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Stock Condition Survey 2009



Carried Out By:

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Date: 23rd March 2009

Reference No: Edinburgh

Location:

Whitefoord House





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SECTION 1

Introduction & General Notes





INTRODUCTION AND GENERAL NOTES

Instruction

In accordance with instructions received from Scottish Veterans Residences, Dearle & Henderson carried out an inspection of Whitefoord House on the 23 March 2009, with a view to providing a Condition Survey Report (including a 30 year Life Cycle Report) of the property.

Survey Scope

The property has been visually inspected internally and externally, in accordance with Scottish Veterans Residences Condition Survey instruction.

The survey was undertaken on a visual only basis and no invasive investigations have been carried out. Similarly, services have not been tested and the condition report is based on visual assessments and locally provided information only.

The works requirements included in the report are those necessary in Year 2009 from the reporting period starting March 2009.

Condition

Assessment of The condition of each element has been categorised using professional and technical judgement taking into account the use of the buildings and rooms with particular attention to Health & Safety implications, long-term maintenance and replacement needs, disruption to operational facilities and the age of the element. A condition category has been applied to each element as follows:

- Α In a satisfactory condition
- В Requires periodic repair
- C Nearing end of economic life and requires extensive repair
- D Requires renewal to prevent increased expenditure





Priority GradingWhere the surveyor has concluded that works are necessary within Year 1 the survey item has been prioritised as follows:

- 1. Health & Safety i.e. compliance with statute and or duty.
- 2. Neglect will undermine the use of the property.
- Defect that might lead to damage or further deterioration of a building element, surrounding building elements or item of plant resulting in increased expenditure.
- 4. To maintain proper standards.

All building elements have been inspected and recorded as part of this survey and costs are provided for Year 1 only. In general elements that are in good condition, may require no works, are classified as 'A'. Items where no works are required have not generally been measured and no costs entered against them. Where an action is necessary a priority grading is provided.

All categories of condition or priority have been estimated and costed for use within and for the formulation of a 30 year Life Cycle Plan of each property.

Costs

The rates used to estimate the costs of the various recommended works have been predominately derived from "Spon's Architect's and Builders Price Book ", and Cost Models (particularly for Mechanical & Electrical tasks) published by Davis Langdon & Everest. Other items are the subject of "spot" estimates based on the surveyor's experience and assessment of the work requirements. Budget cost estimates are included for all items where work is considered necessary in Year 1 and represent the likely cost which will need to be





expended on the basis each item is carried out individually and not as part of one contract. These costs are net figures and have not been assessed to include preliminaries, contingencies, fees or VAT.

The costs are for indicative budget purposes only as the rates are indicative for typical task and do not necessarily take into account specific variations in material or form.

The costs provided in the Summary take precedence over costs in Year One of the Life Cycle Report, where a discrepancy is found.

Building & Room Numbers

All buildings and rooms within the property have been numbered to enable defects itemised, to be inspected on site. This data has been incorporated into the database to enable calculations to be made where appropriate.

Life Cycle Cost Plan

A Life Cycle Cost Plan is provided and is based on Year 1 works prices at April 2009. Value Added Tax is excluded.

The Life Cycle profile presented is on a property basis.

Life expectancy of building elements identified during the survey process within the Condition Survey Report are transferred into the relevant year of the corresponding Life Cycle Cost Plan and a renewal cost given within that year. The life span of the building elements, which are taken from industry-accepted norms, defines in future years within the 30 Year periods when that element should be renewed again. Depending on the element concerned predictable repair cost allowances are then made within that life span when periodic, cyclical maintenance is undertaken. It does not allow for emergency, unpredictable or unforeseeable repairs.

Where a building element has a sub-element which can be predicted to fail requiring regular periodic





renewal and is of such significance that the element as a whole will fail without its renewal, then that has been included within the Life Cycle Cost Plan for renewal of the entire element. Other significant maintenance costs are also given as appropriate:

For example, where a PVC window has a timber subframe and the timber frame fails at 20 years then the renewal of the entire unit would occur which is earlier than the actual life of the PVC frame. Where a PVC window has a hermetically sealed double-glazing unit only the glazed unit would be renewed when the glazing fails at 10 years.

The lower life expectancy of any building element stated within a Condition Survey report takes precedence over any other as the life remaining that is carried forward to the corresponding Life Cycle Cost Plan





SECTION 2

Summary

Whitefoord House - Callender House

Date of Survey Surveyor(s)

Summary of Yr 1 Costs

12. Security Arrangements

13. Mechanical Services

15. Other Mechanical & Electrical

TOTAL £

14. Electrical Services

21/03/2009

Owen Holleway, Richard Robertson

<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	588	0	588
2. Walls	500	0	759	4,080	5,339
3. Grounds	0	0	0	0	0
<u>Internally</u>					
4. Structure	0	0	0	0	0
Internal Fabric					
5. Rooms	6,554	0	0	4,331	10,885
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	0	0
8. Health & Safety	900	0	0	0	900
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0

0

0

0

0

0

7,954

0

0

0

1,347

0

0

8,411

0

0

17,712

Whitefoord House - Whitefoord House

Date of Survey Surveyor(s)

24/03/2009

Owen Holleway, Tony Duffy

Summary of Yr 1 C	Costs					
<u>Element</u>		Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally						
1. Roofs		0	0	0	2,000	2,000
2. Walls		0	0	0	5,000	5,000
3. Grounds		0	0	0	300	300
<u>Internally</u>						
4. Structure		0	0	0	0	0
Internal Fabric						
5. Rooms		1,025	0	0	7,685	8,710
6. Fixtures & Fittings		0	0	0	0	0
7. Sanitary		0	0	0	100	100
8. Health & Safety		0	0	0	0	0
9. Fire Matters		0	0	0	0	0
10. Hazardous Materials	S	0	0	0	0	0
11. DDA Compliance &	Status	0	0	0	0	0
12. Security Arrangeme	ents	0	0	0	0	0
13. Mechanical Service	S	0	0	0	0	0
14. Electrical Services		0	0	0	0	0
15. Other Mechanical &	Electrical	0	0	0	0	0
	TOTAL £	1,025	0	0	15,085	16,110

Whitefoord House - Kenneth Hill House

Date of Survey Surveyor(s) 24/03/2009

Owen Holleway, Tony Duffy

ouninary or 11 1 oosts					
<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
-					
Externally					
1. Roofs	0	0	0	0	0
2. Walls	0	0	0	0	0
3. Grounds	0	0	0	0	0
<u>Internally</u>					
4. Structure	0	0	0	0	0
Internal Fabric					
5. Rooms	0	0	0	1,131	1,131
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	0	0
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	0	0	0	1,131	1,131

Whitefoord House - McLaren House

Date of Survey Surveyor(s) 21/03/2009

Owen Holleway, Richard Robertson

Summary	of \	/r 1	Costs
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outilitiary of 11 1 costs					
<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Eutomolly					
Externally					
1. Roofs	0	0	0	0	0
2. Walls	0	0	0	60	60
3. Grounds	0	0	0	0	0
<u>Internally</u>					
4. Structure	0	0	0	0	0
Internal Fabric					
5. Rooms	0	0	0	6,543	6,543
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	328	328
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	0	0	0	6,931	6,931

Whitefoord House - Addison Smith House

Date of Survey Surveyor(s)

Summary of Yr 1 Costs

13. Mechanical Services

15. Other Mechanical & Electrical

TOTAL £

14. Electrical Services

21/03/2009

Owen Holleway, Richard Robertson

Element	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	0	7,782	7,782
2. Walls	0	0	0	4,230	4,230
3. Grounds	0	0	0	0	0
<u>Internally</u>					
4. Structure	0	0	0	0	0
Internal Fabric					
5. Rooms	0	0	0	3,432	3,432
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	0	0
					_
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0

0

0

0

0

0

0

0

0

15,444

0

0

15,444

0

0

0

Whitefoord House - Pelham Burn House

Date of Survey Surveyor(s) 21/03/2009

Owen Holleway, Richard Robertson, Tony Duffy

Element	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	5,400	600	6,000
2. Walls	0	0	4,990	888	5,878
3. Grounds	0	0	0	0	0
Internally					
4. Structure	0	0	0	0	0
Internal Fabric					
5. Rooms	0	0	0	384	384
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	0	0
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	0	0	10,390	1,872	12,262

Whitefoord House - Gloucester Court

Date of Survey Surveyor(s)

24/03/2009

Owen Holleway, Tony Duffy

<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	0	0	0
2. Walls	0	0	0	0	0
3. Grounds	0	0	0	0	0
<u>Internally</u>					
4. Structure	0	0	0	0	0
Internal Fabric					
5. Rooms	0	0	0	2,036	2,036
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	328	328
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	0	0	0	2,364	2,364

Whitefoord House - McLagan Suite

Date of Survey Surveyor(s)

24/03/2009

Owen Holleway, Richard Robertson

<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	60	0	60
2. Walls	0	0	100	0	100
3. Grounds	0	0	0	0	0
<u>Internally</u>					
4. Structure	0	0	0	0	0
Internal Fabric					
5. Rooms	0	0	0	13,567	13,567
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	0	0
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	0	0	160	13,567	13,727

Whitefoord House - Manager's Suite

Date of Survey Surveyor(s) 24/03/2009

Owen Holleway, Tony Duffy

Summary of	Yr 1	Costs
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<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	0	0	0
2. Walls	0	0	0	0	0
3. Grounds	0	0	0	0	0
<u>Internally</u>					
4. Structure	0	0	0	0	0
Internal Fabric					
5. Rooms	0	0	0	0	0
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	0	0
	_				
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	0	0	0	0	0

Whitefoord House - Old Mortuary

Date of Survey Surveyor(s)

24/03/2009

Owen Holleway, Tony Duffy

Summary	of	Yr 1	Costs
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Element	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	0	0	0
2. Walls	0	0	0	222	222
3. Grounds	0	0	0	0	0
Internally					
4. Structure	0	0	0	0	0
Internal Fabric					
5. Rooms	0	0	0	2,303	2,303
6. Fixtures & Fittings	0	0	0	0	0
7. Sanitary	0	0	0	0	0
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	0	0	0	2,525	2,525





SECTION 3 Brief Description of Property





BRIEF DESCRIPTION OF PROPERTY

Overall Condition B

Overall condition of the property - Rated A - D

- A Performing well and operating efficiently
- B Performing adequately but showing minor deterioration
- C Showing major defects and/or not operating adequately
- D Life expired and/or serious risk of imminent failure

<u>Building</u>

Block 1 (Callender): Traditional stone/brick built building with slate/bituminous felt roofs, wet render wall finish and timber single-glazed windows.

Internal finishes – decoration, floor coverings, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 2 (Whitefoord): Traditional stone/brick built building with slate roof, wet render wall finish and timber single-glazed windows. Internal finishes – decoration, floor coverings, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 3 (Kenneth Hill): Traditional stone/brick built building with slate/bituminous felt roofs, wet render wall finish and timber single-glazed windows.

Internal finishes – decoration, floor coverings, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.





Block 4 (McLaren): Traditional stone built building with slate roofs and lead dormers, wet render and stone wall finishes and timber single/double glazed windows.

Internal finishes – decoration, floor coverings, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 5 (Addison Smith): Traditional stone built building with slate/bituminous felt roofs, wet render and stone block wall finishes and timber single glazed windows.

Internal finishes – decoration, floor coverings, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 6 (Pelham Burn): Traditional stone built building with slate/bituminous felt/mineral felt roofs, wet render and stone block wall finishes and timber single-glazed windows.

Internal finishes – decoration, floor coverings, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 7 (Gloucester): Two-storey traditional construction, with render finish, metal sheet roof covering and timber double-glazed windows

Internal finishes – decoration, floor coverings, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 8 (McLagan Suite): Traditional stone/brick built building with slate roof, lead flashings, wet render wall finish and timber single-glazed windows.

Internal finishes – decoration, floor coverings, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 9 (Old Mortuary): Traditional stone built building with slate roof and timber single-glazed windows.

Internal finishes – decoration, floor coverings are showing signs of age, internal doors are generally in fair condition.

Sanitary ware is generally in fair condition.

Block 10 (Manager's House): Traditional stone built building with slate/single-ply roof coverings and timber single-glazed windows. Internal finishes – decoration, floor coverings, internal doors are generally in good condition.

Sanitary ware is generally in good condition.





M&E

Blocks 1, 2, 3, 4, 7 & 8

Main Power Incomer:

Power is supplied from the main REC supplies. This feeds an MEM switching system supplying a number of Distribution Boards (DB).

Power Distribution:

Power distribution was via a mix of Wylex, GET and Dorman Smith DBs located around the bld. Wiring was contained within trunking. This also houses the IT & Telephone system. All were in a fair condition with no defects noted. However there was evidence of extension leads and 3-way adapters in use throughout the bld. This can lead to an overload of the circuits, it is recommended that the use of extensions is reviewed and the removal of 3-way adapters is considered.



Extensions lead in use

3-way adapter in use





Heating:

Heating was provided from two different boiler rooms supplying different locations within the main bld.

McLagan Suite & Pelham Burn House:

Heating was provided by 2 Ideal Concord C Series 3 Gas fired boilers. Hot water from system was pumped round the bld to a number of convection radiators, some fan assisted, by a Wilo pumping setup. The heating and its associated equipment were in fair condition for their age.

