Description**Metal lettering
"WHITEFOORD HOUSE"**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

15

Quantity

15 No

Replacement Cost (£)

1,500

Year 1 Repair Cost (£)**Element : Decoration****CODE :2****Description**Re-decoration
Wet dash
Timber doors**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

5

Quantity

43 m2

Replacement Cost (£)

587

Year 1 Repair Cost (£)

BUILDING : Block 08**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation002**No** : 003/8/E/002**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Wet Dash	Fair	No Action Required	B		20	77 m2	4,210	

Photo 1



Photo 2

Position

Element : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone panel	Fair	No Action Required	B		35	1 m2	600	

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
6 No.Timber sash and case single glazed (1m2)	Fair	No Action Required	B		10	6 m2	2,460	

Element : Windows

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
4 No.Timber sash and case single glazed (2m2)	Fair	No Action Required	B		10	8 m2	3,281	

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Wet dash Timber windows Cills	Fair	No Action Required	B		5	105 m2	1,435	

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cill band	Fair	No Action Required	B		35	26 m	13,000	

Photo 1



Photo 2

Position

BUILDING : Block 08**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation003**No** : 003/8/E/003**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Wet Dash

Fair

No Action Required

B

20

2

m2

109

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Decoration**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Re-decoration

Fair

No Action Required

B

5

2

m2

533

Wet dash

**Year 1
Repair Cost (£)**

BUILDING : Block 08**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation004**No** : 003/8/E/004**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Wet Dash	Fair	No Action Required	B		20	5 m2	273	

Photo 1



Photo 2

Position

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
2 No.Timber sash and case single glazed (2m2)	Fair	No Action Required	B		10	4 m2	1,640	

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
1 No.Timber transome single glazed (2m2)	Fair	No Action Required	B		10	2 m2	820	

Element : Doors**CODE :2****Description**

Hardwood timber glazed doors

Condition

Fair, although showing signs of age

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

5

Quantity

2 No.

Replacement Cost (£)

1,968

Year 1 Repair Cost (£)**Element : Decoration****CODE :2****Description**

Re-decoration

Wet dash

Timber windows and doors

Cills

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

5

Quantity

17 m2

Replacement Cost (£)

232

Year 1 Repair Cost (£)**Element : Cills****CODE :2****Description**

Concrete cills

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

35

Quantity

2 m

Replacement Cost (£)

1,000

Year 1 Repair Cost (£)**Photo 1****Photo 2****Position**

BUILDING : Block 08**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation005**No** : 003/8/E/005**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Wet Dash

Fair

No Action Required

B

20

5 m2

273

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**2 No.Timber sash and case
single glazed (2m2)

Fair

No Action Required

B

10

4 m2

1,640

**Year 1
Repair Cost (£)****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**1 No.Timber transome single
glazed (2m2)

Fair

No Action Required

B

10

2 m2

820

**Year 1
Repair Cost (£)**

Element : Doors**CODE :2****Description**

Hardwood timber glazed doors

Condition

Fair, although showing signs of age

Action

No Action Required

Cond/Ind Priority

B

L'Expec

5

Quantity

2 No.

Replacement Cost (£)

1,968

Year 1 Repair Cost (£)**Photo 1****Photo 2****Position****Element : Decoration****CODE :2****Description**Re-decoration
Wet dash
Timber windows and doors
Cills**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

5

Quantity

17 m2

Replacement Cost (£)

232

Year 1 Repair Cost (£)**Element : Cills****CODE :2****Description**

Concrete cills

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

35

Quantity

2 m

Replacement Cost (£)

1,000

Year 1 Repair Cost (£)

Photo 1



Photo 2

Position



BUILDING : Block 08**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation006**No** : 003/8/E/006**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Wet Dash

Fair

No Action Required

B

20

51 m2

2,788

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**3 No.Timber sash and case
single glazed (2m2)

Fair

No Action Required

B

10

6 m2

2,460

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**Re-decoration
Wet dash

Fair

No Action Required

B

5

63 m2

861

**Year 1
Repair Cost (£)**

Timber windows
Cills

Element : Cills		CODE :2							Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity			Year 1 Repair Cost (£)
Concrete cills and lintols	Fair	No Action Required	B		35	6	m		3,000

Photo 1



Photo 2

Position

BUILDING : Block 08**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation007**No** : 003/8/E/007**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Wet Dash

Fair

No Action Required

B

20

42 m2

2,296

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**2 No.Timber sash and case
single glazed (2m2)

Fair

No Action Required

B

10

4 m2

1,640

**Year 1
Repair Cost (£)****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**1 No.Timber transome single
glazed (1m2)

Fair

No Action Required

B

10

1 m2

410

**Year 1
Repair Cost (£)**

Element : Doors**CODE :2**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Hardwood timber glazed door	Fair, although showing signs of age	No Action Required	B		5	1 No.	984	

Element : Decoration**CODE :2**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Wet dash Timber windows and doors Cills	Fair	No Action Required	B		5	51 m2	697	

Element : Cills**CODE :2**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		35	3 m	1,500	

Photo 1**Photo 2****Position**

BUILDING : Block 08**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation008**No** : 003/8/E/008**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Wet Dash

Fair

No Action Required

B

20

19 m2

1,038

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone wall

Fair

No Action Required

B

35

20 m2

3,554

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**Re-decoration
All wall finishes

Fair

No Action Required

B

5

39 m2

533

**Year 1
Repair Cost (£)**

BUILDING : Block 08**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation009**No** : 003/8/E/009**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Wet Dash

Fair

No Action Required

B

20

47 m2

2,570

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**2 No.Timber casement single
glazed (3m2)

Fair but with patching to cill

Repair timber cill

B

3

10

6 m2

2,460

**Year 1
Repair Cost (£)**
100

Photo 1



Photo 2

Position

Element : Windows

CODE :2

Description

1 No.Timber casement single glazed (1m2)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

10

Quantity

1 m2

Replacement Cost (£)

410

Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : Doors

CODE :2

Description

Timber flush door

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

15

Quantity

1 No.

Replacement Cost (£)

984

Year 1 Repair Cost (£)

Element : Decoration

CODE : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Wet dash Timber windows and door Cills	Fair but redecorate damaged cill once repaired	No Action Required	B		5	59 m2	806	

Element : Cills

CODE : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		35	3 m	1,500	

Photo 1



Photo 2

Position

STRUCTURE

BUILDING : Block 08

UPRN :

FLOOR : Structure

ROOM : Structure

No : 003/8/St/St

USE :

Element : Frame/Columns

CODE : 4

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Brick structure

Fair

No action required

B

40

m2

**Year 1
Repair Cost (£)**

Element : Floors

CODE : 4

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Timber floors

Fair

No action required

B

40

m2

**Year 1
Repair Cost (£)**

Element : Walls

CODE : 4

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Brick/block & render

Fair

No action required

B

40

m2

**Year 1
Repair Cost (£)**

ROOMS

BUILDING : Block 08

UPRN :

FLOOR : Level 3 - Canongate Street level Ground

ROOM : Office

No : 003/8/0/001

USE :

Element : Ceilings

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	28 m2	956	

Element : Walls

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B		30	88 m2	3,007	

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
1 hour fire door set	Fair	No Action Required	B		20	1 No	1,367	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	28 m2	1,148	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	116 m2	951	

BUILDING : Block 08**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Vestibule**No** : 003/8/0/001A**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	2 m2	68	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	7 m2	239	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber panelled top & bottom glazed	Fair	No Action Required	B		10	1 No	656	

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		5	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair, although slightly marked	No Action Required	B		2	13 m2	106
							Year 1 Repair Cost (£)

BUILDING : Block 08**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Hall**No** : 003/8/0/002**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair, although minor damage to
plasterboard in isolated areas.Make good damaged
plasterboard finish

B

4

30

239 m2

8,168

**Year 1
Repair Cost (£)**
250**Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair, although minor damage to
plasterboard in isolated areas.Make good damaged
plasterboard finish

B

4

20

152 m2

5,194

**Year 1
Repair Cost (£)**
100**Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

1 hour fire door set

Fair

No Action Required

B

20

1 No

656

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**Timber strip flooring including
stage

Fair

No Action Required

B

20

63 m2

2,583

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Poor- stained , marked and torn.	Replace	C	4	Replace/In	159	m2	6,521
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	407	m2	3,338
								Year 1 Repair Cost (£)

BUILDING : Block 08**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Vestibule**No** : 003/8/0/003**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2	68	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	5 m2	170	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber panelling to walls	Fair	No Action Required	B		20	4 m2	273	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Hardwood timber panelled top & bottom glazed with floor springs	Fair	No Action Required	B		15	2 No	2,187	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Quarry tiled floor	Fair	No Action Required	B		20	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	20 m2	164	

BUILDING : Block 08	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Kitchen	No : 003/8/0/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		30	18 m2		615
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		30	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		20	1 No		492
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber roller shutter doors	Fair	No Action Required	B		5	1 No		1,500
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	18 m2	738	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	52 m2	426	

BUILDING : Block 08**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Circulation Area**No** : 003/8/0/005**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ornate plaster ceiling	Fair	No Action Required	B		20	28 m2	2,000
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber panelling to walls	Fair	No Action Required	B		20	33 m2	4,500
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Hardwood timber panelled top & bottom glazed 1 double with floor springs 2 doubles with o/h door closers	Fair	No Action Required	B		15	6 No	6,562
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Composite - Terrazzo	Fair, with isolated cracking	No Action Required	B		12	22 m2	2,706
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling ; gloss/varnish to timber finishes	Fair	No Action Required	B		2	73 m2	598
							Year 1 Repair Cost (£)

BUILDING : Block 08**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Pool room**No** : 003/8/0/006**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Suspended grid system with plasterboard tiles	Poor, at end of economic lifespan.	Replace	C	4	Replace/In	75 m2	2,563	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	18 m2	615	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	63 m2	2,153	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber with viewing panel	Fair	No Action Required	B		20	1 No	656	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber strip flooring	Fair	No Action Required	B		20	75 m2	6,151	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	87 m2	713	

BUILDING : Block 08	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Vestibule	No : 003/8/0/007	USE :

Element : Ceilings		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2	102
							Year 1 Repair Cost (£)
Element : Walls		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	8 m2	273
							Year 1 Repair Cost (£)
Element : Walls		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	2 m2	68
							Year 1 Repair Cost (£)
Element : Windows		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber transome	Fair	No Action Required	B		15	1 m2	410
							Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**Hardwood timber panelled top &
bottom glazed**Condition**

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

15

Quantity

1 No

**Replacement
Cost (£)**

1,093

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Timber strip flooring

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

15

Quantity

3 m2

**Replacement
Cost (£)**

246

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Poor

Action

Redecorate

Cond/Ind

C

Priority

4

L'Expec

Replace/In

Quantity

19 m2

**Replacement
Cost (£)**

155

**Year 1
Repair Cost (£)**

BUILDING : Block 08	UPRN :	FLOOR : Level 3 - Canongate Street level Ground
ROOM : Entrance	No : 003/8/0/008	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		30	18 m2		615
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber panelling to walls	Fair, although slight splitting in evidence	Make good finish	B	4	20	33 m2		5,000
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Composite - Terrazzo	Fair, although slight cracking is evident in areas	No Action Required	B		20	19 m2		2,337
								Year 1 Repair Cost (£)
Element : Decoration		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling ; gloss/varnish to timber finishes	Fair	No Action Required	B		2	67 m2		549
								Year 1 Repair Cost (£)

FIXTURES & FITTINGS

BUILDING : Block 08

UPRN :

FLOOR : Level 3 - Canongate Street level Ground

ROOM : Office

No : 003/8/0/001

USE :

Element : Built in cupboards

CODE : 6

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Timber built in cupboards

Fair

No action required

B

20

1

No

820

Year 1
Repair Cost (£)

BUILDING : Block 08**UPRN** :**FLOOR** : Level 3 - Canongate Street level Ground**ROOM** : Kitchen**No** : 003/8/0/004**USE** :**Element** : Shelving**CODE** :6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber shelving	Fair	No action required	B		20	2 m	54	

Element : Worktops**CODE** :6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Laminate / chipboard worktop	Fair	No action required	B		10	8 m2	546	

Element : Built in cupboards**CODE** :6

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber base units	Fair	No action required	B		20	5 No	1,640	

SANITARY

BUILDING : Block 08

UPRN :

FLOOR : Level 3 - Canongate Street level Ground

ROOM : Kitchen

No : 003/8/0/004

USE :

Element : Sinks

CODE :7

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Stainless steel - double drainer

Fair

No action required

B

10

2

No

820

Year 1
Repair Cost (£)

MECHANICAL SERVICES

BUILDING : Block 08

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/8/M&E/

USE :

Element : Gas Heating System

CODE : 13

Description

Heating was provided by 2 Ideal Concord C Series 3 Gas fired boilers. Hot water from system was pumped round the bld to a number of convection radiators, some fan assisted, by a Wilo pumping setup.

Condition

The heating and its associated equipment were in fair condition with no defects evident.

Action

Continue maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

30,000

**Year 1
Repair Cost (£)**

Element : Domestic Hot Water

CODE : 13

Description

Hot water was provided by the main boilers to a Calorfier, the water was pumped throughout the bld by Grundfos pumps.

Condition

The condition of the equipment was fair however the Insulation jacket for the Calorfier does not completely cover the Calorfier.