Main Building:

Heating was provided by 2 Ideal Viceroy Gas fired boilers. Hot water from system was pumped round the bld to a number of convection radiators, by a Biral pumping setup. The heating and its associated equipment were in fair condition for their age.

It was noted that throughout the building a number of TRV's are missing from the radiators. It is recommended that they are replaced.



TRV's missing from radiators

The boilers in use are of fair condition for their age however the building has been modernised and the system is now supplying more equipment than when it was first installed. It is recommended that consideration be given to upgrading the system to a more efficient system; a further detailed survey would be required to confirm this.





<u>Lighting:</u>

In the main this was a mix of T5, T8, (fitted with anti glare diffusers) 2D, CFL, tungsten and halogen fittings. Some corridors were controlled by PIR's, all other lighting were manually controlled. The condition of the lighting and its associated equipment was fair with no defects noted. However this survey did not look at system compliance, a further lighting compliance survey would be required. It is recommended that an ongoing maintenance plan is introduced for the replacement of all tungsten lights with CFL lighting; this would help towards reducing the annual electricity costs.

Emergency Lighting:

This consisted of a mix of maintained and non-maintained self contained fittings. The condition of the system was fair with no defects noted. However this survey did not look at system compliance, a further in-depth compliance survey would be required.

External Lighting:

This consisted of a number of SON bulkhead fittings located around the boundary wall, these are controlled by timers. The condition of these was fair with no defect noted. However this survey did not look at system compliance, a further in-depth compliance survey would be required.

Fire Alarm:

An automatic system consisting of a number of break glass manual call points, detectors and audible alarms connected to a 3404 fire alarm control panel. The condition of the system was fair with no defects noted. However this survey did not look at system compliance, a further in depth compliance survey would be required.

<u>I.T.</u>

The bld is connected to the main Council IT network via a Netgear Router located within a Administration office. This provides a secure wireless network throughout the building. The condition of the IT network was fair with no defects noted.





Domestic Hot Water:

McLagan Suite & Pelham Burn House

Hot water was provided by the main boilers to a Calorfier, the water was pumped throughout the bld by Grundfos pumps. The condition of the equipment was fair however the Insulation jacket for the Calorfier does not completely cover the Calorfier. It is recommended that this is rectified.



Insulation Jacket requires attention

Main Building:

Hot water was provided by the main boilers to a large Calorfier within the boiler room. , the water was pumped throughout the bld by Biral pumps. The condition of the equipment was fair with no defects noted.

Glouster Block:

Hot water was provided by the main boilers to two Calorfiers within the Glouster Block, the water was pumped to the resident's rooms by a pumping set up. The condition of the equipment was fair with no defects noted.





The condition of the DHW system in use is consistent with its age however the building has been modernised and the system is now supplying more equipment than when it was first installed. It is recommended that consideration to upgrading the system to a more efficient system; a further detailed survey would be required to confirm this.

Ventilation:

There was a mix of Xodus and Vent Axia single point extractors in use within the toilets in the resident's rooms. Single point Delta Extract extractors are installed the office area and communal areas. Within the kitchen an industrial Canopy Extractor was installed. Xpelair extraction units were installed within the Laundry room. The condition of these was fair with no defects noted.

Lift:

There were two passenger lifts in use, one within the main building and another within the Gloucester block. The condition of these and their associated equipment was fair with no defects noted.

Pre Planned Maintenance

At the time of survey, there was no evidence of a Pre-Planned Maintenance Scheme covering the Edinburgh facilities in place. It is therefore recommended that a Planned Maintenance Program is introduced.

Block 5 (Addison Smith)

Main Power Incomer:

Power is supplied from the main REC supplies. This feeds an MEM switching system supplying a number of Distribution Boards (DB).

Power Distribution:

Power distribution was via Dorman Smith Load Limiter DB's located in each residence. Wiring was contained within the walls. All were in a fair condition with no defects noted.





Heating:

Heating was provided from two Potterton Suprima 100 gas fired boilers; this supplied a district heating system to all the residences. Hot water from system was pumped round the residences to a number of convection radiators, by a Grundfos pumping setup. The heating and its associated equipment were in fair condition with the following defects noted:



Flat 55 / 2 -- there is evidence of leakage at the bathroom pipework

Controls – The controls for the heating system are located within the basement residence of Addison Smith, this is a remote location from the actual heating equipment. It is recommended that the controls are repositioned as access to the controls may not always be available.



Heating equipment under stairs in block

Heating controls within basement residence





Lighting:

In the main this was a mix of tungsten, CFL and 2D fittings. There was no sign of automatic controls. Within the stairwell T8 lighting was in use. These were controlled by time delay switches however it was noted that none of them operated and all stairwell lights were constantly lit. It is recommended that the lighting controls are rectified. However this survey did not look at system compliance, a further lighting compliance survey would be required. It is recommended that an ongoing maintenance plan is introduced for the replacement of all tungsten lights with CFL lighting; this would help towards reducing the annual electricity costs.



No control over lighting

Flat 55 / 3 states light has never lit

Emergency Lighting:

This consisted of non-maintained self contained fittings within the stairwell. The condition of the system was fair with no defects noted. However this survey did not look at system compliance, a further indepth compliance survey would be required.

External Lighting:

This consisted of a number of SON bulkhead fittings located around the building, these are controlled by timers. The condition of these was fair with no defect noted. However this survey did not look at system compliance, a further in-depth compliance survey would be required.





Fire Alarm:

Each residence has been supplied with battery operated stand alone smoke detectors. The condition of these was fair with no defects noted. There are Gent detectors and Sirens installed within the residences, it was stated that these may have been disconnected at the time of refurbishment although it was stated that the sirens still sound when the main building alarm is tested. This survey did not look at system compliance; a further in depth compliance survey would be required.



Detectors not in use

Sirens still connected

Domestic Hot Water:

Hot water was provided by the boilers to a calorfier, the water was pumped throughout the bld by Grundfos pumps. The condition of the equipment was fair with no defects noted.

Ventilation:

There was Greenwood extractors in use within the toilets. Within the kitchen a domestic cooker extractor was installed. The condition of these was fair with no defects noted.

Security:

A secure door entry has been installed. The condition of this was fair with no defects noted.

Pre Planned Maintenance

At the time of survey, there was no evidence of a Pre-Planned Maintenance Scheme covering the Edinburgh facilities in place. It is therefore recommended that a Planned Maintenance Program is introduced.





Block 6 (Pelham Burn)

Main Power Incomer:

Power is supplied from the main REC supplies. This feeds an MEM switching system supplying a number of Distribution Boards (DB).

Power Distribution:

Power distribution was via Dorman Smith Load Limiter DB's located in each residence. Wiring was contained within the walls. All were in a fair condition with no defects noted.

Heating:

Heating was provided from a district heating system. Hot water from system was pumped round the residences to a number of convection radiators, by a Wilo pumping setup. The heating and its associated equipment were in fair condition with the following defects noted:

Flat 57/2 -- it was stated that the Living room Radiator has never worked.



Flat 57/3 -- there is evidence of leakage at the Living room Radiator.







Flat 57/4 -- Living room ceiling marked due to heat from pipework.

Lighting:

In the main this was a mix of tungsten, CFL and 2D fittings. There was no sign of automatic controls. Within the stairwell T8 lighting was in use. These were controlled by time delay switches however it was noted that none of them operated and all stairwell lights were constantly lit. It is recommended that the lighting controls are rectified. However this survey did not look at system compliance, a further lighting compliance survey would be required. It is recommended that an ongoing maintenance plan is introduced for the replacement of all tungsten lights with CFL lighting; this would help towards reducing the annual electricity costs.



No control over lighting





Emergency Lighting:

This consisted of non-maintained self contained fittings within the stairwell. The condition of the system was fair with no defects noted. However this survey did not look at system compliance, a further indepth compliance survey would be required.

External Lighting:

This consisted of a number of SON bulkhead fittings located around the building, these are controlled by timers. The condition of these was fair with no defect noted. However this survey did not look at system compliance, a further in-depth compliance survey would be required.

Fire Alarm:

Each residence has been supplied with battery operated stand alone smoke detectors. The condition of these was fair with no defects noted. There are Gent detectors and Sirens installed within the residences, it was stated that these may have been disconnected at the time of refurbishment although it was stated that the sirens still sound when the main building alarm is tested. This survey did not look at system compliance; a further in depth compliance survey would be required.



Detectors not in use

Sirens still connected

Domestic Hot Water:

Hot water was provided by the main building, the water was pumped throughout the bld by Grundfos pumps. The condition of the equipment was fair with no defects noted.





Ventilation:

There was Greenwood extractors in use within the toilets. Within the kitchen a domestic cooker extractor was installed. The condition of these was fair with no defects noted.

Lift:

There was a Schindler passenger lift in use. The condition of this and its associated equipment was fair with no defects noted.

Security:

A secure door entry has been installed. The condition of this was fair with no defects noted.

Pre Planned Maintenance

At the time of survey, there was no evidence of a Pre-Planned Maintenance Scheme covering the Edinburgh facilities in place. It is therefore recommended that a Planned Maintenance Program is introduced.

Block 9 (Old Mortuary)

Main Power Incomer:

Power is supplied from the main bld REC supplies. This feeds an MK Distribution Board (DB). All were in fair condition with no defects evident.

Power Distribution:

Power distribution was via an MK DB located within the hallway. Wiring was contained within the walls of the bld. All were in a fair condition with no defects noted. However there was evidence of trailing lead extensions in use, this can lead to an overload of the circuit. It is recommended that the use of trailing lead extensions be reviewed.







Heating:

Heating was provided by a number of electric convection heaters. The heating and its associated equipment were in fair condition; however there was evidence of the heaters wired directly to the rear of a socket. BS 7671 states that the heaters should be supplied from a dedicated supply from the DB and not connected to a ring main circuit. It is recommended that the heaters be installed in accordance with BS7671.



Connected to rear of socket

Lighting:

In the main this was provided by tungsten fittings. There were no signs of automatic controls. The condition of the lighting and its





associated equipment was fair with no defects noted. However this survey did not look at system compliance, a further lighting compliance survey would be required.

External Lighting:

This consisted of a tungsten bulkhead light fitting at the front door; there was no sign of automatic controls. The condition of this was fair with no defect noted.

Fire Alarm:

At the time of survey there was no evidence of a fire alarm system installed within this bld. It is recommended that a system be installed. However this survey did not look at system compliance, a further in depth compliance survey would be required.

Domestic Hot Water:

Hot water was supplied by an electric immersion Calorfier. The condition of these was fair with no defects noted.

Ventilation:

Within the kitchen an Xpelair extraction unit is in use. The condition of this was fair with no defects noted.

Block 10 (Manager's House)

Main Power Incomer:

Power is supplied from the main bld REC supplies. This feeds a MK Distribution Board (DB). The main incomer and associated equipment were located within a dedicated switchroom in the main bld. All were in fair condition with no defects evident.

Power Distribution:

Power distribution was via a MK DB located within a cupboard in the hallway. Wiring was contained within the walls of the bld. All were in a fair condition with no defects noted.

Heating:

Heating was provided by a Baxi Combi 105 HE gas fired boiler. Hot water from the system was pumped round the bld to a number of





convection radiators. The heating and its associated equipment were in fair condition; however there was evidence of missing TRV within one bedroom. It is recommended that this be replaced.



TRV missing

Lighting:

In the main this was a mix of tungsten, CFL and 2D fittings. There were no signs of automatic controls. The condition of the lighting and its associated equipment was fair with no defects noted. However this survey did not look at system compliance, a further lighting compliance survey would be required.

External Lighting:

This consisted of a SON fitting on the boundary wall, controlled from the main bld. There were also tungsten bulkhead light fittings at the front door and the patio doors; there was no sign of automatic controls. The condition of these was fair with no defect noted.

Fire Alarm:

There was no evidence of a fire alarm system installed. It is recommended that consideration be given to installing one. However this survey did not look at system compliance, a further in depth compliance survey would be required.





Domestic Hot Water:

Hot water was supplied by the Combi-boiler to the kitchen, toilet and bathroom. The condition of these was fair with no defects noted.

Ventilation:

Within the bathroom and toilet there were Specified Product extractors fitted and a domestic Manrose extractor hood is fitted within the kitchen. The condition of these was fair with no defects noted.

Security System:

The bld is protected by a Capital Security Alarm System. The condition of this was fair with no defects noted.