Action

Continue Maintenance
It is recommended that the jacket be replaced.

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

10,000

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position



ELECTRICAL SERVICES

BUILDING : Block 08

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/8/M&E/

USE :

Element : Mains Distribution

CODE : 14

Description

Power distribution was via a mix of Wylex, GET and Dorman Smith DBs located around the bld. Wiring was contained within trunking.

Condition

All were in a fair condition with no defects noted.
However there was evidence of extensions in use.

Action

Continue Maintenance
It is recommended that the policy on use of extensions is reviewed.

Cond/Ind Priority

B

L'Expec

20

Quantity

Replacement Cost (£)

20,000

Year 1

Repair Cost (£)

Photo 1

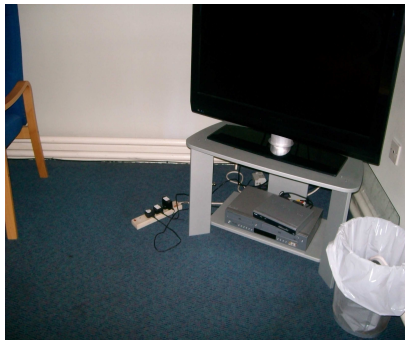


Photo 2

Position

Element : Light Fittings Internal

CODE : 14

Description

In the main this was a mix of T5, T8, (fitted with anti glare diffusers) 2D, CFL, tungsten and halogen fittings. Some corridors were controlled by PIR's, all other

Condition

The condition of the system was

Action

Continue maintenance

Cond/Ind Priority

B

L'Expec

20

Quantity

Replacement Cost (£)

15,000

Year 1

Repair Cost (£)

lighting were manually controlled. fair with no defects noted.

This survey did not look at system compliance, a further lighting compliance survey would be required.

Element : Light Fittings Internal

CODE : 14

Description

This consisted of a mix of maintained and non-maintained self contained fittings.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

5,000

**Year 1
Repair Cost (£)**

Element : Fire Alarms

CODE : 14

Description

An automatic system consisting of a number of break glass manual call points, detectors and audible alarms connected to the main 3404 fire alarm control panel.

Condition

The condition of the system was fair with no defects noted.

Action

Continue Maintenance.
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

10,000

**Year 1
Repair Cost (£)**

ROOFS

BUILDING : Block 09	UPRN :	FLOOR : Roof
ROOM : Roof	No : 003/9/R/001	USE :

Element : Covering		CODE : 1							Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity			Year 1 Repair Cost (£)
Natural slate	Fair	No action required	B		32	91 m2			11,196

Photo 1



Photo 2

Position

Element : Structure		CODE : 1							Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity			Year 1 Repair Cost (£)
Timber joists and rafters	Fair	No action required	B		32	91 m2			7,464

Element : Flashings**CODE : 1**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Lead (inc. in roof) ridge, hips and at roof lights	Fair	No action required	B		32	32 m	2,406	

Element : Rainwater goods**CODE : 1**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Cast iron gutters and downpipes	Fair	No action required	B		5	16 m	1,093	

Element : Chimney stacks/flues**CODE : 1**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone/roughcast finish	Fair	No action required	B		20	1 No.	2,447	

Element : Roof Lights**CODE : 1**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
2 No. Rooflights	Fair	No action required	B		5	2	1,200	

BUILDING : Block 09	UPRN :	FLOOR : Roof
ROOM : Roof	No : 003/9/R/002	USE :

Element : Covering		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Single-ply sheet	Fair	No action required	B		10	26 m2		3,056
								Year 1 Repair Cost (£)
Element : Structure		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber joists	Fair	No action required	B		40	26 m2		2,132
								Year 1 Repair Cost (£)
Element : Rainwater goods		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Cast iron gutters and downpipes	Fair	No action required	B		5	12 m		820
								Year 1 Repair Cost (£)
Element : Fascias		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber softwood fascias	Fair	No action required	B		10	14 m		478
								Year 1 Repair Cost (£)

Element : Decoration

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Gloss paint to external fascias	Fair	No action required	B		3	14 m2	114	

WALLS

BUILDING : Block 09

UPRN :

FLOOR : Elevations

ROOM : Elevation

No : 003/9/E/001

USE :

Element : External walls

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Roughcast	Fair	No Action Required	B		10	33 m2	1,804	

Photo 1



Photo 2

Position

Element : Windows

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
PVC-u casement double-glazed windows	Fair	No Action Required	B		20	4 m2	3,007	

Element : Doors

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Softwood timber flush/glazed door

Fair

No Action Required

B

10

1 No.

984

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Masonry paint

Fair

No Action Required

B

3

33 m2

451

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Painterwork to door

Fair

No Action Required

B

3

2 m2

27

**Year 1
Repair Cost (£)**

BUILDING : Block 09**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 003/9/E/002**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Roughcast	Fair	No Action Required	B		10	49 m2	2,679	

Photo 1



Photo 2



Position

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
PVC-u casement double-glazed windows	Fair	No Action Required	B		20	9 m2	6,767	

Element : Decoration**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Masonry paint	Fair	No Action Required	B		3	49 m2	669	

BUILDING : Block 09**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 003/9/E/003**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Roughcast

Fair

No Action Required

B

10

37 m2

2,023

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**PVC-u casement double-glazed
windows

Fair

No Action Required

B

20

2 m2

1,503

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Masonry paint

Fair

No Action Required

B

3

37 m2

505

**Year 1
Repair Cost (£)**

BUILDING : Block 09**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 003/9/E/004**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Roughcast

Fair

No Action Required

B

10

52 m2

2,843

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

PVC-u casement double-glazed windows

Fair

No Action Required

B

20

1 m2

751

**Year 1
Repair Cost (£)****Element** : Decoration**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Masonry paint

Fair

No Action Required

B

3

52 m2

710

**Year 1
Repair Cost (£)**

STRUCTURE

BUILDING : Block 09	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Circulation Area/Stairwell	No : 003/9/-2/001	USE :

Element : Stairs		CODE : 4						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Timber stair	Fair	No action required	B		40	5	m2	512
								Year 1
								Repair Cost (£)

BUILDING : Block 09	UPRN :	FLOOR : Structure
ROOM : Structure	No : 003/9/St/St	USE :

Element : Floors		CODE : 4						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber floor	Fair	No action required	B		40	159	m2	16,302
								Year 1 Repair Cost (£)

Element : Walls		CODE : 4						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Stone / rendered walls	Fair	No action required	B		40	193	m2	39,577
								Year 1 Repair Cost (£)

ROOMS

BUILDING : Block 09

UPRN :

FLOOR : Level 2 - Basement Level

ROOM : Bedroom 1

No : 003/9/-1/001

USE :

Element : Ceilings

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

20

23 m2

786

**Year 1
Repair Cost (£)**

Element : Walls

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Lath & plaster to walls

Fair

No Action Required

B

10

28 m2

1,531

**Year 1
Repair Cost (£)**

Element : Walls

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Plaster walls

Fair

No Action Required

B

20

12 m2

492

**Year 1
Repair Cost (£)**

Element : Doors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Softwood timber flush

Fair

No Action Required

B

10

1 No

492

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		4	23 m2	943	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Decorative paper to ceiling; emulsion to walls; gloss to timber finishes	Fair	No Action Required	B		3	65 m2	533	

BUILDING : Block 09	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Bedroom 2	No : 003/9/-1/002	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12	m2	410
								Year 1 Repair Cost (£)

Element : Walls		CODE :5															
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity											Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		10	23	m2										1,257
																Year 1 Repair Cost (£)	

Element : Walls							
CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		20	11 m2	451
							Year 1 Repair Cost (£)

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Softwood timber flush	Fair	No Action Required	B		10	1	No	
							492	
							Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		4	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Decorative paper to ceiling; emulsion to walls; gloss to timber finishes	Fair	No Action Required	B		3	42 m2	344	

BUILDING : Block 09	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Bathroom	No : 003/9/-1/003	USE :

Element : Ceilings		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Plasterboard ceiling	Fair	No Action Required	B		20	4	m2	136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic tiles to walls	Fair	No Action Required	B		20	7	m2	574
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Plaster walls	Fair	No Action Required	B		20	9	m2	369
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Softwood timber flush	Fair	No Action Required	B		10	1	No	492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet floor finish	Fair	No Action Required	B		4	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Decorative paper to ceiling; emulsion to walls; gloss to timber finishes	Fair	No Action Required	B		3	13 m2	106	

BUILDING : Block 09	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Circulation Area/Stairwell	No : 003/9/-2/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	15 m2		512
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	50 m2		1,708
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber fully glazed	Fair	No Action Required	B		10	1 No		656
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber laminate floor finish	Fair	No Action Required	B		10	10 m2		820
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		4	5 m2	205	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Decorative paper to ceiling; emulsion to walls; gloss to timber finishes	Fair	No Action Required	B		3	65 m2	533	

BUILDING : Block 09**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Living Room**No** : 003/9/-2/002**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

20

14 m2

478

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Lath & plaster to walls

Fair

No Action Required

B

10

19 m2

1,038

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster on hard to walls

Fair

No Action Required

B

20

11 m2

375

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Softwood timber fully glazed

Fair

No Action Required

B

10

1 No

656

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber laminate floor finish	Fair	No Action Required	B		10	30 m2	2,460	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Decorative paper to ceiling; emulsion to walls; gloss to timber finishes	Fair	No Action Required	B		3	53 m2	434	

BUILDING : Block 09	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Kitchen	No : 003/9/-2/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		10	20 m2		1,093
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber fully glazed	Fair	No Action Required	B		10	1 No		656
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber laminate floor finish	Fair	No Action Required	B		10	12 m2	984	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Decorative paper to ceiling; emulsion to walls; gloss to timber finishes	Fair	No Action Required	B		3	51 m2	418	

BUILDING : Block 09**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Living Room**No** : 003/9/-2/004**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	31 m2	1,059	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	16 m2	546	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster walls	Fair	No Action Required	B		20	45 m2	1,845	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber fully glazed	Fair	No Action Required	B		10	1 No	656	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber laminate floor finish	Fair	No Action Required	B		10	31 m2	2,542	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Decorative paper to ceiling; emulsion to walls; gloss to timber finishes	Fair	No Action Required	B		3	98 m2	803	

BUILDING : Block 09	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : WC	No : 003/9/-2/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	9 m2		307
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		10	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber laminate floor finish	Fair	No Action Required	B		10	2 m2		164
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Decorative paper to ceiling; emulsion to walls; gloss to timber finishes	Fair	No Action Required	B		3	16 m2	131	

BUILDING : Block 09**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Boiler Cupboard**No** : 003/9/-2/006**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	2 m2	68
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		20	3 m2	102
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		10	1 No	492
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber laminate floor finish	Fair	No Action Required	B		10	2 m2	164
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Decorative paper to ceiling; emulsion to walls; gloss to timber finishes	Fair	No Action Required	B		3	7 m2	57	

FIXTURES & FITTINGS

BUILDING : Block 09	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Living Room	No : 003/9/-2/002	USE :

Element : Built in cupboards		CODE : 6						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
2 no. timber buit in cupboards, including 3 no. timber doors	Fair	No action required	B		20	2	No	3,000
								Year 1
								Repair Cost (£)

BUILDING : Block 09	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Kitchen	No : 003/9/-2/003	USE :

Element : Worktops		CODE :6						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Laminate / chipboard worktop	Fair	No action required	B		10	5	m2	341
								Year 1 Repair Cost (£)

Element : Built in cupboards		CODE :6						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber base and wall units	Fair	No action required	B		10	10	No	8,202
								Year 1 Repair Cost (£)

SANITARY

BUILDING : Block 09	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : Bathroom	No : 003/9/-1/003	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		10	1	No	328

Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Ceramic WHB	Fair	No action required	B		10	1	No	328

BUILDING : Block 09	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : WC	No : 003/9/-2/005	USE :

BUILDING : Block 09	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : WC	No : 003/9/-2/005	USE :

BUILDING : Block 09	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : WC	No : 003/9/-2/005	USE :

ROOM : WC	No : 003/9/-2/005	USE :
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ROOM : WC	No : 003/9/-2/005	USE :
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ROOM : WC	No : 003/9/-2/005	USE :
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Element : WC **CODE :** 7

Element : WC **CODE :** 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		10	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		10	1 No	328

Ceramic WC cistern and bowl	Fair	No action required	B	10	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	10	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	10	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	10	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	10	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	10	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	10	1	No	328
							Year 1 Repair Cost (£)

Element : Basins **CODE :** 7

Element : Basins **CODE :** 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic WHB	Fair	No action required	B		10	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic WHB	Fair	No action required	B		10	1 No	328

Ceramic WHB	Fair	No action required	B	10	1	No	328
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Ceramic WHB	Fair	No action required	B	10	1	No	328
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Ceramic WHB	Fair	No action required	B	10	1	No	328
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Ceramic WHB	Fair	No action required	B	10	1	No	328
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Ceramic WHB	Fair	No action required	B	10	1	No	328
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Ceramic WHB	Fair	No action required	B	10	1	No	328
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Ceramic WHB	Fair	No action required	B	10	1	No	328
							Year 1 Repair Cost (£)

MECHANICAL SERVICES

BUILDING : Block 09

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/9/M&E/M&E

USE :

Element : Gas Heating System

CODE : 13

Description

Heating was provided by a Baxi Combi 105 HE gas fired boiler. Hot water from the system was pumped round the bld to a number of convection radiators.

Condition

The heating and its associated equipment were in fair condition however there was evidence of missing TRV within one bedroom.

Action

Continue maintenance
Replace TRV

Cond/Ind Priority

B 2

L'Expec

15

Quantity

**Replacement
Cost (£)**

7,000

**Year 1
Repair Cost (£)**

Element : Extraction System

CODE : 13

Description

Within the bathroom and toilet there were Specified Product extractors fitted and a domestic Manrose extractor hood is fitted within the kitchen.

Condition

The condition of these were fair with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

250

**Year 1
Repair Cost (£)**

Element : Domestic Hot Water

CODE : 13

Description

Hot water was supplied by the Combi-boiler to the kitchen, toilet and bathroom.

Condition

The condition of this was fair with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

1,000

**Year 1
Repair Cost (£)**

ELECTRICAL SERVICES

BUILDING : Block 09

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/9/M&E/M&E

USE :

Element : Mains Distribution

CODE : 14

Description

Power distribution was via a MK DB located within a cupboard in the hallway. Wiring was contained within the walls of the bld.

Condition

All were in a fair condition with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

5,000

**Year 1
Repair Cost (£)**

Element : Light Fittings Internal

CODE : 14

Description

In the main this was a mix of tungsten, CFL and 2D fittings. There were no signs of automatic controls.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

1,000

**Year 1
Repair Cost (£)**

Element : Light Fittings External

CODE : 14

Description

This consisted of a SON fitting on the boundary wall , controlled from the main bld. There were also tungsten bulkhead light

Condition

The condition of the lighting and

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

150

**Year 1
Repair Cost (£)**

fittings at the front door and the patio doors; there was no sign of automatic controls.

its associated equipment was fair with no defects noted.

This survey did not look at system compliance, a further in depth compliance survey would be required.

Element : Fire Alarms		CODE : 14						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Year 1 Repair Cost (£)	
There was no evidence of a fire alarm system installed.	None installed	It is recommended that consideration be given to installing one. However this survey did not look at system compliance, a further in depth compliance survey would be required.						

Element : Security Systems		CODE : 14						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Year 1 Repair Cost (£)	
The bld is protected by a Capital Security Alarm System.	The condition of this was fair with no defects noted.	Continue maintenance	B		20		1,500	

ROOFS

BUILDING : Block 10

UPRN :

FLOOR : Roof

ROOM : Roof

No : 003/10/R/001

USE :

Element : Covering

CODE : 1

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Natural slate

Fair

No action required

B

32

27 m2

3,322

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Structure

CODE : 1

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Timber joists and rafters

Fair

No action required

B

32

27 m2

2,214

**Year 1
Repair Cost (£)**

Element : Flashings

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Lead (inc. in roof) to hips	Fair	No action required	B		32	16 m	1,203	

Element : Rainwater goods

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Cast iron gutters and downpipes	Fair	No action required	B		5	23 m	1,572	

WALLS

BUILDING : Block 10

UPRN :

FLOOR : Elevations

ROOM : Elevation

No : 003/10/E/001

USE :

Element : External walls

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Roughcast finish	Fair	No Action Required	B		10	22 m2	1,203	

Photo 1



Photo 2

Position

Element : Windows

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber softwood sash and case single glazed	Fair	No Action Required	B		5	1 m2	410	

Element : Doors

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Softwood timber flush/glazed door

Fair

No Action Required

B

5

1 No.

984

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Painterwork to door and window

Poor

Redecorate

D

4

Replace/In

3 m2

41

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Masonry paint

Fair

No Action Required

B

2

22 m2

300

**Year 1
Repair Cost (£)**

BUILDING : Block 10**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 003/10/E/002**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Roughcast finish	Fair	No Action Required	B		10	18 m2	984	

Photo 1



Photo 2

Position

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber softwood sash and case single glazed	Fair	No Action Required	B		5	2 m2	820	

Element : Decoration**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Painterwork to windows	Poor	Redecorate	D	4	Replace/In	2 m2	27	

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Masonry paint	Fair	No Action Required	B		2	18 m2	246	

BUILDING : Block 10**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 003/10/E/003**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind** **Priority****L'Expec****Quantity****Replacement
Cost (£)**

Roughcast finish

Fair

No Action Required

B

10

25 m2

1,367

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Decoration**CODE** :2**Description****Condition****Action****Cond/Ind** **Priority****L'Expec****Quantity****Replacement
Cost (£)**

Masonry Paint

Fair

No Action Required

B

2

25 m2

341

**Year 1
Repair Cost (£)**

BUILDING : Block 10**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 003/10/E/004**USE** :**Element** : External walls**CODE** : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Roughcast finish	Fair, although slight cracking at window ingoe	Make good finish	B	4	10	16 m2	874	100

Photo 1**Photo 2****Position****Element** : Windows**CODE** : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber softwood sash and case single glazed	Fair	No Action Required	B		5	4 m2	1,640	

Element : Decoration**CODE** : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Painterwork to windows	Poor	Redecorate	D	4	Replace/In	4 m2	54	

Element : Decoration

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity
16 m2

**Replacement
Cost (£)**

Masonry paint

Fair

No Action Required

B

2

218

**Year 1
Repair Cost (£)**

STRUCTURE

BUILDING : Block 10

UPRN :

FLOOR : Structure

ROOM : Structure

No : 003/10/St/St

USE :

Element : Floors

CODE : 4

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber floor	Fair	No action required	B		40	40 m2	4,101	

Element : Walls

CODE : 4

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone / plastered walls	Fair	No action required	B		40	90 m2	18,455	

ROOMS

BUILDING : Block 10	UPRN :	FLOOR : Level 2 - Basement Level
ROOM : First Floor Living Area	No : 003/10/-1/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	18 m2	615	

Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		10	30 m2	1,640	

Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	6 m2	205	

Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber flush	Fair	No Action Required	B		10	1 No	492	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Poor, worn and stained.	Replace	D	4	Replace/In	18	m2	738	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss to timber finishes	Poor	Redecorate	D	4	Replace/In	61	m2	500	

BUILDING : Block 10**UPRN** :**FLOOR** : Level 1 - Calton Road Street Level**ROOM** : Entrance Hall**No** : 003/10/-2/001**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	3 m2	102	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		10	3 m2	164	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	6 m2	205	

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Poor, worn and stained.	Replace	D	4	Replace/In	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss to timber finishes	Poor	Redecorate	D	4	Replace/In	18	m2	147	

BUILDING : Block 10	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Ground Floor Living Area	No : 003/10/-2/002	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	7 m2		239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		10	15 m2		820
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		10	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Poor, worn and stained.	Replace	D	4	Replace/In	7 m2	287	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss to timber finishes	Poor	Redecorate	D	4	Replace/In	36 m2	295	

BUILDING : Block 10	UPRN :	FLOOR : Level 1 - Calton Road Street Level
ROOM : Toilet	No : 003/10/-2/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	6 m2		205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		10	5 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		10	6 m2		492
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber panelling to walls	Fair	No Action Required	B		10	19 m2		1,298
								Year 1 Repair Cost (£)

Element : Walls**CODE :5****Description**

Plaster on hard to walls

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

20

Quantity

2 m2

**Replacement
Cost (£)**

68

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet floor finish

ConditionFair, although nearing end of
economic lifespan**Action**

No Action Required

Cond/Ind

B

Priority**L'Expec**

1

Quantity

6 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss to timber finishes**Condition**

Poor

Action

Redecorate

Cond/Ind

D

Priority

4

L'Expec

Replace/In

Quantity

26 m2

**Replacement
Cost (£)**

213

**Year 1
Repair Cost (£)**

FIXTURES & FITTINGS

BUILDING : Block 10

UPRN :

FLOOR : Level 1 - Calton Road Street Level

ROOM : Ground Floor Living Area

No : 003/10/-2/002

USE :

Element : Built in cupboards

CODE :6

Description

Timber buit in cupboards,
including timber door

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

20

Quantity

1 No

**Replacement
Cost (£)**

820

**Year 1
Repair Cost (£)**

MECHANICAL SERVICES

BUILDING : Block 10

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/10/M&E/

USE :

Element : Electrical Heating System

CODE : 13

Description

Heating was provided by a number of electric convection heaters.

Condition

The heating and its associated equipment were in fair condition; however there was evidence of the heaters wired directly to the rear of a socket.

Action

Continue maintenance
BS 7671 states that the heaters should be supplied from a dedicated supply from the DB and not connected to a ring main circuit. It is recommended that the heaters be installed in accordance with BS7671.

Cond/Ind Priority

B

L'Expec

20

Quantity

Replacement Cost (£)

2,500

Year 1

Repair Cost (£)

Photo 1



Photo 2

Position

Element : Extraction System

CODE : 13

Description

Within the kitchen an Xpelair extraction unit is in use.

Condition

The condition of this was fair with

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity

Replacement Cost (£)

50

Year 1

Repair Cost (£)

no defects noted.

Element : Domestic Hot Water		CODE : 13					Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Year 1 Repair Cost (£)
Hot water was supplied by an electric immersion Calorfier.	The condition of this was fair with no defects noted.	Continue Maintenance	B		15		

ELECTRICAL SERVICES

BUILDING : Block 10

UPRN :

FLOOR : M&E

ROOM : M & E

No : 003/10/M&E/

USE :

Element : Mains Distribution

CODE : 14

Description

Power distribution was via an MK DB located within the hallway. Wiring was contained within the walls of the bld.

Condition

All were in a fair condition with no defects noted. However there was evidence of extensions in use.

Action

Continue Maintenance
It is recommended that the use of trailing lead extensions be reviewed.

Cond/Ind Priority

B

L'Expec

20

Quantity

Replacement Cost (£)

5,000

Year 1

Repair Cost (£)

Photo 1

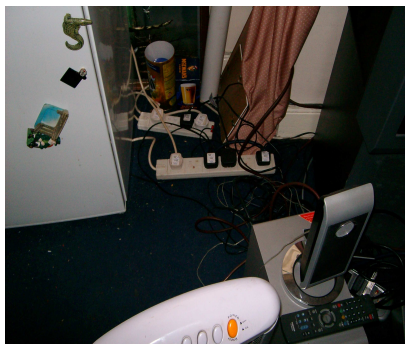


Photo 2



Position

Element : Light Fittings Internal

CODE : 14

Description

In the main this was provided by tungsten fittings. There were no signs of automatic controls.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

Replacement Cost (£)

1,000

Year 1

Repair Cost (£)

Element : Light Fittings External

CODE : 14

Description

This consisted of a tungsten bulkhead light fitting at the front door; there was no sign of automatic controls.

Condition

The condition of the lighting and its associated equipment was fair with no defects noted.

Action

Continue Maintenance
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind

B

Priority

L'Expec

20

Quantity

**Replacement
Cost (£)**

100

**Year 1
Repair Cost (£)**

Element : Fire Alarms

CODE : 14

Description

At the time of survey there was no evidence of a fire alarm system installed within this bld.

Condition

No system present

Action

It is recommended that a system be installed. However this survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind

Priority

L'Expec

Quantity

**Replacement
Cost (£)**

**Year 1
Repair Cost (£)**

SECTION 6

Life Cycle Costing Report 30 years

Description	Repair				Repair Total	Replacement				Replacement Total	Immediate Action Total
	Priority 1	Priority 2	Priority 3	Priority 4		Priority 1	Priority 2	Priority 3	Priority 4		
Block 01											
ROOFS->Covering			£588		£588					£0	£588
ROOFS->Structure											
ROOFS->Flashings					£0					£0	£0
ROOFS->Rainwater goods					£0					£0	£0
ROOFS->Chimney stacks/flues					£0					£0	£0
ROOFS->Decoration					£0					£0	£0
WALLS->External walls	£500				£500					£0	£500
WALLS->Windows				£4,030	£4,030					£0	£4,030
WALLS->Doors				£50	£50					£0	£50
WALLS->Decoration			£760		£760					£0	£760
WALLS->Cills					£0					£0	£0
STRUCTURE->Frame/Columns											
STRUCTURE->Floors											
STRUCTURE->Stairs					£0					£0	£0
STRUCTURE->Walls											
ROOMS->Ceilings					£0					£0	£0
ROOMS->Walls					£0					£0	£0
ROOMS->Doors					£0	£5,680				£5,680	£5,680
ROOMS->Floors					£0				£2,215	£2,215	£2,215
ROOMS->Decoration				£350	£350				£1,772	£1,772	£2,122
FIXTURES & FITTINGS->Shelving					£0					£0	£0
SANITARY->WC					£0					£0	£0
SANITARY->Basins					£0					£0	£0
SANITARY->>Showers					£0					£0	£0
SANITARY->Sinks					£0					£0	£0
SANITARY->Baths					£0					£0	£0
HEALTH & SAFETY->Health & Safety Matters					£0	£900				£900	£900
MECHANICAL SERVICES->Gas Heating System					£0					£0	£0
MECHANICAL SERVICES->Extraction System					£0					£0	£0
MECHANICAL SERVICES->Domestic Hot Water					£0					£0	£0
ELECTRICAL SERVICES->Mains Distribution					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings Internal					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings External					£0					£0	£0
ELECTRICAL SERVICES->Fire Alarms					£0					£0	£0
Block 02											
ROOFS->Covering				£2,000	£2,000					£0	£2,000
ROOFS->Structure											
ROOFS->Flashings											
ROOFS->Rainwater goods					£0					£0	£0
ROOFS->Chimney stacks/flues											
ROOFS->Decoration					£0					£0	£0