SECTION 4

Properties, Buildings & Room Lists

Building Name: Block 01

Room No Room Name

003/1/-1/001 Circulation Area/Stairwell

003/1/-1/002 Circulation Area

003/1/-1/003 Store

003/1/-1/004 Bedroom 101

003/1/-1/005 Toilet 101

003/1/-1/006 Bedroom 102

003/1/-1/007 Toilet 102

003/1/-1/008 Store

003/1/-1/009 Store

003/1/-1/010 Bedroom 104

003/1/-1/011 Store 104

003/1/-1/012 Toilet 104

003/1/-1/013 Bedroom 105

003/1/-1/014 Toilet 105

003/1/-1/015 Bedroom 103

003/1/-1/016 Toilet 103

003/1/-1/017 Store 103

003/1/0/001 Circulation Area

003/1/0/002 Dining Area

003/1/1/001 Circulation Area

003/1/1/002 Bedroom 111

003/1/1/003 Toilet 111

003/1/1/004 Store 117

003/1/1/005 Bedroom 112

003/1/1/006 Toilet 112

003/1/1/007 Bedroom 113

003/1/1/008 Toilet 113

003/1/1/009 Bedroom 114

003/1/1/010 Toilet 114

Building Name: Block 01

Room No Room Name

003/1/1/011 Bedroom 115

003/1/1/011A Circulation Area

003/1/1/012 Toilet 115

003/1/2/001 Circulation Area

003/1/2/002 Bedroom 121

003/1/2/003 Toilet 121

003/1/2/004 Store 126

003/1/2/005 Bedroom 122

003/1/2/006 Toilet 122

003/1/2/007 Bedroom 123

003/1/2/008 Toilet 123

003/1/2/009 Bedroom 124

003/1/2/010 Toilet 124

003/1/3/001 Gym

Building Name: Block 02

Room No Room Name

003/2/-1/001 Store

003/2/-1/002 Store

003/2/-1/003 Store

003/2/-1/004 Store

003/2/-1/005 Store

003/2/-1/006 Store

003/2/-1/007 Store

003/2/-1/008 Store

003/2/-2/001 Circulation Area/Stairwell

003/2/0/001 Circulation Area

003/2/0/002 Kitchen

003/2/0/003 Circulation Area

003/2/0/004 Bedroom 201

003/2/0/005 Toilet 201

003/2/0/006 Store 211

003/2/0/007 Store (Designed Out)

003/2/0/008 Store (Designed Out)

003/2/0/009 Bedroom 202

003/2/0/010 Toilet 202

003/2/0/011 Bedroom 203

003/2/0/012 Toilet 203

003/2/1/001 Circulation Area

003/2/1/002 Circulation Area/Stairs

003/2/1/003 Bedroom 315

003/2/1/004 Toilet 315

003/2/1/005 Store

003/2/1/006 Store (Designed Out)

003/2/1/007 Store (Designed Out)

003/2/1/008 Living Room 212

Building Name: Block 02

Room No Room Name

003/2/1/009 Bedroom 212

003/2/1/010 Toilet 212

003/2/1/011 Bedroom 214

003/2/1/012 Toilet 214

003/2/1/013 Bedroom 215

003/2/1/014 Toilet 215

003/2/1/015 Bedroom 216

003/2/1/016 Toilet 216

003/2/1/017 Bedroom 217

003/2/1/018 Toilet 217

003/2/1/019 Electrical Fuse Cupboard

003/2/2/001 Circulation Area

003/2/2/002 Circulation Area

003/2/2/003 Bedroom 221

003/2/2/004 Toilet 221

003/2/2/005 Store

003/2/2/006 Store (Designed Out)

003/2/2/007 Store (Designed Out)

003/2/2/008 Living Room 222

003/2/2/009 Toilet 222

003/2/2/010 Bedroom 222

003/2/2/011 Bedroom 223

003/2/2/012 Toilet 223

003/2/2/013 Bedroom 224

003/2/2/014 Toilet 224

003/2/2/015 Bedroom 225

003/2/2/016 Toilet 225

003/2/2/017 Bedroom 226

003/2/2/018 Toilet 226

Building Name: Block 02

Room No Room Name

003/2/2/019 Electrical Fuse Cupboard

003/2/2/020 Circulation Area/Stairs

003/2/3/001 Store

003/2/3/002 Store

003/2/3/003 Store

003/2/3/004 Store

Building Name: Block 03

Room No Room Name

003/3/0/001 Circulation Area/Stairwell

003/3/0/002 Office

003/3/0/003 Circulation Area

003/3/0/004 Bedroom 301

003/3/0/005 Toilet 301

003/3/0/006 Bedroom 302

003/3/0/007 Toilet 302

003/3/0/008 Staff Changing Rooms

003/3/0/008A Staff Changing Rooms Store

003/3/1/001 Circulation Area

003/3/1/002 Circulation Area

003/3/1/003 Bedroom 311

003/3/1/004 Toilet 311

003/3/1/005 Bedroom 312

003/3/1/006 Toilet 312

003/3/1/007 Bedroom 313

003/3/1/008 Toilet 313

003/3/1/009 Bathroom

003/3/1/010 Bedroom 314

003/3/1/011 Toilet 314

003/3/2/001 Circulation Area

003/3/2/002 Circulation Area

003/3/2/003 Bedroom 321

003/3/2/004 Toilet 321

003/3/2/005 Bedroom 322

003/3/2/006 Toilet 322

003/3/2/007 Bedroom 323

003/3/2/008 Toilet 323

003/3/2/009 Bathroom

Building Name: Block 03

Room No Room Name

003/3/2/010 Bedroom 324

003/3/2/011 Toilet 324

003/3/3/001 Circulation Area

003/3/3/002 Circulation Area

003/3/3/003 Bedroom 334

003/3/3/004 Toilet 334

003/3/3/005 Bedroom 331

003/3/3/006 Toilet 331

003/3/3/007 Bedroom 332

003/3/3/008 Toilet 332

003/3/3/009 Bedroom 333

003/3/3/010 Toilet 333

003/3/3/011 Bathroom

Building Name: Block 04

Room No Room Name

003/4/0/001 Stairwell

003/4/0/002 Circulation Area

003/4/0/003 Bedroom 404

003/4/0/004 Bathroom 404

003/4/0/005 Bedroom 403

003/4/0/006 Bathroom 403

003/4/0/007 Bedroom 402

003/4/0/008 Bathroom 402

003/4/0/009 Circulation Area

003/4/0/010 Bedroom 401

003/4/0/010A Bathroom 401

003/4/0/011 Circulation Area

003/4/0/012 Accessible Toilet

003/4/0/013 Manager`s Office

003/4/0/014 Reception

003/4/1/001 Circulation Area

003/4/1/001A Toilet

003/4/1/002 Bedroom 413

003/4/1/003 Bathroom 413

003/4/1/004 Bedroom 414

003/4/1/005 Bathroom 414

003/4/1/006 Bedroom 415

003/4/1/006A Store

003/4/1/007 Bathroom 415

003/4/1/008 Bedroom 416

003/4/1/009 Bathroom 416

003/4/1/010 Circulation Area

003/4/1/011 Bedroom 417

003/4/1/012 Bathroom 417

Building Name: Block 04

003/4/2/018

Building Name : Block 04	
Room No	Room Name
003/4/1/013	Bedroom 418
003/4/1/014	Bathroom 418
003/4/1/015	Circulation Area
003/4/1/016	Bedroom 411
003/4/1/017	Bathroom 411
003/4/1/018	Bedroom 412
003/4/1/019	Bathroom 412
003/4/2/001	Circulation Area
003/4/2/002	Bedroom 423
003/4/2/003	Bathroom 423
003/4/2/004	Bedroom 424
003/4/2/005	Bathroom 424
003/4/2/006	Bedroom 425
003/4/2/007	Bathroom 425
003/4/2/008	Bedroom 426
003/4/2/009	Bathroom 426
003/4/2/010	Circulation Area
003/4/2/011	Bedroom 421
003/4/2/012	Bathroom 421
003/4/2/013	Bedroom 422
003/4/2/014	Bathroom 422
003/4/2/015	Bedroom 427
003/4/2/016	Bathroom 427
003/4/2/017	Bedroom 428
	D 41 400

Bathroom 428

Building Name: Block 05

Room No Room Name

003/5/0/001 Circulation Area

003/5/0/002 Store

003/5/0/003 Living Room

003/5/0/004 Bedroom 1

003/5/0/005 Bedroom 2

003/5/0/006 Bathroom

003/5/0/007 Store

003/5/0/008 Toilet

003/5/0/009 Stairwell

003/5/0/010 Store

003/5/0/011 Store

003/5/0/012 Store

003/5/0/013 Store

003/5/0/014 Vestibule

003/5/1/001 Circulation Area 1

003/5/1/002 WC

003/5/1/003 Circulation Area 2

003/5/1/004 Living Room

003/5/1/005 Bedroom 1

003/5/1/006 Store

003/5/1/007 Bathroom

003/5/1/008 Bedroom 2

003/5/1/009 Kitchen

003/5/2/001 Circulation Area 1

003/5/2/002 WC

003/5/2/003 Circulation Area 2

003/5/2/004 Living Room

003/5/2/005 Bedroom 1

003/5/2/006 Store

Building Name: Block 05

Room No Room Name

003/5/2/007 Bathroom 1

003/5/2/008 Bedroom 2

003/5/2/009 Kitchen

003/5/3/001 Circulation Area 1

003/5/3/002 WC

003/5/3/003 Circulation Area 2

003/5/3/004 Living Room

003/5/3/005 Bedroom 1

003/5/3/006 Store

003/5/3/007 Bathroom

003/5/3/008 Bedroom 2

003/5/3/009 Kitchen

003/5/4/001 Circulation Area

003/5/4/002 Bathroom

003/5/4/003 Circulation Area

003/5/4/004 Living Room

003/5/4/005 Bedroom 1

003/5/4/006 Store

003/5/4/007 Bathroom

003/5/4/008 Bedroom 2

003/5/4/009 Kitchen

Building Name: Block 06

Room No Room Name

003/6/0/001 Main Office

003/6/0/002 Office 1

003/6/0/003 Office 2

003/6/0/004 Ladies Toilet

003/6/0/005 Store

003/6/0/006 Gents Toilet

003/6/0/007 Store

003/6/0/008 Store

003/6/0/009 Stairwell and entrance

003/6/0/010 Store

003/6/0/011 Boiler room

003/6/0/012 Staff Toilet

003/6/0/013 Plant room

003/6/0/014 Circulation Area

003/6/1/001 Circulation Area 1

003/6/1/002 Circulation Area 2

003/6/1/003 Living Room

003/6/1/004 Bedroom

003/6/1/005 Bathroom

003/6/1/006 Kitchen

003/6/1/007 Circulation Area 1

003/6/1/008 Circulation Area 2

003/6/1/009 Living Room

003/6/1/010 Kitchen

003/6/1/011 Bathroom

003/6/1/012 Bedroom

003/6/2/007 Circulation Area 1

003/6/2/008 Circulation Area 2

003/6/2/009 Living Room

Building Name: Block 06

Room No Room Name

003/6/2/010 Kitchen

003/6/2/011 Bathroom

003/6/2/012 Bedroom

003/6/2/001 Circulation Area 1

003/6/2/002 Circulation Area 2

003/6/2/003 Living Room

003/6/2/004 Bedroom

003/6/2/005 Bathroom

003/6/2/006 Kitchen

003/6/3/001 Circulation Area 1

003/6/3/002 Circulation Area 2

003/6/3/003 Living Room

003/6/3/004 Bedroom

003/6/3/005 Bathroom

003/6/3/006 Kitchen

003/6/3/007 Circulation Area 1

003/6/3/008 Circulation Area 2

003/6/3/009 Living Room

003/6/3/010 Kitchen

003/6/3/011 Bathroom

003/6/3/012 Bedroom

Building	Name :	Block 07
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003/7/-2/004

Building Name: Block 07	
Room No	Room Name
003/7/-1/001	Circulation Area
003/7/-1/002	Bedroom 716
003/7/-1/003	Toilet 716
003/7/-1/004	Bedroom 715
003/7/-1/005	Toilet 715
003/7/-1/006	Bedroom 714
003/7/-1/007	Toilet 714
003/7/-1/008	Boiler Tank Cupboard
003/7/-1/009	Bedroom 713
003/7/-1/010	Toilet 713
003/7/-1/011	Bedroom 712
003/7/-1/012	Toilet 712
003/7/-1/013	Circulation Area
003/7/-1/014	Bedroom 707
003/7/-1/015	Toilet 707
003/7/-1/016	Circulation Area 707
003/7/-1/017	Bedroom 708
003/7/-1/018	Toilet 708
003/7/-1/019	Bedroom 709
003/7/-1/020	Toilet 709
003/7/-1/021	Bedroom 710
003/7/-1/022	Toilet 710
003/7/-1/023	Bedroom 711
003/7/-1/024	Toilet 711
003/7/-1/025	Boiler Tank Cupboard
003/7/-2/001	Circulation Area/Stairwell
003/7/-2/002	Circulation Area
003/7/-2/003	Bedroom 706

Toilet 706

Building Name: Block 07

Room No Room Name

003/7/-2/005 Bedroom 705

003/7/-2/006 Toilet 705

003/7/-2/007 Bedroom 704

003/7/-2/008 Toilet 704

003/7/-2/009 Bedroom 703

003/7/-2/010 Toilet 703

003/7/-2/011 Bedroom 702

003/7/-2/012 Toilet 702

003/7/-2/013 Living room 718

003/7/-2/014 Toilet 718

003/7/-2/015 Bedroom 718

003/7/-2/016 Circulation area 717

003/7/-2/017 Store 717

003/7/-2/018 Living room 717

003/7/-2/019 Bedroom 717

003/7/-2/020 Toilet 717

003/7/-2/021 Circulation area 701

003/7/-2/022 Toilet 701

003/7/-2/023 Bedroom 701

003/7/-2/024 Circulation Area/Stairwell

003/7/-2/025 Boiler Room

003/7/-2/026 Electrical Fuse Cupboard

Building	Name :	Block 07
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003/7/-2/004

Building Name: Block 07	
Room No	Room Name
003/7/-1/001	Circulation Area
003/7/-1/002	Bedroom 716
003/7/-1/003	Toilet 716
003/7/-1/004	Bedroom 715
003/7/-1/005	Toilet 715
003/7/-1/006	Bedroom 714
003/7/-1/007	Toilet 714
003/7/-1/008	Boiler Tank Cupboard
003/7/-1/009	Bedroom 713
003/7/-1/010	Toilet 713
003/7/-1/011	Bedroom 712
003/7/-1/012	Toilet 712
003/7/-1/013	Circulation Area
003/7/-1/014	Bedroom 707
003/7/-1/015	Toilet 707
003/7/-1/016	Circulation Area 707
003/7/-1/017	Bedroom 708
003/7/-1/018	Toilet 708
003/7/-1/019	Bedroom 709
003/7/-1/020	Toilet 709
003/7/-1/021	Bedroom 710
003/7/-1/022	Toilet 710
003/7/-1/023	Bedroom 711
003/7/-1/024	Toilet 711
003/7/-1/025	Boiler Tank Cupboard
003/7/-2/001	Circulation Area/Stairwell
003/7/-2/002	Circulation Area
003/7/-2/003	Bedroom 706

Toilet 706

Building Name: Block 07

Room No Room Name

003/7/-2/005 Bedroom 705

003/7/-2/006 Toilet 705

003/7/-2/007 Bedroom 704

003/7/-2/008 Toilet 704

003/7/-2/009 Bedroom 703

003/7/-2/010 Toilet 703

003/7/-2/011 Bedroom 702

003/7/-2/012 Toilet 702

003/7/-2/013 Living room 718

003/7/-2/014 Toilet 718

003/7/-2/015 Bedroom 718

003/7/-2/016 Circulation area 717

003/7/-2/017 Store 717

003/7/-2/018 Living room 717

003/7/-2/019 Bedroom 717

003/7/-2/020 Toilet 717

003/7/-2/021 Circulation area 701

003/7/-2/022 Toilet 701

003/7/-2/023 Bedroom 701

003/7/-2/024 Circulation Area/Stairwell

003/7/-2/025 Boiler Room

003/7/-2/026 Electrical Fuse Cupboard

Building Name: Block 08

Room No Room Name

003/8/0/001 Office

003/8/0/001A Vestibule

003/8/0/002 Hall

003/8/0/003 Vestibule

003/8/0/004 Kitchen

003/8/0/005 Circulation Area

003/8/0/006 Pool room

003/8/0/007 Vestibule

003/8/0/008 Entrance

Building Name: Block 09

Room No Room Name

003/9/-1/001 Bedroom 1

003/9/-1/002 Bedroom 2

003/9/-1/003 Bathroom

003/9/-2/001 Circulation Area/Stairwell

003/9/-2/002 Living Room

003/9/-2/003 Kitchen

003/9/-2/004 Living Room

003/9/-2/005 WC

003/9/-2/006 Boiler Cupboard

Building Name: Block 10

Room No Room Name

003/10/-1/001 First Floor Living Area

003/10/-2/001 Entrance Hall

003/10/-2/002 Ground Floor Living Area

003/10/-2/003 Toilet





SECTION 5

Survey Report

ROOFS

BUILDING: Block 01 UPRN: FLOOR: Roofs

ROOM: Roof 001 **No**: 003/1/R/001 **USE**:

Element : Covering CODE : 1

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Natural slate Fair with several slipped slates Refix slipped slates В 3 20 118 19,600 m2

> Year 1 Repair Cost (£) 588

Photo 1



Photo 2 Position

Element : Covering CODE : 1

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Bitumenous felt Fair 66 No action required В 8 m2 5,413

Photo 1



Photo 2 Position

Element : Structure	CODE:1					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Timber joists and rafters	Fair	No action required	В	35	184 m2	15,092
						Year 1 Repair Cost (£
Element : Flashings	CODE :1					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Lead (inc. in roof)	Fair	No action required	В	25	46 m	3,458
						Year 1 Repair Cost (£)
Element : Flashings	CODE:1					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Galvanised zinc hip	Fair	No action required	В	25	3 m	225
						Year 1 Repair Cost (£)

Element: Rainwater goods CODE:1 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) CI gutters and downpipes Fair No action required 25 88 6,015 В m Year 1 Repair Cost (£) Element: Chimney stacks/flues CODE:1 Replacement Condition Cond/Ind Priority L'Expec Cost (£) **Description** Action Quantity Brick / render with conc. copes Fair No action required В 25 No. 4,000 and 6 No. pots Year 1 Repair Cost (£) **Element**: Decoration CODE:1 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Gloss paint to CI gutters and Fair No action required 3 88 721 В m2 downpipes etc. Year 1 Repair Cost (£)

WALLS

BUILDING: Block 01 UPRN: FLOOR: Elevations

ROOM: Elevation 001 **No**: 003/1/E/001 **USE**:

Element : External walls CODE : 2

Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) Wet Dash Fair with hairline cracking Carry out recommendations of В 20 131 7,163 1 m2

structural engineers report

Year 1

Repair Cost (£)

500

Photo 1



Photo 2 Position

Element : External walls CODE : 2

Replacement **Description** Condition **Action** Cond/Ind Priority L'Expec Quantity Cost (£) Window surrounds :cills,lintols Fair No Action Required 35 69 12,262 В m2

and jambs
Year 1
Repair Cost (£)

Element: Windows Description 7 No. Timber sash and case single glazed (2m2) 10 No.Timber sash and case single glazed (3m2) 1 No. Timber fixed transome (1m2) 1 No. Timber fixed transome (2m2)	CODE:2 Condition Fair but requires easing of sashes,replace missing ropes etc Fair but requires repainting	Action Carry out easing of sashes,replace missing ropes etc Refer to decoration Note: Provisional sum included	Cond/Ind B	Priority 4	L'Expec 10	Quantit 47	y m2	Replacement Cost (£) 19,276 Year 1 Repair Cost (£) 3,500
Element : Doors Description Timber glazed doors and screen	CODE : 2 Condition Fair but with broken pane	Action Reglaze pane	Cond/Ind B	Priority 4	L'Expec 10	Quantit 4	y No.	Replacement Cost (£) 3,937 Year 1 Repair Cost (£) 50
Element : Decoration Description Re-decoration All timber and wall finishes	CODE : 2 Condition Fair but with some cills requiring immediate decoration	Action Redecorate cills as required	Cond/Ind B	Priority 3	L'Expec 3	Quantit 191	y m2	Replacement Cost (£) 2,611 Year 1 Repair Cost (£) 261
Element : Cills Description Concrete cills	CODE : 2 Condition Fair	Action No Action Required	Cond/Ind B	Priority	L'Expec 25	Quantit 16	y m	Replacement Cost (£) 8,000 Year 1 Repair Cost (£)

BUILDING: Block 01 **UPRN: FLOOR**: Elevations

ROOM: Elevation 002 **No:** 003/1/E/002 USE:

Element: External walls CODE:2

Replacement Condition Cost (£) **Description** Action Cond/Ind Priority L'Expec Quantity Wet Dash Fair No Action Required В 20 153 8,366 m2

> Year 1 Repair Cost (£)

Photo 1



Photo 2 **Position**

Element: Windows CODE:2

Description 7 No. Timber sash and case single glazed (2m2)

3 No.Timber sash and case single glazed (3m2)

4 No. Timber casement single glazedsome (2m2)

Condition

Fair but requires repainting

Action

Refer to decoration

Cond/Ind Priority

В

L'Expec 10

Quantity 23 m2 Replacement Cost (£) 9,432

Year 1

Repair Cost (£)

Element : Decoration CODE : 2

Replacement Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Re-decoration Fair but with some cills requiring Redecorate cills as required В 3 3 176 m2 2,406

All timber and wall finishes immediate decoration

Year 1
Repair Cost (£)

240

Element : Cills CODE : 2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Concrete cills Fair No Action Required В 25 10 5,000 m

BUILDING: Block 01 **UPRN: FLOOR**: Elevations

ROOM: Elevation 003 No: 003/1/E/003 USE:

Element: External walls CODE:2

Replacement **Description** Condition **Action** Cond/Ind Priority L'Expec Quantity Cost (£) Wet Dash No Action Required В 20 7,272 Fair 1 133 m2

> Year 1 Repair Cost (£)

Photo 1



Position Photo 2

Element: External walls CODE:2

Description Window surrounds :cills,lintols

and jambs

Condition

Fair

Action No Action Required Cond/Ind Priority В

L'Expec 35

Quantity 30 m2 Cost (£) 5,331

Replacement

Year 1

Repair Cost (£)

Replacement

Element: Windows CODE:2

Description

4 No. Timber sash and case single glazed (2m2)

Condition

Fair but requires easing of

Action

Carry out easing of

Cond/Ind Priority L'Expec В

10

Quantity 41

Cost (£) m2 16,815

Year 1

Repair Cost (£)

530

11 No.Timber sash and case single glazed (3m2)

Fair but requires repainting

sashes,replace missing ropes etc. sashes,replace missing ropes etc. Refer to decoration

CODE:2 **Element**: Decoration Replacement Condition Cond/Ind Priority L'Expec Quantity Cost (£) **Description Action** Re-decoration Fair but with some cills requiring Redecorate cills as required В 3 3 189 m2 2,583 All timber and wall finishes immediate decoration Year 1 Repair Cost (£) 258 **Element:** Cills CODE:2 Replacement Condition Cond/Ind Priority **Description** L'Expec Quantity Cost (£) Action Concrete cills Fair No Action Required В 25 15 7,500 m Year 1 Repair Cost (£)

STRUCTURE

BUILDING: Block 01 UPRN: FLOOR: Level 2 - Basement Level MacKinley

ROOM: Circulation Area/Stairwell

No: 003/1/-1/001

USE:

Element : Stairs CODE : 4

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete stair Fair No action required B 32 61 m2 20,848

BUILDING: Block 01 UPRN: FLOOR: Level 5 - Second Floor Level

ROOM: Circulation Area No: 003/1/2/001 USE:

Element : Stairs CODE : 4

Replacement

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

No action required Replacement

Timber stair Fair No action required B 35 2 m2 205

BUILDING: Block 01 UPRN: FLOOR: Level 6 - Third Floor Level

ROOM: Gym **No:** 003/1/3/001 USE:

Element: Stairs CODE:4

Replacement Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity 307

Timber stair Fair No action required 12 3 m2 В

BUILDING: Block 01	UPRN: F		R: Structure			
ROOM: Structure	No : 003/1/S	t/St US	SE:			
Element : Frame/Columns	CODE:4					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Brick structure	Fair	No action required	В	40	m2	
						Year 1 Repair Cost (£
Element : Floors	CODE:4					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Timber floors	Fair	No action required	В	40	m2	
						Year 1 Repair Cost (£
Element : Stairs	CODE:4					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	В	40	m2	
						Year 1 Repair Cost (£
Element : Walls	CODE : 4					Danlassmant
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Brick/stone walls	Fair	Carry out structural enginee	eer`s B	40	m2	. ,
	Vertical cracks at stairwell	recommendations				Year 1 Repair Cost (£

ROOMS

BUILDING: Block 01 UPRN: FLOOR: Level 2 - Basement Level MacKinley

ROOM: Circulation Area/Stairwell

No: 003/1/-1/001

USE:

Element : Ceilings CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plasterboard ceiling Fair No Action Required B 20 25 m2 854

Repair Cost (£)

Element: Walls CODE:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Lath & plaster to walls Fair, although slight cracking is Monitor B 5 48 m2 2,624

evident in areas

Element: Walls CODE: 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plaster on hard to walls Fair, although slight cracking is Monitor B 20 102 m2 3,486

evident in areas

Year 1 Repair Cost (£)

Year 1

Year 1

Replacement

Repair Cost (£)

Element: Walls CODE:5 Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity No Action Required 5,331 Plasterboard walls Fair В 20 156 m2 Year 1 Repair Cost (£) **Element:** Doors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) 1 hour fire door set flush Fair No Action Required В 20 No 1,367 Year 1 Repair Cost (£) **Element:** Doors CODE:5 Replacement **Description** Cond/Ind Priority L'Expec Cost (£) Condition Action Quantity Softwood timber flush Poor Provide new 1 hour fire door set С 1 Replace/In 1 No 1,367 Year 1 Repair Cost (£) **Element:** Doors CODE:5 Replacement Condition Cond/Ind Priority L'Expec Quantity Cost (£) Description Action Hardwood timber panelled top & Upgrade door and frame to 1 hour С Replace/In 2 3,000 Poor No Ensure laminated glass, smoke bottom glazed with side frames. seals and intumescent strips Year 1 Repair Cost (£)

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) 1 hour fire door set glazed No Action Required 20 No 5,468 Fair В 4 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Cond/Ind Priority Condition Action L'Expec Quantity Cost (£) Carpet floor finish and nosings No Action Required 76 Fair В 5 m2 3,116 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition **Description** Cond/Ind Priority L'Expec Quantity Cost (£) Action Fair, although slight cracking is Re-decoration Redecorate during next В 2 351 m2 2,879 Emulsion to ceiling and walls; evident in areas maintenance cycle gloss/varnish to timber finishes Year 1 Repair Cost (£)

BUILDING: Block 01	UPRN : No : 003/1/-1/002		LOOR: Level 2 - Basement Level	vel MacKinlo	<u></u>	
ROOM: Circulation Area			USE:			
Element : Ceilings	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	10 m2	341
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	33 m2	1,127
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Carpet floor finish	Fair	No Action Required	В	5	10 m2	410
						Year 1 Repair Cost (£
Element : Decoration	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Re-decoration	Fair	No Action Required	В	2	57 m2	467
Emulsion to ceiling and walls; gloss/varnish to timber finishes						Year 1 Repair Cost (£