Description	Repair				Repair Total	Replacement				Replacement Total	Immediate Action Total
	Priority 1	Priority 2	Priority 3	Priority 4		Priority 1	Priority 2	Priority 3	Priority 4		
ROOFS->Roof Lights					£0					£0	£0
WALLS->External walls					£0					£0	£0
WALLS->Windows				£5,000	£5,000					£0	£5,000
WALLS->Doors					£0					£0	£0
WALLS->Decoration					£0					£0	£0
WALLS->Other											
WALLS->Cills					£0					£0	£0
EXTERNAL GROUNDS->Roads & Parking Areas					£0					£0	£0
EXTERNAL GROUNDS->Underground Drainage											
EXTERNAL GROUNDS->Paths & Paving				£300	£300					£0	£300
EXTERNAL GROUNDS->Steps/ramps					£0					£0	£0
EXTERNAL GROUNDS->Handrails					£0					£0	£0
EXTERNAL GROUNDS->Boundary fencing/walls					£0					£0	£0
STRUCTURE->Floors											
STRUCTURE->Stairs					£0					£0	£0
STRUCTURE->Walls											
ROOMS->Ceilings				£1,050	£1,050				£55	£55	£1,105
ROOMS->Walls				£850	£850					£0	£850
ROOMS->Doors					£0	£1,025			£656	£1,682	£1,682
ROOMS->Floors				£600	£600					£0	£600
ROOMS->Decoration					£0				£4,477	£4,477	£4,477
FIXTURES & FITTINGS->Shelving					£0					£0	£0
FIXTURES & FITTINGS->Fixed display units/cabinets					£0					£0	£0
SANITARY->WC					£0					£0	£0
SANITARY->Basins					£0					£0	£0
SANITARY->Cubicles				£100	£100					£0	£100
SANITARY->>Showers					£0					£0	£0
SANITARY->Sinks					£0					£0	£0
SANITARY->Baths					£0					£0	£0
MECHANICAL SERVICES->Gas Heating System					£0					£0	£0
MECHANICAL SERVICES->Extraction System					£0					£0	£0
MECHANICAL SERVICES->Domestic Hot Water					£0					£0	£0
ELECTRICAL SERVICES->Incoming Mains & Metering					£0					£0	£0
ELECTRICAL SERVICES->Mains Distribution					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings Internal					£0					£0	£0
ELECTRICAL SERVICES->Fire Alarms					£0					£0	£0
OTHER M&E->Elevator/Lifts					£0					£0	£0
Block 03											
ROOFS->Covering					£0					£0	£0
ROOFS->Structure											
ROOFS->Flashings											
ROOFS->Rainwater goods					£0					£0	£0
ROOFS->Decoration					£0					£0	£0
WALLS->External walls					£0					£0	£0

Description	Repair				Repair Total	Replacement				Replacement Total	Immediate Action Total
	Priority 1	Priority 2	Priority 3	Priority 4		Priority 1	Priority 2	Priority 3	Priority 4		
WALLS->Windows					£0					£0	£0
WALLS->Doors					£0					£0	£0
WALLS->Decoration					£0					£0	£0
WALLS->Cills					£0					£0	£0
STRUCTURE->Floors											
STRUCTURE->Stairs											
STRUCTURE->Walls											
ROOMS->Ceilings				£250	£250					£0	£250
ROOMS->Walls				£100	£100					£0	£100
ROOMS->Doors					£0					£0	£0
ROOMS->Floors				£150	£150				£492	£492	£642
ROOMS->Decoration					£0				£139	£139	£139
SANITARY->WC					£0					£0	£0
SANITARY->Basins					£0					£0	£0
SANITARY->Cubicles					£0					£0	£0
SANITARY->>Showers					£0					£0	£0
SANITARY->Baths					£0					£0	£0
MECHANICAL SERVICES->Gas Heating System					£0					£0	£0
MECHANICAL SERVICES->Extraction System					£0					£0	£0
MECHANICAL SERVICES->Domestic Hot Water					£0					£0	£0
ELECTRICAL SERVICES->Mains Distribution					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings Internal					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings External					£0					£0	£0
ELECTRICAL SERVICES->Fire Alarms					£0					£0	£0
Block 04											
ROOFS->Covering											
ROOFS->Structure											
ROOFS->Flashings											
ROOFS->Rainwater goods					£0					£0	£0
ROOFS->Decoration					£0					£0	£0
ROOFS->Roof Lights					£0					£0	£0
WALLS->External walls					£0					£0	£0
WALLS->Windows				£60	£60					£0	£60
WALLS->Doors					£0					£0	£0
WALLS->Decoration					£0					£0	£0
WALLS->Cills											
STRUCTURE->Frame/Columns											
STRUCTURE->Floors											
STRUCTURE->Stairs											
STRUCTURE->Walls											
ROOMS->Ceilings					£0					£0	£0
ROOMS->Walls				£200	£200					£0	£200
ROOMS->Doors					£0					£0	£0
ROOMS->Floors					£0				£3,486	£3,486	£3,486

Description	Repair				Repair Total	Replacement				Replacement Total	Immediate Action Total
	Priority 1	Priority 2	Priority 3	Priority 4		Priority 1	Priority 2	Priority 3	Priority 4		
ROOMS->Decoration					£0				£2,863	£2,863	£2,863
FIXTURES & FITTINGS->Built in cupboards					£0					£0	£0
SANITARY->WC					£0					£0	£0
SANITARY->Basins					£0			£328		£328	£328
SANITARY->>Showers					£0					£0	£0
SANITARY->Sinks					£0					£0	£0
SANITARY->Baths					£0					£0	£0
MECHANICAL SERVICES->Gas Heating System					£0					£0	£0
MECHANICAL SERVICES->Extraction System					£0					£0	£0
MECHANICAL SERVICES->Domestic Hot Water					£0					£0	£0
ELECTRICAL SERVICES->Mains Distribution					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings Internal					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings External					£0					£0	£0
ELECTRICAL SERVICES->I.T.					£0					£0	£0
ELECTRICAL SERVICES->Fire Alarms					£0					£0	£0
Block 05											
ROOFS->Covering					£0			£7,382		£7,382	£7,382
ROOFS->Structure											
ROOFS->Flashings					£0					£0	£0
ROOFS->Rainwater goods					£0					£0	£0
ROOFS->Chimney stacks/flues					£0					£0	£0
ROOFS->TV aerials/dishes etc					£0					£0	£0
ROOFS->Decoration					£0					£0	£0
ROOFS->Roof Lights					£0			£400		£400	£400
WALLS->External walls					£0					£0	£0
WALLS->Windows				£4,230	£4,230					£0	£4,230
WALLS->Doors					£0					£0	£0
WALLS->External joinery					£0					£0	£0
WALLS->Decoration					£0					£0	£0
WALLS->Cills					£0					£0	£0
STRUCTURE->Floors											
STRUCTURE->Stairs											
STRUCTURE->Walls											
ROOMS->Ceilings				£250	£250					£0	£250
ROOMS->Walls				£100	£100					£0	£100
ROOMS->Doors					£0					£0	£0
ROOMS->>Floors					£0					£0	£0
ROOMS->Decoration					£0			£3,084		£3,084	£3,084
FIXTURES & FITTINGS->Worktops					£0					£0	£0
FIXTURES & FITTINGS->Built in cupboards					£0					£0	£0
SANITARY->WC					£0					£0	£0
SANITARY->Basins					£0					£0	£0
SANITARY->>Showers					£0					£0	£0
SANITARY->Sinks					£0					£0	£0

Description	Repair				Repair Total	Replacement				Replacement Total	Immediate Action Total
	Priority 1	Priority 2	Priority 3	Priority 4		Priority 1	Priority 2	Priority 3	Priority 4		
SANITARY->Baths					£0					£0	£0
FIRE MATTERS->Fire Risk Assessment					£0					£0	£0
MECHANICAL SERVICES->Gas Heating System					£0					£0	£0
MECHANICAL SERVICES->Extraction System					£0					£0	£0
MECHANICAL SERVICES->Domestic Hot Water					£0					£0	£0
ELECTRICAL SERVICES->Mains Distribution					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings Internal					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings External					£0					£0	£0
ELECTRICAL SERVICES->Fire Alarms					£0					£0	£0
ELECTRICAL SERVICES->Security Systems					£0					£0	£0
Block 06											
ROOFS->Covering			£5,000		£5,000					£0	£5,000
ROOFS->Structure											
ROOFS->Flashings			£400		£400					£0	£400
ROOFS->Parapets					£0				£600	£600	£600
ROOFS->Rainwater goods					£0					£0	£0
ROOFS->Chimney stacks/flues					£0					£0	£0
ROOFS->Decoration					£0					£0	£0
WALLS->External walls					£0					£0	£0
WALLS->Windows			£1,000		£1,000					£0	£1,000
WALLS->Doors					£0					£0	£0
WALLS->External joinery					£0					£0	£0
WALLS->Wall fixture & fittings					£0					£0	£0
WALLS->Decoration					£0			£3,992	£889	£4,881	£4,881
WALLS->Cills					£0					£0	£0
STRUCTURE->Floors											
STRUCTURE->Stairs											
STRUCTURE->Walls											
ROOMS->Ceilings				£90	£90					£0	£90
ROOMS->Walls					£0					£0	£0
ROOMS->Doors					£0					£0	£0
ROOMS->>Floors					£0					£0	£0
ROOMS->Decoration					£0			£295		£295	£295
FIXTURES & FITTINGS->Shelving					£0					£0	£0
FIXTURES & FITTINGS->Worktops					£0					£0	£0
FIXTURES & FITTINGS->Built in cupboards					£0					£0	£0
SANITARY->Internal Drainage					£0					£0	£0
SANITARY->WC					£0					£0	£0
SANITARY->Basins					£0					£0	£0
SANITARY->Cubicles					£0					£0	£0
SANITARY->>Showers					£0					£0	£0
SANITARY->>Sinks					£0					£0	£0
SANITARY->Urinals					£0					£0	£0
SANITARY->Baths					£0					£0	£0

[illegible]

Description	Repair				Repair Total	Replacement				Replacement Total	Immediate Action Total
	Priority 1	Priority 2	Priority 3	Priority 4		Priority 1	Priority 2	Priority 3	Priority 4		
ROOFS->Covering					£0					£0	£0
ROOFS->Structure											
ROOFS->Flashings					£0					£0	£0
ROOFS->Rainwater goods			£60		£60					£0	£60
ROOFS->Chimney stacks/flues					£0					£0	£0
ROOFS->TV aerials/dishes etc					£0					£0	£0
ROOFS->Decoration					£0					£0	£0
WALLS->External walls					£0					£0	£0
WALLS->Windows			£100		£100					£0	£100
WALLS->Doors					£0					£0	£0
WALLS->Wall fixture & fittings					£0					£0	£0
WALLS->Decoration					£0					£0	£0
WALLS->Cills											
STRUCTURE->Frame/Columns											
STRUCTURE->Floors											
STRUCTURE->Walls											
ROOMS->Ceilings				£250	£250				£2,563	£2,563	£2,813
ROOMS->Walls				£150	£150					£0	£150
ROOMS->Windows					£0					£0	£0
ROOMS->Doors					£0					£0	£0
ROOMS->Floors					£0				£6,521	£6,521	£6,521
ROOMS->Decoration					£0				£4,085	£4,085	£4,085
FIXTURES & FITTINGS->Shelving					£0					£0	£0
FIXTURES & FITTINGS->Worktops					£0					£0	£0
FIXTURES & FITTINGS->Built in cupboards					£0					£0	£0
SANITARY->Sinks					£0					£0	£0
MECHANICAL SERVICES->Gas Heating System					£0					£0	£0
MECHANICAL SERVICES->Domestic Hot Water					£0					£0	£0
ELECTRICAL SERVICES->Mains Distribution					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings Internal					£0					£0	£0
ELECTRICAL SERVICES->Fire Alarms					£0					£0	£0
Block 09											
ROOFS->Covering					£0					£0	£0
ROOFS->Structure											
ROOFS->Flashings											
ROOFS->Rainwater goods					£0					£0	£0
ROOFS->Fascias					£0					£0	£0
ROOFS->Chimney stacks/flues					£0					£0	£0
ROOFS->Decoration					£0					£0	£0
ROOFS->Roof Lights					£0					£0	£0
WALLS->External walls					£0					£0	£0
WALLS->Windows					£0					£0	£0
WALLS->Doors					£0					£0	£0