BUILDING: Block 01 ROOM: Store	UPRN : No : 003/1/-1/003		LOOR : Level 2 - Basement Le USE :	vel MacKinle	Э у		
Element : Ceilings	CODE:5					Replacement	
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Cost (£) 170	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 28 m2	Cost (£) 956	
						Year 1 Repair Cost (£	
Element : Doors	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367	
						Year 1 Repair Cost (£	
Element : Floors	CODE:5					Panlacament	
Description Sheet Vinyl	Condition Fair	Action No Action Required	Cond/Ind Priority B 4	L'Expec 5	Quantity 5 m2	Replacement Cost (£) 205	
						Year 1 Repair Cost (£	

DescriptionRe-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Condition Fair **Action**No Action Required

Cond/Ind Priority L'Expec B 4 2

L'Expec Quantity 2 35

m2 Cost (£)
287

Year 1 Repair Cost (£)

BUILDING: Block 01 ROOM: Bedroom 101	UPRN : No : 003/1/		FLOOR : Le USE :	evel 2 - Basement Lev	el MacKinley	У	
Element : Ceilings	CODE :5						
Description Plasterboard ceiling	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 16 m2	Replacement Cost (£) 546
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 42 m2	Cost (£)
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)
1 hour fire door set	Fair	No Action Required		В	20	1 No	1,367
							Year 1 Repair Cost (£
Element : Floors	CODE:5						Replacement
Description Carpet floor finish	Condition Poor, worn and stained.	Action Replace		Cond/Ind Priority	L'Expec Replace/In	Quantity 16 m2	Cost (£)
							Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityRe-decorationFairNo Action RequiredB258m2

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

Cost (£)

475

BUILDING: Block 01	UPRN:		FLOOR: Level 2 - Basement Le	evel MacKinl	еу	
ROOM: Toilet 101	No : 003/1/	/-1/005	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Cost (£) 170
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 24 m2	Cost (£) 820
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Vinyl sheet finish (non-slip)	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 5 m2	Cost (£) 205
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB229m2237

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

BUILDING: Block 01			LOOR: Level 2 - Basement	Level MacKinl	ey	
ROOM: Bedroom 102	No : 003/1/	/-1/006	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Prior	ty L'Expec 20	Quantity 16 m2	Cost (£) 546
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Prior B	ty L'Expec 20	Quantity 38 m2	Cost (£) 1,435
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Prior B	ty L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Prior	ty L'Expec 5	Quantity 16 m2	Cost (£) 656
·						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB262m2508

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

No: 003/1/-1/007 CODE:5 tion Action No Action	USE : Cond/Ind F n Required B	Priority L'Exp 20	oec Quant 5	i ty m2	Replacement Cost (£)
tion Action				-	Cost (£)
				-	Cost (£)
					170
					Year 1 Repair Cost (£
CODE:5					Replacement
		Priority L'Exp 20	oec Quant 24	i ty m2	Cost (£) 820
					Year 1 Repair Cost (£
CODE:5					Replacement
		Priority L'Exp 20	oec Quant 1	i ty No	Cost (£) 492
					Year 1 Repair Cost (£
CODE:5					Replacement
		Priority L'Exp 5	oec Quant 4	i ty m2	Cost (£) 164
					Year 1 Repair Cost (£
•	CODE:5 tion Action No Action CODE:5 tion Action	No Action Required B CODE:5 tion Action Cond/Ind F No Action Required B CODE:5 tion Action Cond/Ind F	No Action Required B 20 CODE:5 tion Action Cond/Ind Priority L'Exp No Action Required B 20 CODE:5 tion Action Cond/Ind Priority L'Exp	No Action Required B 20 24 CODE :5 tion Action Cond/Ind Priority L'Expec Quanti No Action Required B 20 1 CODE :5 tion Action Cond/Ind Priority L'Expec Quanti	CODE:5 tion Action Required B 20 24 m2 CODE:5 tion Action No Action Required B 20 L'Expec Quantity 20 1 No CODE:5 tion CODE:5 tion Action Cond/Ind Priority L'Expec Quantity 20 1 No CODE:5

DescriptionRe-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Condition Poor Action Redecorate Cond/Ind Priority L'Expec
C 4 Replace/In

L'Expec Quantity
Replace/In 31

y Cost (£) m2 254

> Year 1 Repair Cost (£)

BUILDING: Block 01 ROOM: Store	UPRN : No : 003/1/-1/008		FLOOR: Level 2 - Basement Le	vel MacKinle	еу —		
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec	Quantity 2 m2	Replacement Cost (£) 68	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	-	Quantity	Cost (£)	
Plasterboard walls	Fair	No Action Required	В	20	12 m2	410	
						Year 1 Repair Cost (£)	
Element : Doors	CODE:5					Replacement	
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 2 No	Cost (£) 984	
						Year 1 Repair Cost (£)	
Element : Floors	CODE:5					Replacement	
Description Carpet sheet finish	Condition Fair	Action No Action Required	Cond/Ind Priority B 4	L'Expec 5	Quantity 2 m2	Cost (£)	
						Year 1 Repair Cost (£)	

DescriptionRe-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Condition Fair **Action**No Action Required

Cond/Ind Priority
B 4

L'Expec Quantity
Replace/In 14

m2 Cost (£)

Year 1 Repair Cost (£)

BUILDING: Block 01 ROOM: Store	UPRN : No : 003/1/-1/009		LOOR: Level 2 - Basement Le	vel MacKinle	Э у	
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 m2	Replacement Cost (£) 34
						Year 1 Repair Cost (f
Element : Walls	CODE :5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 6 m2	Cost (£) 205
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush	Fair	No Action Required	В	20	1 No	492
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Vinyl sheet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B 4	L'Expec 5	Quantity 1 m2	Cost (£)
						Year 1 Repair Cost (£

DescriptionRe-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Condition Fair **Action**No Action Required

Cond/Ind Priority L'Expec
B 4 5

L'Expec Quantity 5 8 r

m2 65 **Year 1**

Cost (£)

Year 1 Repair Cost (£)

BUILDING: Block 01 ROOM: Bedroom 104	UPRN : No : 003/1/		FLOOR : Le USE :	evel 2 - Basement Lev	el MacKinle	y		
Element : Ceilings	CODE :5							
Description Plasterboard ceiling	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 20 n	Replace Cost (£) m2 683	
							Year 1 Repair (Cost (£
Element : Walls	CODE:5						Replace	omont
Description Plasterboard finish	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 49 n	Cost (£) 1,674	
							Year 1 Repair (Cost (£
Element : Doors	CODE:5						Replace	omont
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
1 hour fire door set	Fair	No Action Required		В	20	1 1	No 1,367	•
							Year 1 Repair (Cost (£
Element : Floors	CODE:5						Replace	oment
Description Carpet floor finish	Condition Poor, worn and stained.	Action Replace		Cond/Ind Priority C 4	L'Expec Replace/In	Quantity 20 n	Cost (£) 820	
							Year 1 Repair (Cost (£

DescriptionRe-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

ConditionPoor

Action Redecorate Cond/Ind Priority

L'Expec Qu Replace/In 69

Quantity 69 m2

Replacement Cost (£) 565

Year 1

Repair Cost (£)

BUILDING: Block 01 ROOM: Store 104	UPRN : No : 003/1		FLOOR: Level 2 - Basement Level Mach				
Element : Ceilings	CODE :5						
Description Plasterboard ceiling	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 2 m2	Replacement Cost (£) 68
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required		В	20	9 m2	307
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush	Fair	No Action Required		В	20	1 No	492
							Year 1 Repair Cost (£
Element : Floors	CODE:5						Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Carpet sheet finish	Poor	Replace		C 4	Replace/In	2 m2	82
							Year 1 Repair Cost (£

DescriptionRe-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Condition Fair **Action**No Action Required

Cond/Ind Priority
B 4

L'Expec Quantity
Replace/In 11

m2 90

Year 1 Repair Cost (£)

UPRN:		FLOOR: Level 2 - Basement Level MacKinley				
No : 003/1/	/-1/012	USE:				
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Cost (£) 170	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 19 m2	Cost (£) 649	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 4 m2	Cost (£) 164	
					Year 1 Repair Cost (£	
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Action Action No Action Required Action No Action Required	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action Required B	CODE :5 Condition Fair CODE :5 Condition Action No Action Required CODE :5 Condition Fair Action No Action Required Cond/Ind Priority L'Expec 20 CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action No Action Required Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Cond/Ind Priority L'Expec	CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair Action No Action Required Cond/Ind Priority E'Expec Quantity 19 m2 CODE :5 Condition Fair Action No Action Required B Cond/Ind Priority L'Expec Quantity 1 No 1 No Cond/Ind Priority L'Expec Quantity 1 No CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity L'Expec Quantity L'Expec Quantity L'Expec Quantity L'Expec Quantity L'Expec L'Expec Quantity	

DescriptionRe-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Condition Poor Action Redecorate Cond/Ind Priority

L'Expec Qu Replace/In 23

Quantity 23 m2

Replacement Cost (£)

188

Year 1 Repair Cost (£)

BUILDING : Block 01	UPRN : No : 003/1/-1/013		FLOOR: Level 2 - Basement Level MacKinley			
ROOM: Bedroom 105	No : 003	3/1/-1/013	USE :			
Element : Ceilings Description	CODE : 5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	12 m2	410
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 36 m2	Cost (£) 1,230
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B 4	L'Expec 5	Quantity 12 m2	Cost (£) 492
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB248m2393

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

BUILDING: Block 01	UPRN :		FLOOR: Level 2 - Basement Level MacKinley				
ROOM: Toilet 105	No : 003	/1/-1/014	USE:				
Element : Ceilings	CODE:5					Replacement	
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Cost (£) 136	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 24 m2	Cost (£) 820	
						Year 1 Repair Cost (£	
Element : Doors	CODE:5					Replacement	
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492	
						Year 1 Repair Cost (£	
Element : Floors	CODE:5					Replacement	
Description Vinyl sheet finish (non-slip)	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 4 m2	Cost (£) 164	
						Year 1 Repair Cost (£	

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB228m2229

Re-decoration Fair No Action Required B 2 28 m2 229
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

BUILDING: Block 01			FLOOR: Level 2 - Basement Level MacKinley			
ROOM: Bedroom 103	No : 003	3/1/-1/015	USE:			
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	15 m2	512
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster on hard to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 27 m2	Cost (£) 922
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Cost (£) 170
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£

Element : Floors CODE : 5

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 5 15 m2 615

Year 1
Repair Cost (£)

Element : Decoration CODE : 5

Replacement

Description

Condition

Action

Cond/Ind Priority L'Expec Quantity

Cost (£)

No Action Paguired

Replacement

Cost (£)

Re-decoration Fair No Action Required B 2 53 m2 434 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 01			FLOOR: Level 2 - Basement Level MacKinley			
ROOM: Toilet 103	No : 003/	/1/-1/016	USE:			
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	5 m2	170
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	•	Quantity	Cost (£)
Plaster on hard to walls	Fair	No Action Required	В	20	6 m2	205
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	2 m2	68
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Element : Floors CODE : 5

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 5 4 m2 164

Year 1
Repair Cost (£)

Replacement

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Po description Required Representation Representatio

Re-decoration Fair No Action Required B 2 17 m2 139 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

UPRN : No : 003/1/-1/017		FLOOR: Level 2 - Basement Level MacKinley			
		USE:			
CODE:5	Action	Cond/Ind Priority	l 'Eynec	Quantity	Replacement Cost (£)
Fair	No Action Required	В	20	2 m2	68
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 6 m2	Cost (£) 205
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 2 m2	Cost (£) 68
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE :5 Condition Action No Action Required B L'Expec Fair Action Cond/Ind Priority L'Expec Condition Action Required B Z0 CODE :5 Condition Action Required B Z0	CODE :5 Condition Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity CODE :5 Condition Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity Expec Quantity Solution Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity Expec Quantity Solution Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity Expec Quantity CODE :5 Condition Action Required B L'Expec Quantity CODE :5 Condition Action Required B L'Expec Quantity L'Expec Quantity CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity

Element : Floors CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 2 m2 82

Year 1

Repair Cost (£)

Replacement

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Poor Redecorate C 4 Replace/In 12 m2 98 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 01 ROOM: Circulation Area	UPRN : No : 003/1/0/0		FLOOR: Level 3 - Canongate Street Level Ground USE:			
Element : Ceilings Description Ornate plaster ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 20 m2	Replacement Cost (£) 1,600
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Timber panelling to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 30 m2	Cost (£) 4,000
, and a part of the part of th		·				Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Hardwood timber panelled top & bottom glazed	Poor	Rehang doors and refit floor springs - doors to open in one direction. Consider routering intumescent strips and smoke seals to door edges	C 1	Replace/In	2 No	2,187 Year 1 Repair Cost (£
Element : Floors	CODE :5					Replacement
Description Composite - Terrazzo	Condition Fair, with minor pitt marks in	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 15 m2	Cost (£) 1,845
,	,					Voca 4

Year 1 Repair Cost (£)

isolated areas

Element : Decoration **CODE :** 5

Replacement

Description

Condition

Action

Cond/Ind Priority L'Expec Quantity

Cost (£)

Padescration

Replacement

Replacement

Cost (£)

Re-decoration Fair No Action Required B 2 59 m2 483 Emulsion to ceiling and walls; gloss/varnish to timber finishes

Year 1
Repair Cost (£)

BUILDING: Block 01 ROOM: Dining Area	UPRN: No: 003/1/0/002		FLOOR: Level 3 - Canongate Street Level Ground USE:						
Element : Ceilings	CODE:5							Replacement	
Description Plasterboard ceiling	Condition Fair, although slight cracking is	Action No Action Required		Cond/Ind Priority B	L'Expec 20	Quantity 124	m2	Cost (£) 4,238	
	evident in areas							Year 1 Repair Cost (£)	
Element : Ceilings	CODE:5							Replacement	
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	•	Cost (£)	
Decorative suspended metal frame with timber panels	Fair	No Action Required		В	25	90	m2	4,921	
Traine war amber panels								Year 1 Repair Cost (£)	
Element : Walls	CODE:5							Replacement	
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	•	Cost (£)	
Plasterboard walls	Fair	No Action Required		В	20	126	m2	4,306	
								Year 1 Repair Cost (£)	
Element : Walls	CODE:5							Replacement	
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	,	Cost (£)	
Pre-finished board	Fair	No Action Required		В	12	50	m2	3,417	
								Year 1 Repair Cost (£)	

Element: Floors CODE:5 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) Vinyl sheet floor finish No Action Required В 5 m2 4,265 Fair 104 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Vinyl sheet finish (non-slip) No Action Required В 20 820 Fair 5 m2 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Fair Re-decoration No Action Required В 2 254 m2 2,083 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1

Repair Cost (£)

UPRN:	FLO	FLOOR: Level 4 - First Floor Level			
No : 003/1/	/1/001	USE:			
CODE:5	Antino	One differed Designation	l IF	Overtite	Replacement
Fair	No Action Required	B	20	Quantity 11 m2	Cost (£) 375
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 36 m2	Cost (£) 1,230
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 11 m2	Cost (£) 451
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Action Action No Action Required Action No Action Required	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action Cond/Ind Priority B	CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair CODE :5 Condition Fair CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec 20 L'Expec 20 CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action No Action Required Cond/Ind Priority B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Cond/Ind Priority L'Expec	CODE :5 Condition Fair CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required Cond/Ind Priority B Cond/Ind Priority L'Expec Quantity 11 m2 CODE :5 Condition No Action Required Cond/Ind Priority B CODE :5 Condition Action No Action Required Cond/Ind Priority B Cond/Ind Priority L'Expec Quantity 1 No Action Required B Cond/Ind Priority L'Expec Quantity 1 No Action Required B Cond/Ind Priority L'Expec Quantity 1 No Code:5 Condition Action Cond/Ind Priority L'Expec Quantity L'Expec Quantity L'Expec Quantity L'Expec Quantity L'Expec Quantity L'Expec L'Expec Quantity L'Expec L'Expec Quantity L'Expec Code:5 Condition Action Cond/Ind Priority L'Expec Quantity L'Expec Quantity

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB261m2500

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

No 000		FLOOR: Level 4 - First Floor Level				
NO : 003/	/1/1/002	USE:				
CODE:5	Action	Candlind Driavitu	LIEvnos	Overtitus	Replacement	
Fair	No Action Required	B	20	13 m2	Cost (£) 444	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 36 m2	Cost (£) 1,230	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 13 m2	Cost (£) 533	
					Year 1 Repair Cost (£	
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair No Action Required CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair No Action Fair No Action Fair Action No Action Required	CODE : 5 Condition Action Cond/Ind Priority Fair No Action Required B CODE : 5 Condition Action Cond/Ind Priority Fair No Action Required B CODE : 5 Condition Action Cond/Ind Priority Fair No Action Required B CODE : 5 Condition Action Required B	CODE :5 Condition Fair CODE :5 Condition Action Required CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required B CODE :5 Condition Action Fair CODE :5 Condition Action Fair Action No Action Required B Cond/Ind Priority L'Expec 20 Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Cond/Ind Priority L'Expec	CODE :5 Condition Fair Action No Action Required Cond/Ind Priority B CODE :5 Condition Fair Action No Action Required Cond/Ind Priority B CODE :5 Condition Action No Action Required Cond/Ind Priority B CODE :5 Condition Action Fair Action Cond/Ind Priority L'Expec Quantity 1 No Action Required B Cond/Ind Priority L'Expec Quantity 1 No Cond/Ind Priority L'Expec Quantity 1 No CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity L'Expec Quantity L'Expec Quantity L'Expec	

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Emulsion to ceiling and walls;
gloss/varnish to timber finishes
Replacement
Cost (£)

No Action Required
B
2
53
m2
434

BUILDING: Block 01	UPRN:		LOOR: Level 4 - First Floor Le			
ROOM: Toilet 111	No : 003/	1/1/003	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 6 m2	Cost (£) 205
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Donlooment
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Replacement Cost (£) 492
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB53m2123

Year 1
Repair Cost (£)

Replacement

Replacement

50

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair Make good finish B 4 2 11 m2 90 gloss/varnish to timber finishes

No: 003/1/1/00/CODE:5 Condition Fair	Action No Action Required	USE:	Cond/Ind Priority B	L'Expec 20	Quantit	y m2	Replacement Cost (£) 170
Condition			_	•		•	Cost (£)
			_	•		•	Cost (£)
							170
							Year 1 Repair Cost (£
CODE:5							Replacement
Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 28	y m2	Cost (£) 956
							Year 1 Repair Cost (£
CODE:5							Replacement
Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 12	Quantity 2	y m2	Cost (£) 82
							Year 1 Repair Cost (£
CODE:5							Denlessment
Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 1	y No	Replacement Cost (£) 1,367
							Year 1 Repair Cost (£
	CODE:5 CODE:5 CODE:5 CODE:5	Condition Fair CODE:5 Condition Fair Action No Action Required Action No Action No Action Required CODE:5 Condition Action Action Action Action	Condition Fair CODE:5 Condition Fair Action Action Action No Action Required CODE:5 Condition Action Action	Condition Fair Action No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition Action Cond/Ind Priority Action Cond/Ind Priority CODE:5 Condition Action Cond/Ind Priority	Condition Fair Action No Action Required B CODE:5 Condition Fair Action No Action Required Cond/Ind Priority L'Expec 12 CODE:5 Condition Fair CODE:5 Condition Action Cond/Ind Priority L'Expec 12 Condition Cond/Ind Priority L'Expec 12	Condition Fair No Action Required B CODE:5 Cond/Ind Priority L'Expec Quantit Cond/Ind Priority L'Expec Quantit Cond/Ind Priority L'Expec Quantit Fair No Action Required B CODE:5 Cond/Ind Priority L'Expec Quantit 12 2	Condition Fair Action No Action Required B Cond/Ind Priority B CODE :5 Condition Action Fair Cond/Ind Priority B Cond/Ind Priority L'Expec Quantity L'Expec Quantity B Cond/Ind Priority B CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity L'Expec Quantity CODE :5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Replacement

Year 1

Sheet Vinyl Fair No Action Required B 4 5 5 m2 205

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 4 2 37 m2 303

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

BUILDING: Block 01	UPRN:	FLOOR: Level 4 - First Floor Level				
ROOM: Bedroom 112	No : 003/1/1/005		USE:			
Element : Ceilings	CODE :5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 13 r	Cost (£) n2 444
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 36 r	Cost (£) n2 1,230
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity	Cost (£) No 1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 13 r	Cost (£) n2 533
						Year 1 Repair Cost (£

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Emulsion to ceiling and walls;
gloss/varnish to timber finishes
Replacement
Cost (£)

No Action Required
B
2
53
m2
434

BUILDING: Block 01	UPRN:		OOR: Level 4 - First Floor Level	vel		
ROOM: Toilet 112	No : 003/	/1/1/006	USE:			
Element : Ceilings	CODE :5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 6 m2	Cost (£) 205
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB53m2123

Year 1
Repair Cost (£)

Replacement

Replacement

50

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair Make good finish B 4 2 11 m2 90 gloss/varnish to timber finishes

UPRN :	FLOOR: Level 4 - First Floor Level				
No : 003/1/	1/007	USE :			
CODE:5	Action	Cond/Ind Priority	l 'Eynec	Quantity	Replacement Cost (£)
Fair	No Action Required	В	20	16 m2	546
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required		L'Expec 20	Quantity 58 m2	Cost (£) 1,982
					Year 1 Repair Cost (
CODE:5					Replacement
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Fair	No Action Required	В	20	1 No	1,367
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Poor, worn and stained.	Action Replace	Cond/Ind Priority	L'Expec Replace/In	Quantity 16 m2	Cost (£)
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action Action No Action Required Action No Action Required	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Required B	CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec Fair No Action Required B Cond/Ind Priority L'Expec Condition Action No Action Required B Z0 CODE :5 Condition Action Required B Z1 CODE :5 Condition Action Required B Z0 CODE :5 Condition Action Cond/Ind Priority L'Expec	CODE : 5 Condition Action No Action Required B Cond/Ind Priority L'Expec Quantity Fair No Action Required B Cond/Ind Priority L'Expec Quantity Fair No Action Required B Cond/Ind Priority L'Expec Quantity Fair No Action Required B Cond/Ind Priority L'Expec S M2 CODE : 5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B Cond/Ind Priority L'Expec Quantity Fair No Action Required B Cond/Ind Priority L'Expec Quantity Fair No Action Required B Cond/Ind Priority L'Expec Quantity CODE : 5 Condition Action Cond/Ind Priority L'Expec Quantity

DescriptionRe-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

ConditionFair
Fair, although with flaky paint

ActionMake good finish

Cond/Ind Priority L'Expec B 4 2

Expec Quantity 78

Cost (£) 639

Replacement

Year 1 Repair Cost (£)

50

m2

UPRN :	FL	FLOOR: Level 4 - First Floor Level			
No : 003/	1/1/008	USE:			
CODE :5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Fair	No Action Required	В	20	4 m2	136
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 6 m2	Cost (£) 205
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£)
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Action Action No Action Required Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE :5 Condition Action No Action Required B L'Expec Fair Action Cond/Ind Priority L'Expec Fair No Action Required B Z0 CODE :5 Condition Action Required B Z1 CODE :5 Condition Action Required B Z1 CODE :5 Condition Action Required B Z1 CODE :5 Condition Action Cond/Ind Priority L'Expec	CODE :5 Condition Fair Action No Action Required Cond/Ind Priority B CODE :5 Condition Fair Action No Action Required Cond/Ind Priority B Cond/Ind Priority E'Expec Quantity Condition Fair Action No Action Required B Cond/Ind Priority E'Expec Quantity 6 m2 Condition Fair Action No Action Required B Cond/Ind Priority 12 m2 CODE :5 Condition Action No Action Required Cond/Ind Priority E'Expec Quantity 12 m2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 3 m2 123

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Poor Redecorate C 4 2 12 m2 98 gloss/varnish to timber finishes

BUILDING: Block 01	UPRN:	FLOOR: Level 4 - First Floor Level				
ROOM: Bedroom 114	No : 003/1/1/009		USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 16 n	Cost (£) n2 546
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 58 n	Cost (£) n2 1,982
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 N	Cost (£) No 1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 16 n	Cost (£) n2 656
						Year 1 Repair Cost (£

DescriptionRe-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

ConditionFair
Fair, although with flaky paint

ActionMake good finish

Cond/Ind Priority L'Expec B 4 2

Expec Quantity 78

Cost (£) 639

Replacement

Year 1 Repair Cost (£)

50

m2

N - 000	UPRN: FLOOR: Leve				
No : 003	/1/1/010	USE:			
CODE :5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Cost (£) 170
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 15 m2	Cost (£) 512
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec	Quantity 2 m2	Cost (£) 82
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
	CODE :5 Condition Fair CODE :5 Condition Fair CODE :5 Condition Fair CODE :5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair Action Cond/Ind Priority Fair Action Cond/Ind Priority	CODE : 5 Condition Action No Action Required B CODE : 5 Condition Action Cond/Ind Priority L'Expec Fair No Action Required B CODE : 5 Condition Action Required B CODE : 5 Condition Action Cond/Ind Priority L'Expec Fair No Action Required B CODE : 5 Condition Action Cond/Ind Priority L'Expec Fair No Action Required B CODE : 5 Condition Action Cond/Ind Priority L'Expec	CODE :5 Condition Action No Action Required B

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 5 m2 205

Repair Cost (£)

Replacement

Year 1

50

Element : Decoration CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 4 2 22 m2 180 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

UPRN:	FLOOR: Level 4 - First Floor Level					
No : 003/1/	/1/011	USE:				
CODE : 5						Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 12	y m2	Cost (£) 410
						Year 1 Repair Cost (£
CODE:5						Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 26	y m2	Cost (£) 888
						Year 1 Repair Cost (£
CODE:5						Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1	y No	Cost (£) 1,367
						Year 1 Repair Cost (£
CODE:5						Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 15	/ m2	Cost (£) 615
						Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair Action No Action No Action Required CODE :5 Condition Action Action No Action Required	CODE :5 Condition Action No Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Required Cond/Ind Priority B	CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec Fair Action Cond/Ind Priority L'Expec Fair No Action Required B Cond/Ind Priority L'Expec Fair No Action Required B Cond/Ind Priority L'Expec Fair No Action Required B Cond/Ind Priority L'Expec Condition Action Required B Cond/Ind Priority L'Expec Fair No Action Required Cond/Ind Priority L'Expec Condition Action Cond/Ind Priority L'Expec Condition Action Cond/Ind Priority L'Expec	CODE:5 Condition Action No Action Required B 20 12 CODE:5 Condition Action No Action Required B 20 20 CODE:5 Condition Action No Action Required B 20 26 CODE:5 Condition Action No Action Required B 20 26 CODE:5 Condition Action Required B 20 1	CODE :5 Condition Fair CODE :5 Condition No Action Required CODE :5 Condition Fair CODE :5 Condition Action No Action Required CODE :5 Condition Fair Action No Action Required Cond/Ind Priority E'Expec Quantity 20 Quantity 1 No 1 No 1 No 20 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity 1 No 1 No CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity 1 No