Description	Repair				Repair Total	Replacement				Replacement Total	Immediate Action Total
	Priority 1	Priority 2	Priority 3	Priority 4		Priority 1	Priority 2	Priority 3	Priority 4		
WALLS->Decoration					£0					£0	£0
STRUCTURE->Floors											
STRUCTURE->Stairs											
STRUCTURE->Walls											
ROOMS->Ceilings					£0					£0	£0
ROOMS->Walls					£0					£0	£0
ROOMS->Doors					£0					£0	£0
ROOMS->Floors					£0					£0	£0
ROOMS->Decoration					£0					£0	£0
FIXTURES & FITTINGS->Worktops					£0					£0	£0
FIXTURES & FITTINGS->Built in cupboards					£0					£0	£0
SANITARY->WC					£0					£0	£0
SANITARY->Basins					£0					£0	£0
MECHANICAL SERVICES->Gas Heating System					£0					£0	£0
MECHANICAL SERVICES->Extraction System					£0					£0	£0
MECHANICAL SERVICES->Domestic Hot Water					£0					£0	£0
ELECTRICAL SERVICES->Mains Distribution					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings Internal					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings External					£0					£0	£0
ELECTRICAL SERVICES->Fire Alarms					£0					£0	£0
ELECTRICAL SERVICES->Security Systems					£0					£0	£0
Block 10											
ROOFS->Covering											
ROOFS->Structure											
ROOFS->Flashings											
ROOFS->Rainwater goods					£0					£0	£0
WALLS->External walls				£100	£100					£0	£100
WALLS->Windows					£0					£0	£0
WALLS->Doors					£0					£0	£0
WALLS->Decoration					£0				£123	£123	£123
STRUCTURE->Floors											
STRUCTURE->Walls											
ROOMS->Ceilings					£0					£0	£0
ROOMS->Walls					£0					£0	£0
ROOMS->Doors					£0					£0	£0
ROOMS->Floors					£0				£1,148	£1,148	£1,148
ROOMS->Decoration					£0				£1,157	£1,157	£1,157
FIXTURES & FITTINGS->Built in cupboards					£0					£0	£0
MECHANICAL SERVICES->Electrical Heating System					£0					£0	£0
MECHANICAL SERVICES->Extraction System					£0					£0	£0
MECHANICAL SERVICES->Domestic Hot Water					£0					£0	£0
ELECTRICAL SERVICES->Mains Distribution					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings Internal					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings External					£0					£0	£0

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Description	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Block 01															
ROOFS->Covering								£5,414							
ROOFS->Structure															
ROOFS->Flashings															
ROOFS->Rainwater goods															
ROOFS->Chimney stacks/flues															
ROOFS->Decoration			£722					£722					£722		
WALLS->External walls															
WALLS->Windows										£45,524					
WALLS->Doors										£3,937					
WALLS->Decoration			£7,601					£7,601					£7,601		
WALLS->Cills															
STRUCTURE->Frame/Columns															
STRUCTURE->Floors															
STRUCTURE->Stairs												£308			
STRUCTURE->Walls															
ROOMS->Ceilings															
ROOMS->Walls					£2,625							£3,199			
ROOMS->Doors															
ROOMS->Floors					£23,582					£2,215		£1,846			£23,582
ROOMS->Decoration		£15,683			£1,837		£16,618			£1,837		£16,618			£1,837
FIXTURES & FITTINGS->Shelving															
SANITARY->WC															
SANITARY->Basins															
SANITARY->>Showers															£16,077
SANITARY->Sinks										£984					
SANITARY->Baths															
HEALTH & SAFETY->Health & Safety Matters										£684					
MECHANICAL SERVICES->Gas Heating System															£10,000
MECHANICAL SERVICES->Extraction System															£3,000
MECHANICAL SERVICES->Domestic Hot Water															£10,000
ELECTRICAL SERVICES->Mains Distribution															
ELECTRICAL SERVICES->Light Fittings Internal															
ELECTRICAL SERVICES->Light Fittings External															
ELECTRICAL SERVICES->Fire Alarms															
Block 02															
ROOFS->Covering															
ROOFS->Structure															
ROOFS->Flashings															
ROOFS->Rainwater goods										£6,152					
ROOFS->Chimney stacks/flues															
ROOFS->Decoration		£2,000					£738					£738			

Description	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
ROOFS->Roof Lights					£0										£1,200
WALLS->External walls										£25,500					
WALLS->Windows										£26,248					
WALLS->Doors										£4,922					
WALLS->Decoration		£5,072					£5,072					£5,072			
WALLS->Other															
WALLS->Cills															
EXTERNAL GROUNDS->Roads & Parking Areas															£51,512
EXTERNAL GROUNDS->Underground Drainage															
EXTERNAL GROUNDS->Paths & Paving										£54,657					£1,695
EXTERNAL GROUNDS->Steps/ramps															
EXTERNAL GROUNDS->Handrails															£684
EXTERNAL GROUNDS->Boundary fencing/walls															£12,031
STRUCTURE->Floors															
STRUCTURE->Stairs															
STRUCTURE->Walls															
ROOMS->Ceilings		£4,483			£1,490										£3,554
ROOMS->Walls										£3,691		£2,133			£13,711
ROOMS->Doors		£4,388			£2,297					£1,326					
ROOMS->Floors		£8,428	£246		£22,621							£8,326	£246		£21,778
ROOMS->Decoration	£17,668	£1,337			£4,126	£17,209	£1,337			£4,126	£17,209	£1,337			£4,126
FIXTURES & FITTINGS->Shelving				£82		£2,187									
FIXTURES & FITTINGS->Fixed display units/cabinets															
SANITARY->WC															
SANITARY->Basins															
SANITARY->Cubicles															
SANITARY->>Showers															£17,225
SANITARY->Sinks										£2,210					
SANITARY->Baths															
MECHANICAL SERVICES->Gas Heating System															£50,000
MECHANICAL SERVICES->Extraction System															£35,000
MECHANICAL SERVICES->Domestic Hot Water															£50,000
ELECTRICAL SERVICES->Incoming Mains & Metering															
ELECTRICAL SERVICES->Mains Distribution															
ELECTRICAL SERVICES->Light Fittings Internal															
ELECTRICAL SERVICES->Fire Alarms															
OTHER M&E->Elevator/Lifts															
Block 03															
ROOFS->Covering					£2,625										
ROOFS->Structure															
ROOFS->Flashings															
ROOFS->Rainwater goods										£2,939					
ROOFS->Decoration		£353					£353					£353			
WALLS->External walls										£9,734					

Description	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
WALLS->Windows										£21,327					
WALLS->Doors										£2,953					
WALLS->Decoration		£2,734				£2,734					£2,734				
WALLS->Cills															
STRUCTURE->Floors															
STRUCTURE->Stairs															
STRUCTURE->Walls															
ROOMS->Ceilings															£889
ROOMS->Walls															
ROOMS->Doors															
ROOMS->Floors					£16,444					£492					£16,282
ROOMS->Decoration	£12,722				£418	£12,722				£418	£12,722				£418
SANITARY->WC															
SANITARY->Basins															
SANITARY->Cubicles															
SANITARY->>Showers															£17,225
SANITARY->Baths															
MECHANICAL SERVICES->Gas Heating System															£15,000
MECHANICAL SERVICES->Extraction System															£1,500
MECHANICAL SERVICES->Domestic Hot Water															£15,000
ELECTRICAL SERVICES->Mains Distribution															
ELECTRICAL SERVICES->Light Fittings Internal															
ELECTRICAL SERVICES->Light Fittings External															
ELECTRICAL SERVICES->Fire Alarms															
Block 04															
ROOFS->Covering															
ROOFS->Structure															
ROOFS->Flashings															
ROOFS->Rainwater goods															
ROOFS->Decoration			£1,173				£1,173					£1,173			
ROOFS->Roof Lights										£250					
WALLS->External walls															
WALLS->Windows										£22,967					
WALLS->Doors														£3,937	
WALLS->Decoration			£5,632				£5,632					£5,632			
WALLS->Cills															
STRUCTURE->Frame/Columns															
STRUCTURE->Floors															
STRUCTURE->Stairs															
STRUCTURE->Walls															
ROOMS->Ceilings															
ROOMS->Walls										£984	£1,394				
ROOMS->Doors															
ROOMS->Floors		£246	£205		£13,083		£1,558			£3,486		£205	£205		£13,001

Description	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
ROOMS->Decoration	£2,346	£10,434			£2,863	£2,346	£10,434			£2,863	£2,346	£10,434			£2,863
FIXTURES & FITTINGS->Built in cupboards															
SANITARY->WC															
SANITARY->Basins		£328													
SANITARY->>Showers															£18,374
SANITARY->Sinks										£328					
SANITARY->Baths															
MECHANICAL SERVICES->Gas Heating System															£20,000
MECHANICAL SERVICES->Extraction System															£3,500
MECHANICAL SERVICES->Domestic Hot Water															£20,000
ELECTRICAL SERVICES->Mains Distribution															
ELECTRICAL SERVICES->Light Fittings Internal															
ELECTRICAL SERVICES->Light Fittings External															
ELECTRICAL SERVICES->I.T.															
ELECTRICAL SERVICES->Fire Alarms															
Block 05															
ROOFS->Covering											£3,937				£7,382
ROOFS->Structure															
ROOFS->Flashings											£820				
ROOFS->Rainwater goods															
ROOFS->Chimney stacks/flues															
ROOFS->TV aerials/dishes etc										£492					
ROOFS->Decoration			£500					£500					£500		
ROOFS->Roof Lights															
WALLS->External walls															
WALLS->Windows										£31,580					
WALLS->Doors															
WALLS->External joinery															
WALLS->Decoration			£6,808					£6,808					£6,808		
WALLS->Cills															
STRUCTURE->Floors															
STRUCTURE->Stairs															
STRUCTURE->Walls															
ROOMS->Ceilings					£656										£820
ROOMS->Walls					£13,999					£205	£451				£1,723
ROOMS->Doors															
ROOMS->Floors							£10,991			£164	£5,824				
ROOMS->Decoration		£10,195			£3,084		£10,499			£3,084	£10,499				£3,084
FIXTURES & FITTINGS->Worktops												£820			
FIXTURES & FITTINGS->Built in cupboards											£16,405				
SANITARY->WC															
SANITARY->Basins															
SANITARY->>Showers															
SANITARY->Sinks											£4,437				

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Description	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
ROOFS->Covering					£1,641										
ROOFS->Structure															
ROOFS->Flashings															
ROOFS->Rainwater goods															
ROOFS->Chimney stacks/flues															
ROOFS->TV aerials/dishes etc										£164					
ROOFS->Decoration			£484					£484					£484		
WALLS->External walls															
WALLS->Windows										£18,046					
WALLS->Doors					£4,922										£984
WALLS->Wall fixture & fittings															£1,500
WALLS->Decoration					£5,919					£5,414					£5,414
WALLS->Cills															
STRUCTURE->Frame/Columns															
STRUCTURE->Floors															
STRUCTURE->Walls															
ROOMS->Ceilings															
ROOMS->Walls															
ROOMS->Windows															£410
ROOMS->Doors					£1,500					£656					£9,843
ROOMS->Floors					£1,969					£6,521		£2,707			£2,215
ROOMS->Decoration		£2,920			£4,085		£2,920			£4,085		£2,920			£4,085
FIXTURES & FITTINGS->Shelving															
FIXTURES & FITTINGS->Worktops										£547					
FIXTURES & FITTINGS->Built in cupboards															
SANITARY->Sinks										£820					
MECHANICAL SERVICES->Gas Heating System															£30,000
MECHANICAL SERVICES->Domestic Hot Water															£10,000
ELECTRICAL SERVICES->Mains Distribution															
ELECTRICAL SERVICES->Light Fittings Internal															
ELECTRICAL SERVICES->Fire Alarms															
Block 09															
ROOFS->Covering										£3,057					
ROOFS->Structure															
ROOFS->Flashings															
ROOFS->Rainwater goods					£1,914										
ROOFS->Fascias										£478					
ROOFS->Chimney stacks/flues															
ROOFS->Decoration			£115					£115					£115		
ROOFS->Roof Lights					£1,200										
WALLS->External walls										£9,351					
WALLS->Windows															
WALLS->Doors										£984					

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Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	Totals
Block 01																
ROOFS->Covering					£19,600			£5,414								£31,016
ROOFS->Structure																
ROOFS->Flashings										£3,684						£3,684
ROOFS->Rainwater goods										£6,015						£6,015
ROOFS->Chimney stacks/flues										£4,000						£4,000
ROOFS->Decoration			£722					£722					£722			£4,331
WALLS->External walls					£22,803											£23,303
WALLS->Windows																£49,554
WALLS->Doors															£3,937	£7,924
WALLS->Decoration			£7,601					£7,601					£7,601			£46,367
WALLS->Cills										£20,500						£20,500
STRUCTURE->Frame/Columns																
STRUCTURE->Floors																
STRUCTURE->Stairs																£308
STRUCTURE->Walls																
ROOMS->Ceilings					£22,209					£4,922						£27,131
ROOMS->Walls					£50,789											£56,612
ROOMS->Doors					£43,528					£4,867						£54,075
ROOMS->Floors					£2,215					£23,582					£2,215	£81,452
ROOMS->Decoration		£16,618			£1,837		£16,618			£1,837		£16,618			£1,837	£111,922
FIXTURES & FITTINGS->Shelving					£137											£137
SANITARY->WC					£4,593											£4,593
SANITARY->Basins					£4,593											£4,593
SANITARY->>Showers																£16,077
SANITARY->Sinks										£984						£1,969
SANITARY->Baths					£1,969											£1,969
HEALTH & SAFETY->Health & Safety Matters					£684										£684	£2,951
MECHANICAL SERVICES->Gas Heating System																£10,000
MECHANICAL SERVICES->Extraction System																£3,000
MECHANICAL SERVICES->Domestic Hot Water																£10,000
ELECTRICAL SERVICES->Mains Distribution					£40,000											£40,000
ELECTRICAL SERVICES->Light Fittings Internal					£33,000											£33,000
ELECTRICAL SERVICES->Light Fittings External					£1,500											£1,500
ELECTRICAL SERVICES->Fire Alarms					£10,000											£10,000
Block 02																
ROOFS->Covering																£2,000
ROOFS->Structure																£0
ROOFS->Flashings																£0
ROOFS->Rainwater goods																£6,152
ROOFS->Chimney stacks/flues																£0
ROOFS->Decoration		£738					£738					£738				£5,691

Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	Totals
ROOFS->Roof Lights																£1,200
WALLS->External walls																£25,500
WALLS->Windows																£31,248
WALLS->Doors															£4,922	£9,843
WALLS->Decoration		£5,072					£5,072					£5,072				£30,432
WALLS->Other																£0
WALLS->Cills										£19,500						£19,500
EXTERNAL GROUNDS->Roads & Parking Areas																£51,512
EXTERNAL GROUNDS->Underground Drainage																£0
EXTERNAL GROUNDS->Paths & Paving																£56,652
EXTERNAL GROUNDS->Steps/ramps					£13,944											£13,944
EXTERNAL GROUNDS->Handrails																£684
EXTERNAL GROUNDS->Boundary fencing/walls					£96,572											£108,603
STRUCTURE->Floors																£0
STRUCTURE->Stairs					£103											£103
STRUCTURE->Walls																£0
ROOMS->Ceilings					£18,900					£615						£30,148
ROOMS->Walls					£65,101											£85,487
ROOMS->Doors					£39,919					£1,682		£4,388			£2,297	£57,978
ROOMS->Floors					£12,057		£8,326	£246		£21,778					£1,107	£105,759
ROOMS->Decoration	£17,209	£1,337			£4,126	£17,209	£1,337			£4,126	£17,209	£1,337			£4,126	£140,968
FIXTURES & FITTINGS->Shelving														£82		£2,351
FIXTURES & FITTINGS->Fixed display units/cabinets					£574											£574
SANITARY->WC					£4,922											£4,922
SANITARY->Basins					£5,168											£5,168
SANITARY->Cubicles					£9,023											£9,123
SANITARY->Showers																£17,225
SANITARY->Sinks										£1,641						£3,851
SANITARY->Baths					£2,625											£2,625
MECHANICAL SERVICES->Gas Heating System																£50,000
MECHANICAL SERVICES->Extraction System																£35,000
MECHANICAL SERVICES->Domestic Hot Water																£50,000
ELECTRICAL SERVICES->Incoming Mains & Metering					£20,000											£20,000
ELECTRICAL SERVICES->Mains Distribution					£50,000											£50,000
ELECTRICAL SERVICES->Light Fittings Internal					£33,000											£33,000
ELECTRICAL SERVICES->Fire Alarms					£10,000											£10,000
OTHER M&E->Elevator/Lifts	£100,000															£100,000
Block 03																
ROOFS->Covering					£2,625											£5,250
ROOFS->Structure																£0
ROOFS->Flashings																£0
ROOFS->Rainwater goods																£2,939
ROOFS->Decoration		£353					£353					£353				£2,116
WALLS->External walls																£9,734

Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	Totals
WALLS->Windows																£21,327
WALLS->Doors															£2,953	£5,906
WALLS->Decoration		£2,734					£2,734					£2,734				£16,405
WALLS->Cills										£16,500						£16,500
STRUCTURE->Floors																£0
STRUCTURE->Stairs																£0
STRUCTURE->Walls																£0
ROOMS->Ceilings					£11,689											£12,827
ROOMS->Walls					£51,102											£51,202
ROOMS->Doors					£48,614											£48,614
ROOMS->Floors					£492					£16,282					£492	£51,127
ROOMS->Decoration	£12,722				£418	£12,722				£418	£12,722				£418	£78,983
SANITARY->WC					£6,206											£6,206
SANITARY->Basins					£6,890											£6,890
SANITARY->Cubicles					£14,765											£14,765
SANITARY->>Showers																£17,225
SANITARY->Baths					£1,969											£1,969
MECHANICAL SERVICES->Gas Heating System																£15,000
MECHANICAL SERVICES->Extraction System																£1,500
MECHANICAL SERVICES->Domestic Hot Water																£15,000
ELECTRICAL SERVICES->Mains Distribution					£30,000											£30,000
ELECTRICAL SERVICES->Light Fittings Internal					£33,000											£33,000
ELECTRICAL SERVICES->Light Fittings External					£1,500											£1,500
ELECTRICAL SERVICES->Fire Alarms					£10,000											£10,000
Block 04																
ROOFS->Covering																£0
ROOFS->Structure																£0
ROOFS->Flashings																£0
ROOFS->Rainwater goods					£9,706											£9,706
ROOFS->Decoration			£1,173				£1,173						£1,173			£7,038
ROOFS->Roof Lights										£2,000						£2,250
WALLS->External walls					£14,655											£14,655
WALLS->Windows									£23,623							£46,651
WALLS->Doors																£3,937
WALLS->Decoration			£5,632				£5,632						£5,632			£33,795
WALLS->Cills																£0
STRUCTURE->Frame/Columns																£0
STRUCTURE->Floors																£0
STRUCTURE->Stairs																£0
STRUCTURE->Walls																£0
ROOMS->Ceilings					£16,132										£205	£16,337
ROOMS->Walls					£42,789										£478	£45,846
ROOMS->Doors					£49,106											£49,106
ROOMS->Floors		£1,558			£3,486		£205	£205		£13,001		£1,558			£3,486	£58,976

Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	Totals
ROOMS->Decoration	£2,346	£10,434			£2,863	£2,346	£10,434			£2,863	£2,346	£10,434			£2,863	£96,717
FIXTURES & FITTINGS->Built in cupboards					£1,641											£1,641
SANITARY->WC					£7,218											£7,218
SANITARY->Basins					£6,562					£328		£328				£7,874
SANITARY->>Showers																£18,374
SANITARY->Sinks										£328						£656
SANITARY->Baths					£2,625											£2,625
MECHANICAL SERVICES->Gas Heating System																£20,000
MECHANICAL SERVICES->Extraction System																£3,500
MECHANICAL SERVICES->Domestic Hot Water																£20,000
ELECTRICAL SERVICES->Mains Distribution					£50,000											£50,000
ELECTRICAL SERVICES->Light Fittings Internal					£33,000											£33,000
ELECTRICAL SERVICES->Light Fittings External					£2,000											£2,000
ELECTRICAL SERVICES->I.T.					£150											£150
ELECTRICAL SERVICES->Fire Alarms					£15,000											£15,000
Block 05																
ROOFS->Covering					£5,980						£3,937				£7,382	£36,001
ROOFS->Structure																£0
ROOFS->Flashings					£3,008						£820					£4,648
ROOFS->Rainwater goods					£4,170											£4,170
ROOFS->Chimney stacks/flues					£12,236											£12,236
ROOFS->TV aerials/dishes etc					£492										£492	£1,476
ROOFS->Decoration			£500					£500					£500			£3,002
ROOFS->Roof Lights										£500						£900
WALLS->External walls					£20,069											£20,069
WALLS->Windows																£35,810
WALLS->Doors	£7,874															£7,874
WALLS->External joinery						£400										£400
WALLS->Decoration			£6,808					£6,808					£6,808			£40,849
WALLS->Cills										£2,500						£2,500
STRUCTURE->Floors																£0
STRUCTURE->Stairs																£0
STRUCTURE->Walls																£0
ROOMS->Ceilings					£68											£1,795
ROOMS->Walls					£8,749											£25,227
ROOMS->Doors					£1,367		£18,593									£19,960
ROOMS->Floors		£10,991					£5,249					£11,114				£44,335
ROOMS->Decoration		£10,499			£3,084		£10,499			£3,084		£10,499			£3,084	£84,281
FIXTURES & FITTINGS->Worktops												£820				£1,641
FIXTURES & FITTINGS->Built in cupboards					£820		£2,461									£19,686
SANITARY->WC							£2,953									£2,953
SANITARY->Basins							£328									£328
SANITARY->>Showers		£1,148														£1,148
SANITARY->Sinks												£4,265				£8,703

Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	Totals
SANITARY->Baths							£3,281									£3,281
FIRE MATTERS->Fire Risk Assessment							£8,000									£8,000
MECHANICAL SERVICES->Gas Heating System																£70,000
MECHANICAL SERVICES->Extraction System																£1,500
MECHANICAL SERVICES->Domestic Hot Water																£15,000
ELECTRICAL SERVICES->Mains Distribution					£100,000											£100,000
ELECTRICAL SERVICES->Light Fittings Internal					£58,000											£58,000
ELECTRICAL SERVICES->Light Fittings External					£8,000											£8,000
ELECTRICAL SERVICES->Fire Alarms					£100											£100
ELECTRICAL SERVICES->Security Systems					£10,000											£10,000
Block 06																
ROOFS->Covering																£21,942
ROOFS->Structure																£0
ROOFS->Flashings																£1,753
ROOFS->Parapets															£273	£1,147
ROOFS->Rainwater goods					£5,810											£5,810
ROOFS->Chimney stacks/flues															£7,341	£7,341
ROOFS->Decoration			£697					£697					£697			£4,183
WALLS->External walls					£15,913											£15,913
WALLS->Windows																£37,502
WALLS->Doors															£2,953	£5,906
WALLS->External joinery																£55
WALLS->Wall fixture & fittings																£68
WALLS->Decoration			£2,680		£4,881			£2,680		£4,881			£2,680		£4,881	£50,241
WALLS->Cills										£28,500						£28,500
STRUCTURE->Floors																£0
STRUCTURE->Stairs																£0
STRUCTURE->Walls																£0
ROOMS->Ceilings					£615										£1,265	£4,212
ROOMS->Walls					£4,751										£11,825	£18,381
ROOMS->Doors					£10,499		£11,812									£22,803
ROOMS->Floors		£12,550								£3,773		£12,550				£53,563
ROOMS->Decoration	£1,042	£14,215			£394	£1,042	£14,215			£394	£1,042	£14,215			£394	£94,198
FIXTURES & FITTINGS->Shelving																£191
FIXTURES & FITTINGS->Worktops					£137					£68		£684				£1,777
FIXTURES & FITTINGS->Built in cupboards					£3,281		£20,507								£5,742	£35,271
SANITARY->Internal Drainage															£123	£123
SANITARY->WC					£1,641		£1,969									£3,609
SANITARY->Basins					£1,641											£1,641
SANITARY->Cubicles					£3,281											£3,281
SANITARY->>Showers																£1,148
SANITARY->Sinks												£3,937				£7,874
SANITARY->Urinals					£984											£984
SANITARY->Baths							£3,937									£3,937

	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	Totals
FIRE MATTERS->Fire Risk Assessment							£5,906									£5,906
MECHANICAL SERVICES->Gas Heating System																£70,000
MECHANICAL SERVICES->Extraction System																£1,500
MECHANICAL SERVICES->Domestic Hot Water																£15,000
ELECTRICAL SERVICES->Mains Distribution					£100,000											£100,000
ELECTRICAL SERVICES->Light Fittings Internal					£58,000											£58,000
ELECTRICAL SERVICES->Light Fittings External					£8,000											£8,000
ELECTRICAL SERVICES->Fire Alarms					£100											£100
ELECTRICAL SERVICES->Security Systems					£10,000											£10,000
Block 07																
ROOFS->Covering		£67,671														£67,671
ROOFS->Structure																£0
ROOFS->Rainwater goods							£1,476									£1,476
WALLS->External walls												£1,203				£1,203
WALLS->Windows												£20,178				£20,178
WALLS->Doors		£11,297										£6,000				£21,297
WALLS->External joinery							£219									£219
WALLS->Decoration		£4,922					£4,922					£4,922				£29,529
WALLS->Cills																£0
STRUCTURE->Floors																£0
STRUCTURE->Stairs																£0
STRUCTURE->Walls																£0
ROOMS->Ceilings																£100
ROOMS->Walls												£492				£492
ROOMS->Doors							£54,616									£54,616
ROOMS->Floors		£16,282					£410			£984		£16,282				£54,680
ROOMS->Decoration		£14,207		£148	£853		£14,207		£148	£853		£14,207		£148	£853	£92,099
FIXTURES & FITTINGS->Worktops												£410				£820
FIXTURES & FITTINGS->Built in cupboards							£11,843									£11,843
SANITARY->WC							£5,578			£328						£6,234
SANITARY->Basins							£5,906									£5,906
SANITARY->Cubicles																£9,023
SANITARY->Showers		£20,671														£20,671
SANITARY->Baths							£4,593									£4,593
MECHANICAL SERVICES->Gas Heating System																£20,000
MECHANICAL SERVICES->Extraction System																£3,500
MECHANICAL SERVICES->Domestic Hot Water																£20,000
ELECTRICAL SERVICES->Mains Distribution					£50,000											£50,000
ELECTRICAL SERVICES->Light Fittings Internal					£33,000											£33,000
ELECTRICAL SERVICES->Light Fittings External					£2,000											£2,000
ELECTRICAL SERVICES->Fire Alarms					£10,000											£10,000
OTHER M&E->Elevator/Lifts																£80,000
Block 08																

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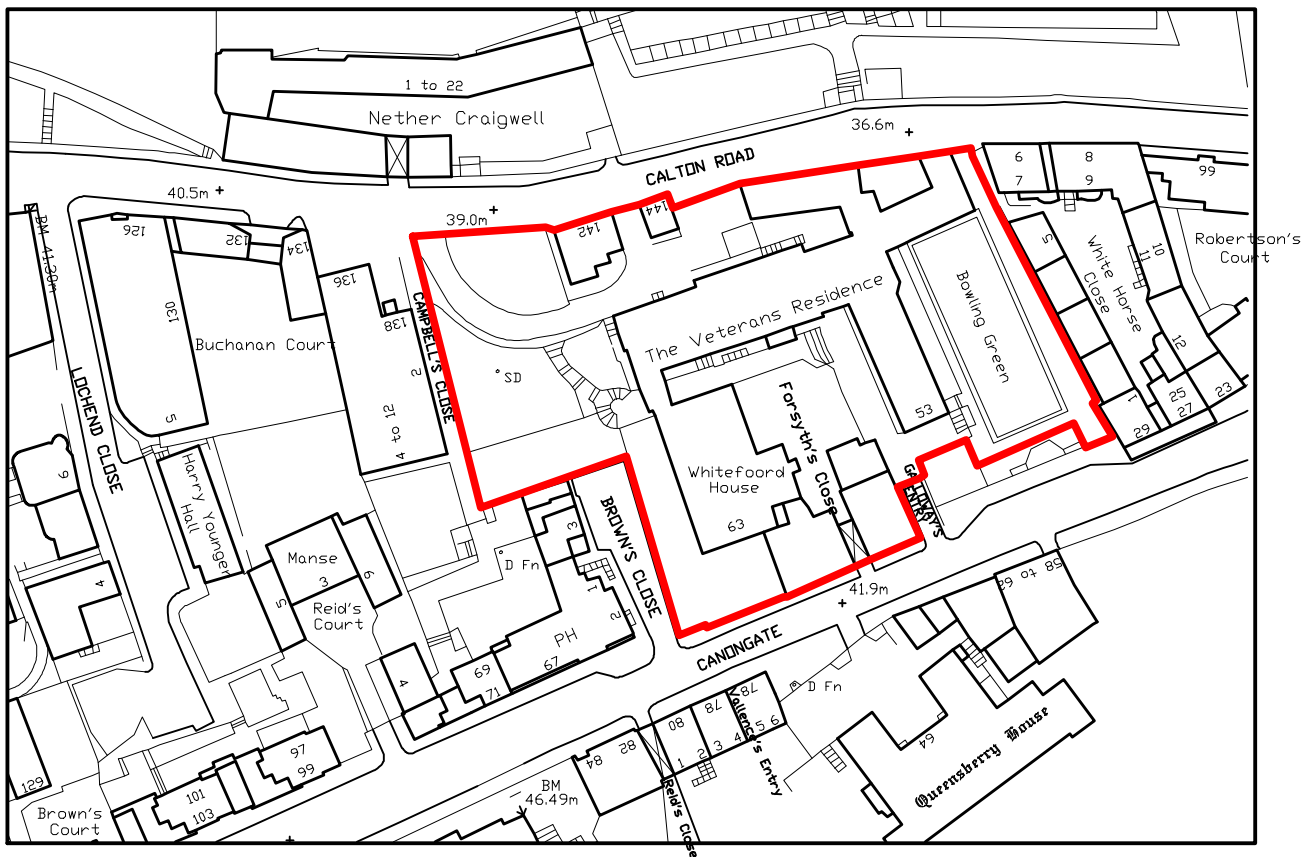


SECTION 7

Floor Plans

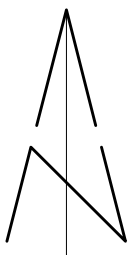
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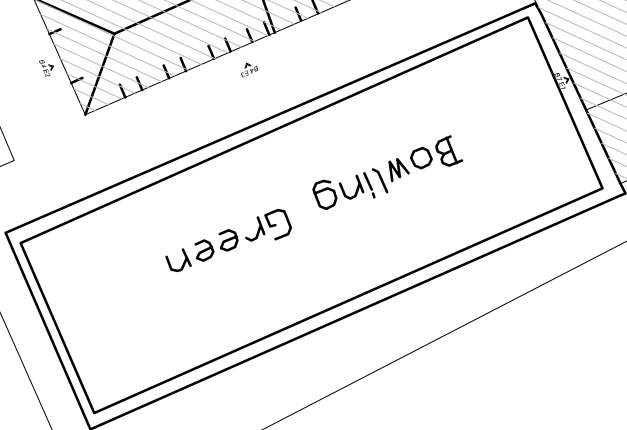
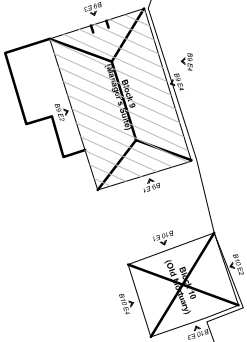
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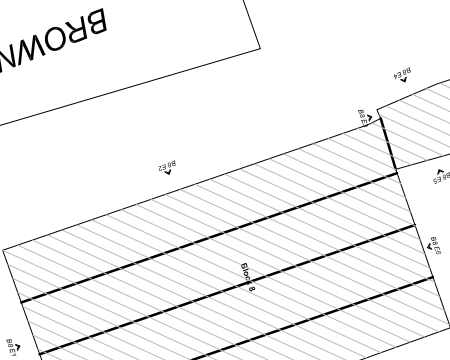
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Partnership

Chartered Architects
1 Burns Street, Edinburgh EH6 8DS
TEL 0131 554 7666 FAX 0131 554 8777

CALTON ROAD



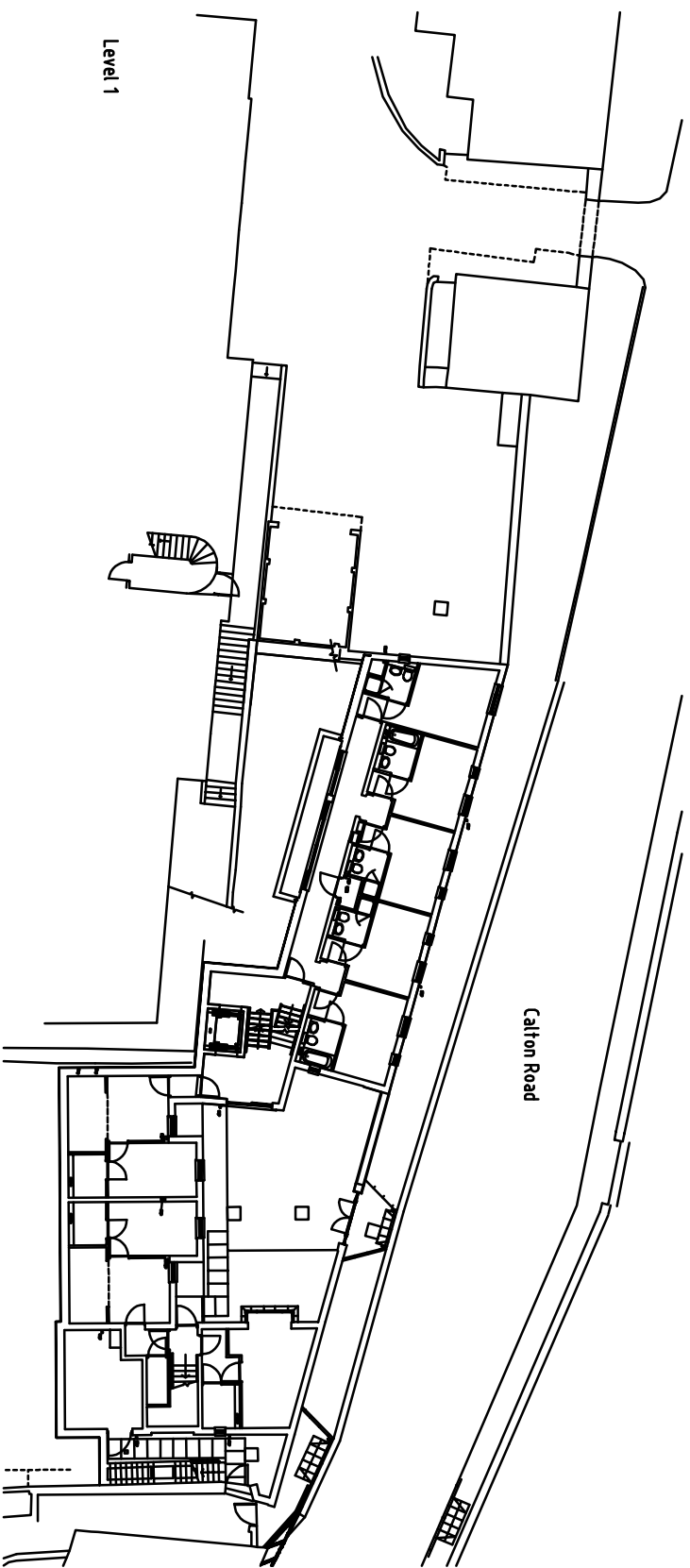
FORSYTH'S CLOSE



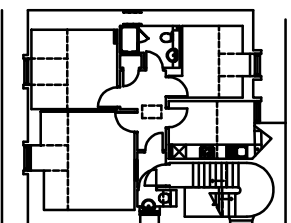
BROWN'S CLOSE

CANONGATE

WHITEFOORD HOUSE



Level 1



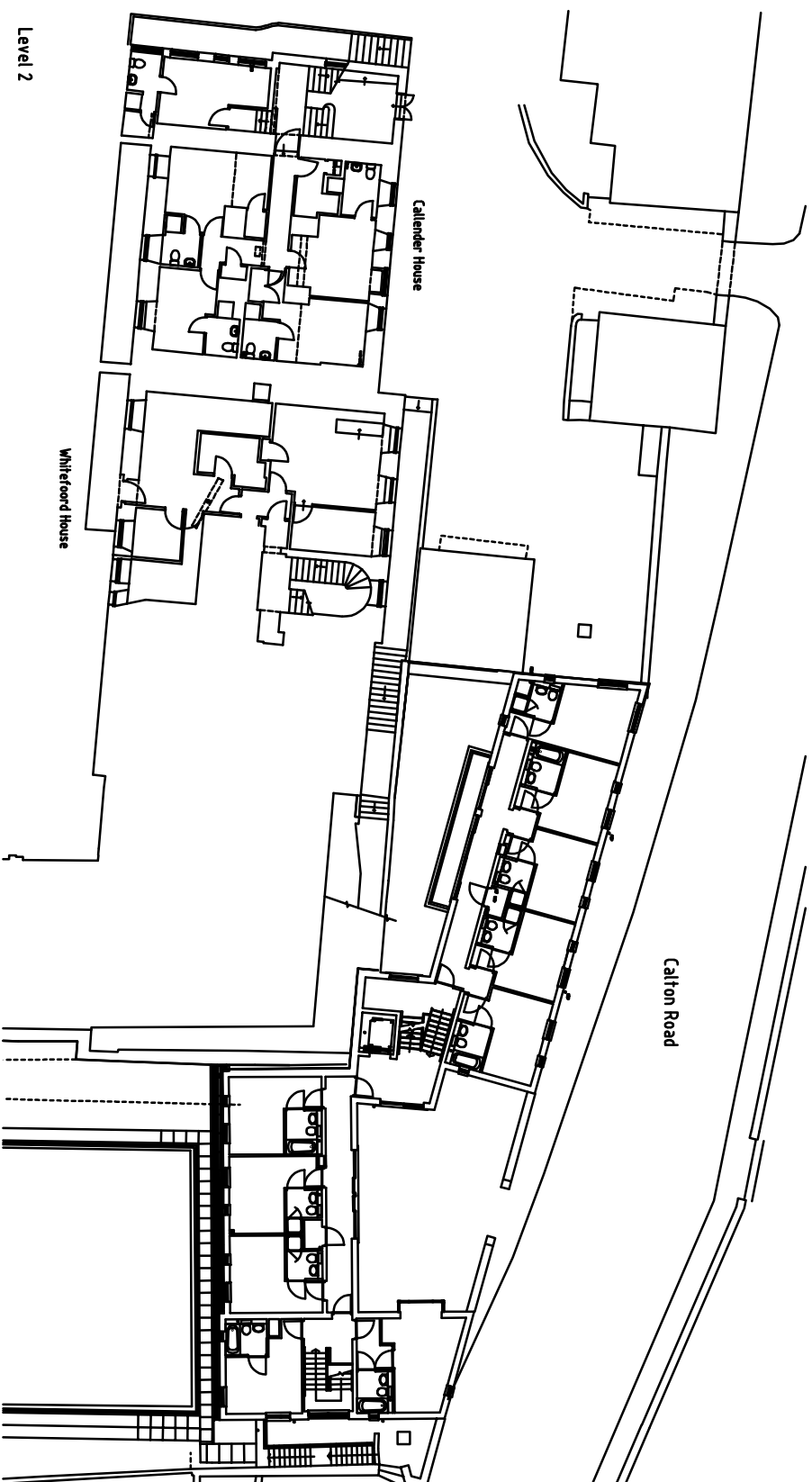
Level 7 - i:200

Addison Smith House

Floor Levels:-

- Level 1 - Calton Road street level
- Level 2 - Basement level
- Level 3 - Canongate street level
- Level 4 - First floor level
- Level 5 - Second floor level
- Level 6 - Third floor level
- Level 7 - Fourth floor level