Description Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes Condition Poor

Action Redecorate Cond/Ind Priority L'Expec С 4

Replace/In 42

Quantity m2 Replacement Cost (£) 344

UPRN : No : 003/1/1/011A		LOOR: Level 4 - First Floor Lo			
		USE:			
CODE:5 Condition	Action	•	•	Quantity	Replacement Cost (£)
Fair	No Action Required	В	20	2 m2	68
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 8 m2	Cost (£) 273
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 2 m2	Cost (£) 82
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Action Action No Action Required	CODE : 5 Condition Action Cond/Ind Priority Fair No Action Required B CODE : 5 Condition Action Cond/Ind Priority Fair No Action Required B CODE : 5 Condition Action Cond/Ind Priority Fair No Action Required B CODE : 5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair Action Cond/Ind Priority L'Expec 20 CODE :5 Condition Fair Action No Action Required CODE :5 Condition Action Fair Action No Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Cond/Ind Priority L'Expec	CODE :5 Condition Fair Action No Action Required Cond/Ind Priority B CODE :5 Condition Fair Action No Action Required Cond/Ind Priority B CODE :5 Condition Action No Action Required Cond/Ind Priority B Cond/Ind Priority L'Expec Quantity B CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec Quantity 1 No Cond/Ind Priority L'Expec Quantity 1 No Code Code Code Code Code Code Code Cod

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB214m2114

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

No : 003/	1/1/012	USE:			
CODE:5					
Condition	Action	Cond/Ind Priorit	u l'Evnoc	Quantity	Replacement Cost (£)
Fair	No Action Required	В	20 20	6 m2	205 205
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priorit B	y L'Expec 20	Quantity 10 m2	Cost (£) 341
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priorit B	y L'Expec 12	Quantity 8 m2	Cost (£) 328
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priorit B	y L'Expec 20	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action No Action Required CODE:5 Condition Action Action Action Action Action Action Action	Condition Fair CODE:5 Condition Fair Action Cond/Ind Priority Fair CODE:5 Condition Action Required B CODE:5 Condition Action No Action Required B CODE:5 Condition Action Cond/Ind Priority Fair CODE:5 Condition Action Cond/Ind Priority B	Condition Action Cond/Ind Priority L'Expec 20 20 CODE :5 Condition Action Cond/Ind Priority L'Expec Fair No Action Required B 20 CODE :5 Cond/Ind Priority L'Expec Fair No Action Required B 12 CODE :5 Condition Action Cond/Ind Priority L'Expec	Condition Fair Action No Action Required Cond/Ind Priority B L'Expec 20 Quantity 6 m2 CODE :5 Condition Fair Action No Action Required Cond/Ind Priority B L'Expec 20 Quantity 10 m2 CODE :5 Condition Fair Action No Action Required Cond/Ind Priority B L'Expec 12 Quantity 8 m2 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 5 m2 205

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration **CODE :**5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 18 m2 147

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

UPRN : No : 003/1/2/001		OOR: Level 5 - Second Floor			
		USE:			
CODE:5					Replacement
Condition Fair	Action No Action Required	B Cond/Ind Priority	L'Expec 20	-	Cost (£) n2 751
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 72 r	Cost (£) n2 2,460
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity	Cost (£) No 1,367
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 22 r	Cost (£) n2 902
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair Action No Action Required Action No Action Required Action	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action Cond/Ind Priority B	CODE :5 Condition Fair CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required Cond/Ind Priority L'Expec 20 CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required Cond/Ind Priority L'Expec 20 CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Cond/Ind Priority L'Expec	CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec Quantity Fair No Action Required B Cond/Ind Priority L'Expec Quantity Fair No Action Required B Cond/Ind Priority L'Expec Quantity Fair No Action Required B Cond/Ind Priority L'Expec Quantity Fair No Action Required B Z0 72 n CODE :5 Condition Action Required B Z0 1 n CODE :5 Condition Action Required B Z0 Quantity Fair No Action Required B Z0 Quantity CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB294m2771

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

BUILDING: Block 01	UPRN: No: 003/1/2/002		LOOR : Level 5 - Second Floor			
ROOM: Bedroom 121			USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 13 m2	Cost (£) 444
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 6 m2	Cost (£) 205
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster on hard to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 21 m2	Cost (£) 717
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Carpet floor finishFairNo Action RequiredB513m2533

Year 1 Repair Cost (£)

Replacement

Replacement

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Representation Required Required Representation (Action Required Representation (Action Required Representation (Action Required Representation (Action Rep

Re-decoration Fair No Action Required B 2 44 m2 360 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 01	UPRN: No: 003/1/2/003		LOOR: Level 5 - Second Floor			
ROOM: Toilet 121			USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Cost (£) 136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Danlasamant
Description Plaster on hard to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 2 m2	Replacement Cost (£) 68
						Year 1 Repair Cost (£

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority Cost (£) **Description** Action L'Expec Quantity Softwood timber flush No Action Required В 20 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Vinyl sheet finish (non-slip) Fair No Action Required В m2 123 5 3 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Description L'Expec Quantity Cost (£) Fair Re-decoration No Action Required В 4 2 11 m2 90 Emulsion to ceiling and walls;

Year 1

Repair Cost (£)

gloss/varnish to timber finishes

BUILDING: Block 01 ROOM: Store 126	UPRN : No : 003/1/2/004		FLOOR: Level 5 - Second Floor Level USE:					
Element : Ceilings	CODE : 5							
Description Plasterboard ceiling	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantit 5	y m2	Replacement Cost (£) 170
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Donlacoment
Description Plasterboard walls	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 14	y m2	Replacement Cost (£) 478
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description Lining board to walls	Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 12	Quantity 2	y m2	Cost (£)
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Donlosomont
Description Plaster on hard to walls	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 14	y m2	Replacement Cost (£) 478
								Year 1 Repair Cost (£

Element: Doors CODE:5 Replacement Condition Action Cond/Ind Priority L'Expec Cost (£) **Description** Quantity 1 hour fire door set Fair No Action Required В 20 No 1,367 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Sheet Vinyl Fair No Action Required В m2 205 4 5 5 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Re-decoration Fair 37 303 No Action Required В 4 2 m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1

Repair Cost (£)

BUILDING: Block 01	UPRN:	FLOOR: Level 5 - Second Floor Level				
ROOM: Bedroom 122	No : 003	/1/2/005	USE :			
Element : Ceilings	CODE :5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 13 m2	Cost (£) 444
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	6 m2	205
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster on hard to walls	Fair	No Action Required	В	20	21 m2	717
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Carpet floor finishFairNo Action RequiredB513m2533

Year 1 Repair Cost (£)

Replacement

Replacement

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Representation Required Required Representation (Action Required Representation Re

Re-decoration Fair No Action Required B 2 44 m2 360 Emulsion to ceiling and walls;

			Replacement
iority L'Exped 20	Quantit	: y m2	Cost (£) 136
			Year 1 Repair Cost (£
			Replacement
iority L'Expec	Quantit 5	m2	Cost (£) 170
			Year 1 Repair Cost (£
			Replacement
iority L'Exped	Quantit	y m2	Cost (£) 82
			Year 1 Repair Cost (£
			Replacement
iority L'Expec	Quantit	y m2	Cost (£)
			Year 1 Repair Cost (£
	12	12 2 riority L'Expec Quantit	12 2 m2

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority Cost (£) **Description** Action L'Expec Quantity Softwood timber flush No Action Required В 20 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Vinyl sheet finish (non-slip) No Action Required В m2 123 Fair 5 3 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Fair 13 Re-decoration No Action Required В 4 2 m2 106 Emulsion to ceiling and walls;

Year 1

Repair Cost (£)

gloss/varnish to timber finishes

BUILDING: Block 01	UPRN:	Fl	OOR: Level 5 - Second Floor			
ROOM: Bedroom 123	No : 003/	1/2/007	USE:			
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	17 m2	581
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 18 m2	Cost (£) 615
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster on hard to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 18 m2	Cost (£) 615
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Carpet floor finishFairNo Action RequiredB517m2697

Year 1 Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

Replacement

Description

Condition

Action

Cond/Ind Priority L'Expec Quantity

Cost (£)

No Action Required

Replacement

Cost (£)

Re-decoration Fair No Action Required B 2 57 m2 467 Emulsion to ceiling and walls;

BUILDING: Block 01	UPRN :		LOOR: Level 5 - Second Floo			
ROOM: Toilet 123	No : 003/	/1/2/008	USE:			
Element : Ceilings	CODE :5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Cost (£) 136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 8 m2	Cost (£) 273
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Donlocoment
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Replacement Cost (£) 492
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB53m2123

Year 1

Replacement

Repair Cost (£)

Replacement

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Poor Redecorate C 4 Replace/In 14 m2 114 Emulsion to ceiling and walls;

BUILDING: Block 01	UPRN:	FLOOR: Level 5 - Second Floor Level				
ROOM: Bedroom 124	No : 003/	/1/2/009	USE :			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 17 m2	Cost (£) 581
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	22 m2	751
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster on hard to walls	Fair	No Action Required	В	20	13 m2	444
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367
						Year 1 Repair Cost (£

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 5 17 m2 697

Year 1
Repair Cost (£)

Replacement

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 56 m2 459 Emulsion to ceiling and walls;

UPRN :		LOOR: Level 5 - Second Floo			
No : 003/	/1/2/010	USE:			
CODE : 5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Cost (£) 170
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 15 m2	Cost (£) 512
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£)
					Year 1 Repair Cost (£
CODE:5					Panlacoment
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Replacement Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition Action Fair No Action No Action Required CODE:5 Condition Action Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B L'Expec 12 CODE :5 Condition Action Required B L'Expec 12	CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair Action No Action Required Cond/Ind Priority E'Expec Quantity 15 m2 CODE :5 Condition Action No Action Required B CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity 2 m2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 5 m2 205

Repair Cost (£)

Replacement

Year 1

50

Element : Decoration CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 4 2 22 m2 180 Emulsion to ceiling and walls;

BUILDING: Block 01	UPRN:	FLOOR: Level 6 - Third Floor Level						
ROOM: Gym	No : 003/1/3	3/001	USE:					
Element : Ceilings	CODE:5							Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required		d/Ind Priority B	L'Expec 20	Quantit 116	y m2	Cost (£) 3,964
r lactor board coming	T dil	110 / totton resquired			20	110	2	
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description	Condition	Action	Con	d/Ind Priority	L'Expec	Quantit	у	Cost (£)
Painted stone wall	Fair	No Action Required		В	32	27	m2	4,429
								Year 1 Repair Cost (£
Element : Floors	CODE:5							Replacement
Description	Condition	Action	Con	d/Ind Priority	L'Expec	Quantit	у	Cost (£)
Carpet floor finish	Fair	No Action Required		B 4	5	96	m2	3,937
								Year 1 Repair Cost (£
Element : Decoration	CODE:5							Panlacement
Description	Condition	Action	Con	d/Ind Priority	L'Expec	Quantit	у	Replacement Cost (£)
Re-decoration	Fair	No Action Required		B 4	2	149	m2	287
Emulsion to ceiling and walls; gloss/varnish to timber finishes								Year 1 Repair Cost (£

FIXTURES & FITTINGS

BUILDING: Block 01 UPRN: FLOOR: Level 2 - Basement Level MacKinley

ROOM: Store **No**: 003/1/-1/008 **USE**:

Element : Shelving CODE : 6

Replacement Condition Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber shelving Fair No action required B 20 2 m 54

BUILDING: Block 01 UPRN: FLOOR: Level 2 - Basement Level MacKinley

ROOM: Store **No**: 003/1/-1/009 **USE**:

Element: Shelving **CODE**:6

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber shelving Fair No action required B 20 1 m 27

BUILDING: Block 01 UPRN: FLOOR: Level 2 - Basement Level MacKinley

ROOM: Store 104 **No**: 003/1/-1/011 **USE**:

Element: Shelving **CODE**:6

Replacement

Description

Condition

Action

Cond/Ind Priority L'Expec Quantity

Cost (£)

Timber shelving Fair No action required B 20 2 m 54

SANITARY

BUILDING: Block 01 UPRN: FLOOR: Level 2 - Basement Level MacKinley

ROOM: Toilet 101 **No**: 003/1/-1/005 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Replacement

Replacement

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Element: Showers **CODE**:7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Shower cabinet with ceramic tiled Fair No action required B 15 1 No 1,148 walls and glazed door

BUILDING: Block 01 **UPRN:** FLOOR: Level 2 - Basement Level MacKinley ROOM: Toilet 102 **No**: 003/1/-1/007 USE: Element: WC CODE:7 Replacement Condition Action Cond/Ind Priority Cost (£) **Description** L'Expec Quantity Ceramic WC cistern and bowl Fair No action required В 20 1 328 No Year 1 Repair Cost (£)