WHITEFOORD HOUSE
LEVELS 1 and 7



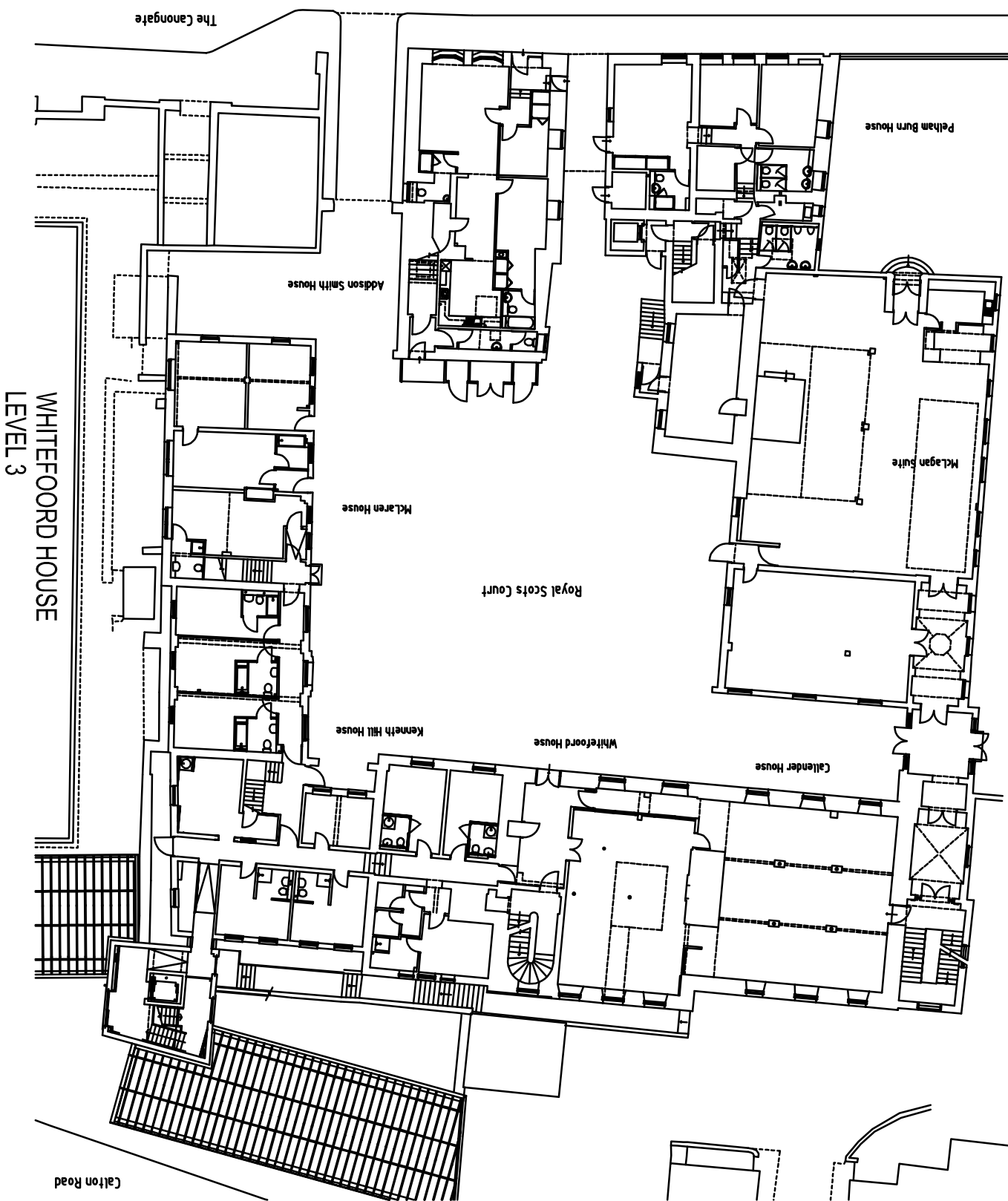
Floor Levels:-

- Level 1 - Calton Road street level
- Level 2 - Basement level
- Level 3 - Canongate street level
- Level 4 - First floor level
- Level 5 - Second floor level
- Level 6 - Third floor level
- Level 7 - Fourth floor level

WHITEFOORD HOUSE
LEVEL 2

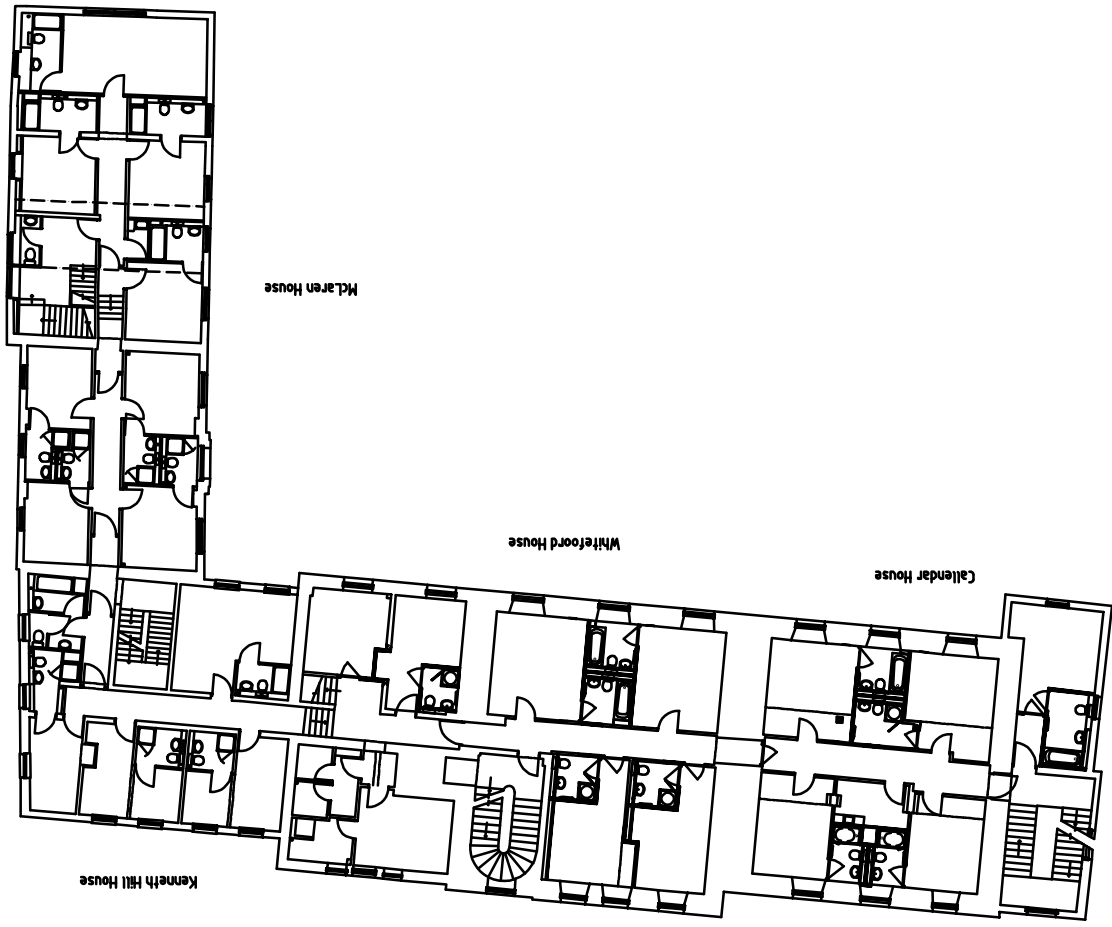
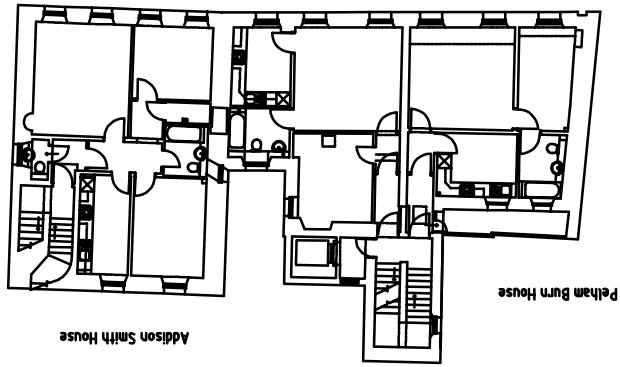
Level 3

- Floor Levels:-
- Level 1 - Calton Road street level
 - Level 2 - Basement level
 - Level 3 - Canongate street level
 - Level 4 - First floor level
 - Level 5 - Second floor level
 - Level 6 - Third floor level
 - Level 7 - Fourth floor level



WHITEFOORD HOUSE
LEVEL 3

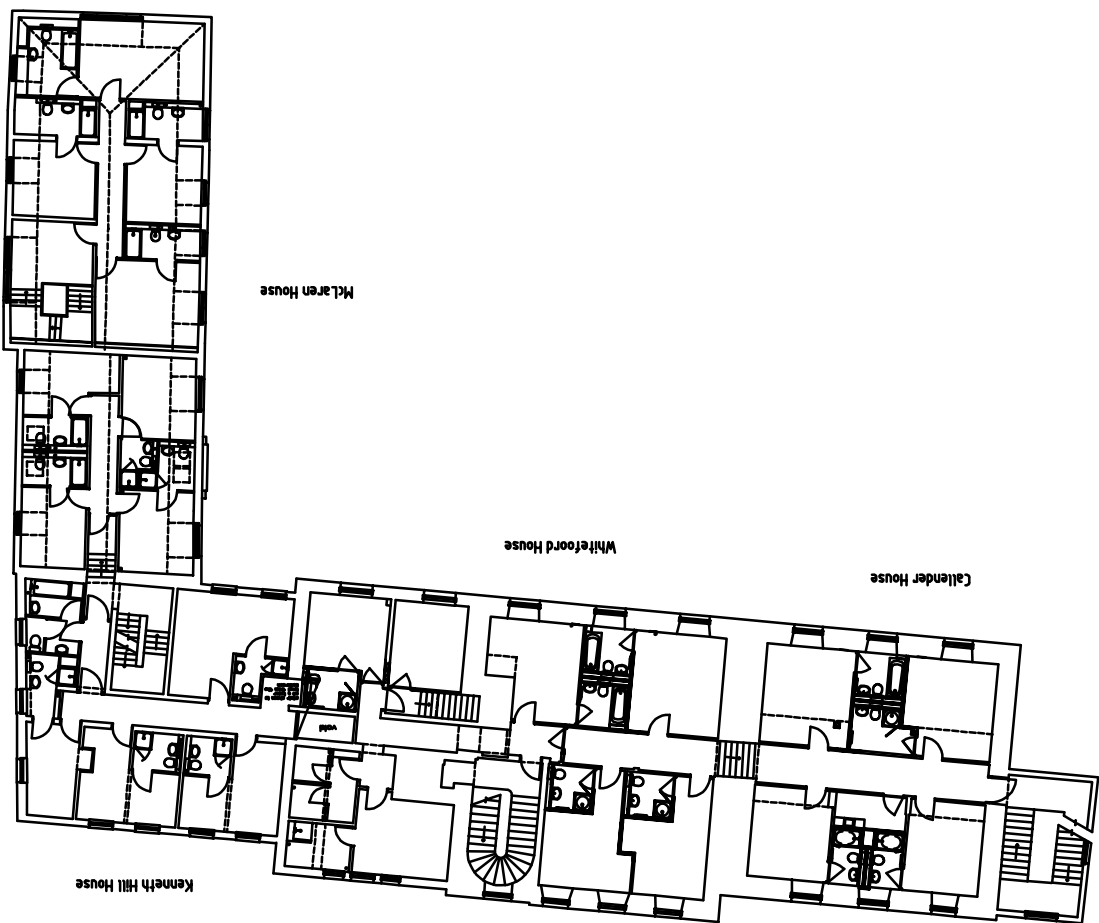
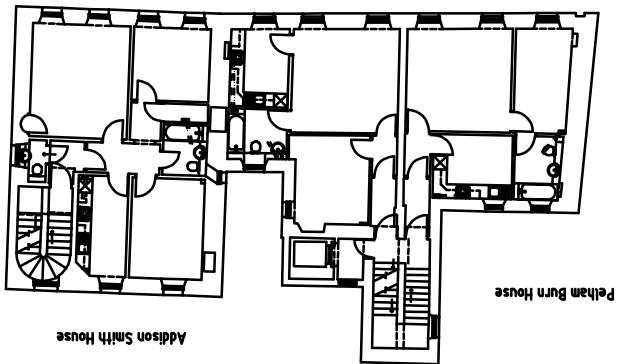
Level 4



WHITEFOORD HOUSE
LEVEL 4

- Floor Levels:-**
- Level 1 - Calton Road street level
 - Level 2 - Basement level
 - Level 3 - Canongate street level
 - Level 4 - First floor level
 - Level 5 - Second floor level
 - Level 6 - Third floor level
 - Level 7 - Fourth floor level

Level 5



WHITEFOORD HOUSE
LEVEL 5

Level 6

- Floor Levels:-
- Level 1 - Calton Road street level
 - Level 2 - Basement level
 - Level 3 - Canongate street level
 - Level 4 - First floor level
 - Level 5 - Second floor level
 - Level 6 - Third floor level
 - Level 7 - Fourth floor level