Element : Basins CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Element : Showers **CODE :** 7

Replacement

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Shower cabinet with prefinished Fair No action required B 15 1 No 1,148

board walls and glazed door

Year 1

Repair Cost (£)

BUILDING: Block 01 **UPRN:** FLOOR: Level 2 - Basement Level MacKinley ROOM: Toilet 104 **No**: 003/1/-1/012 USE: Element: WC CODE:7 Replacement Condition Action Cond/Ind Priority Cost (£) **Description** L'Expec Quantity Ceramic WC cistern and bowl Fair No action required В 20 1 328 No Year 1 Repair Cost (£) **Element**: Basins CODE:7 Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) Ceramic WHB No action required 20 328 Fair В No Year 1 Repair Cost (£)

Element : Showers **CODE :** 7

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Shower cabinet with prefinished No action required 15 1,148 Fair В No board walls and glazed door

BUILDING: Block 01 **UPRN:** FLOOR: Level 2 - Basement Level MacKinley ROOM: Toilet 105 No: 003/1/-1/014 USE: Element: WC CODE:7 Replacement Condition Action Cond/Ind Priority Cost (£) **Description** L'Expec Quantity Ceramic WC cistern and bowl Fair No action required В 20 1 328 No Year 1 Repair Cost (£) **Element**: Basins CODE:7 Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) Ceramic WHB No action required 20 328 Fair В No Year 1

Element : Showers CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Shower cabinet with prefinished Fair No action required B 15 1 No 1,148

board walls and glazed door

Fair No action required B 15 1 No

Year 1 Repair Cost (£)

Repair Cost (£)

BUILDING: Block 01 **UPRN:** FLOOR: Level 2 - Basement Level MacKinley ROOM: Toilet 103 USE: No: 003/1/-1/016 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 20 Ceramic WHB Fair В Nο 328 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cabinet with prefinished No action required 1,148 Fair В 15 No board walls and glazed door Year 1 Repair Cost (£) **Element:** Sinks CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic sink No action required В 10 Fair No 328 Year 1 Repair Cost (£)

ROOM: Toilet 111 **No**: 003/1/1/003 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Year 1

Replacement

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Element : Showers **CODE :** 7

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

No action required
B
15
1
No 1,148

Shower cabinet with prefinished Fair No action required B 15 1 No board walls and glazed door

ROOM: Store 117 **No**: 003/1/1/004 **USE**:

Element : Sinks CODE : 7

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Stainless steel sink Fair No action required B 10 1 No 328

ROOM: Toilet 112 **No**: 003/1/1/006 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Year 1

Replacement

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Element: Showers **CODE**:7

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

No action required
B
15
1
No 1,148

Shower cabinet with prefinished Fair No action required B 15 1 No board walls and glazed door

BUILDING: Block 01 **UPRN:** FLOOR: Level 4 - First Floor Level ROOM: Toilet 113 USE: No: 003/1/1/008 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) No action required 20 328 Ceramic WHB Fair В No Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 1,148 Shower heads/mixer valve Fair В 15 No Year 1 Repair Cost (£) CODE:7 Element: Baths Replacement Cond/Ind Priority L'Expec Quantity Cost (£) **Description** Condition Action Ceramic bath Fair No action required В 20 No 656 Year 1 Repair Cost (£)

ROOM: Toilet 114 **No**: 003/1/1/010 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Replacement

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Element : Showers **CODE :** 7

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Shower cabinet with prefinished Fair No action required B 15 1 No 1,148 board walls and glazed door

BUILDING: Block 01 **UPRN:** FLOOR: Level 4 - First Floor Level ROOM: Toilet 115 USE: No: 003/1/1/012 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) No action required 20 328 Ceramic WHB Fair В No Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 1,148 Shower heads/mixer valve Fair В 15 No Year 1 Repair Cost (£) CODE:7 Element: Baths Replacement Cond/Ind Priority L'Expec Quantity Cost (£) **Description** Condition Action Ceramic bath Fair No action required В 20 No 656 Year 1 Repair Cost (£) **BUILDING**: Block 01 **UPRN**: **FLOOR**: Level 5 - Second Floor Level

ROOM: Toilet 121 **No**: 003/1/2/003 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Year 1

Replacement

Replacement

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Element : Showers CODE : 7

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Shower cabinet with prefinishedFairNo action requiredB151No1,148

Shower cabinet with prefinished Fair No action required B 15 1 No board walls and glazed doors

BUILDING: Block 01 UPRN: FLOOR: Level 5 - Second Floor Level

ROOM: Store 126 **No:** 003/1/2/004 USE:

Element : Sinks CODE:7

Replacement Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity 328

Stainless steel sink Fair No action required 10 No В 1

BUILDING: Block 01 UPRN: FLOOR: Level 5 - Second Floor Level

ROOM: Toilet 122 **No**: 003/1/2/006 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Year 1

Replacement

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Element: Showers **CODE**:7

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Shower cabinet with prefinished Fair No action required B 15 1 No 1,148

Shower cabinet with prefinished Fair No action required B 15 1 No board walls and glazed doors

BUILDING: Block 01 **UPRN:** FLOOR: Level 5 - Second Floor Level ROOM: Toilet 123 USE: No: 003/1/2/008 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) No action required 20 328 Ceramic WHB Fair В No Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 1,148 Shower heads/mixer valve Fair В 15 No Year 1 Repair Cost (£) CODE:7 Element: Baths Replacement Cond/Ind Priority L'Expec Quantity Cost (£) **Description** Condition Action Ceramic bath Fair No action required В 20 No 656 Year 1 Repair Cost (£) BUILDING: Block 01 UPRN: FLOOR: Level 5 - Second Floor Level

ROOM: Toilet 124 **No**: 003/1/2/010 **USE**:

Element: WC CODE:7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Year 1

Replacement

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Element : Showers **CODE :** 7

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

No action required
B
15
1
No 1,148

Shower cabinet with prefinished Fair No action required B 15 1 No board walls and glazed door

HEALTH & SAFETY

BUILDING: Block 01 UPRN: FLOOR: Level 2 - Basement Level MacKinley

ROOM: Circulation Area/Stairwell No: 003/1/-1/001 USE:

Element : Health & Safety Matters CODE : 8

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Inadequate barriers to glazing at No barrier to windows on stairwell Provide guards C 1 Replace/In 1 Item 900

low level

MECHANICAL SERVICES

BUILDING: Block 01 UPRN: FLOOR: M&E

ROOM: M&E No: 003/1/M&E/ USE:

Element: Gas Heating System **CODE: 13**

Description

Heating was provided by 2 Ideal Vicerov Gas fired boilers located in the Whiteford block. Hot water from system was pumped round the bld to a number of convection radiators, by a Biral pumping setup.

Condition The heating and its associated equipment were in fair condition. It was noted that throughout the building a number of TRV's are missing from the radiators.

Action

Continue maintenance It is recommended that the TRV's are replaced.

Cond/Ind Priority L'Expec В

Quantity 15

Replacement Cost (£) 10,000

> Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element: Extraction System **CODE: 13**

Description

There was a mix of Xodus and Vent Axia single point extractors in use within the toilets in the

Condition

The condition of these were fair

Action

Continue Maintenance

Cond/Ind Priority

В

L'Expec 15

Quantity

Replacement Cost (£) 3.000

Year 1

Repair Cost (£)

resident's rooms.

with no defects noted.

Element : Domestic Hot Water

Description

Hot water was provided by the main boilers to a large Calorfier within the boiler room., the water was pumped throughout the bld by Biral pumps. **CODE:** 13

Condition

The condition of this was fair with no defects noted.

Continue Maintenance

Action

Cond/Ind Priority L'Expec Quantity В 15

Replacement Cost (£) 10,000

ELECTRICAL SERVICES

BUILDING: Block 01 FLOOR: M&E UPRN:

ROOM: M&E No: 003/1/M&E/ USE:

Element: Mains Distribution **CODE: 14**

Description Power distribution was via a mix of Wylex. GET and Dorman Smith DBs located around the

bld. Wiring was contained within trunking. This also houses the IT & Telephone system.

the bld.

Condition All were in a fair condition with no Continue Maintenance evidence of extension leads and 3- extensions is reviewed and the way adapters in use throughout

defects noted. However there was It is recommended that the use of removal of 3-way adapters is considered.

В

L'Expec Quantity Cond/Ind Priority 20

40.000 Year 1 Repair Cost (£)

Cost (£)

Replacement

Photo 1



Photo 2 **Position**

Action

Element: Light Fittings Internal **CODE: 14**

Description

In the main this was a mix of T5, T8, (fitted with anti glare diffusers) 2D, CFL, tungsten and halogen fittings. Some corridors were

Condition Action The condition of the system was Continue maintenance Cond/Ind Priority L'Expec Quantity В

20

Replacement Cost (£) 25,000

Year 1

Repair Cost (£)

controlled by PIR's, all other lighting were manually controlled. fair with no defects noted

This survey did not look at system compliance, a further lighting compliance survey would be required.

Element: Light Fittings Internal **CODE: 14** Replacement Cond/Ind Priority L'Expec Cost (£) Condition Action **Description** Quantity This consisted of a mix of The condition of the system was Continue maintenance В 20 8,000 maintained and non-maintained fair with no defects noted. This survey did not look at self contained fittings. system compliance, a further Year 1 lighting compliance survey would Repair Cost (£) be required.

Element: Light Fittings External

Description

This consisted of a number of SON bulkhead fittings located around the boundary wall, these are controlled by timers.

CODE: 14

Condition

The condition of the lighting and Continue Maintenance

its associated equipment was fair with no defects noted.

Action

This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind Priority L'Expec В

20

Replacement Cost (£) Quantity 1.500

Year 1

Repair Cost (£)

Element: Fire Alarms **CODE**:14 Replacement Condition Action Cond/Ind Priority L'Expec Cost (£) **Description** Quantity An automatic system consisting of a number of break glass The condition of the system was fair with no defects noted.

Continue Maintenance.
This survey did not loo В 20 10,000 This survey did not look at system compliance, a further in depth compliance survey would manual call points, detectors and audible alarms connected to the Year 1 Repair Cost (£)

be required.

main 3404 fire alarm control

panel.

ROOFS

BUILDING: Block 02 **UPRN:** FLOOR: Roof

ROOM: Roof No: 003/2/R/001 USE:

Element: Covering CODE:1

Description Condition Natural slate

Fair, although slipped slates in

isolated areas

Action

Refix slipped slates

Cond/Ind Priority

В

32

L'Expec Quantity

172 m2 Replacement Cost (£)

21,162

Year 1 Repair Cost (£)

2,000

Photo 1



Photo 2



Position



Element: Structure CODE:1

Description

Timber joists and rafters

Condition

Fair

Action

No action required

Cond/Ind Priority

В

L'Expec Quantity 32

172

Cost (£) 14,108 m2

Year 1

Repair Cost (£)

Replacement

Element : Flashings CODE : 1

Replacement Condition Action Cond/Ind Priority L'Expec **Description** Quantity Cost (£) Lead (inc. in roof) Fair No action required В 32 28 2,105 m

> Year 1 Repair Cost (£)

Element : Flashings CODE : 1

Replacement **Description** Cond/Ind Priority L'Expec Cost (£) Condition Action Quantity Zinc ridge piece Fair No action required В 32 20 1,503 m

> Year 1 Repair Cost (£)

Element : Rainwater goods CODE : 1

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Cast iron gutters and downpipesFairNo action requiredB1090m6,151

Year 1 Repair Cost (£)

Replacement

Photo 1



Photo 2 Position

Element: Chimney stacks/flues CODE:1 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) No action required 32 2 10,000 Brick / render Fair В No. Year 1 Repair Cost (£) **Element**: Decoration CODE:1 Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) Painterwork to gutters and No action required 2,000 Fair В 2 90 m2 downpipes Year 1 Repair Cost (£) **Element:** Roof Lights CODE:1 Replacement **Description** Condition Cond/Ind Priority L'Expec Quantity Cost (£) Action 2 no. Velux windows 15 Fair No action required В 2 1,200 Year 1 Repair Cost (£) **Element:** Roof Lights CODE:1 Replacement Condition Action Cond/Ind Priority L'Expec **Description** Quantity Cost (£) 2 no. rooflights Fair, although showing signs of No action required В 5 2 age Year 1 Repair Cost (£)

WALLS

BUILDING: Block 02 **UPRN: FLOOR**: Elevations

ROOM: Elevation No: 003/2/E/001 USE:

Element: External walls CODE:2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Render finish (wet-dash) No Action Required В 10 12,500 Fair 179 m2

> Year 1 Repair Cost (£)

Photo 1



Photo 2 **Position**

Element: Windows CODE:2

Description

Timber softwood sash and case single-glazed windows

Fair, although general overhaul required, including repairs and replacement of missing and snapped sash ropes

Condition

Action

Overhaul windows

Cond/Ind Priority L'Expec В

10

Quantity 28 m2 Cost (£) 11,483

Year 1 Repair Cost (£)

Replacement

2,000

Photo 1



Photo 2



Position



Element : Doors CODE:2

Condition Description

Softwood timber panelled doors

Action

No Action Required

Cond/Ind Priority

В

Quantity 2

No. 1,968

> Year 1 Repair Cost (£)

Replacement

Cost (£)

Element: Decoration CODE:2

Description Masonry paint Condition Fair

Fair

Action

No Action Required

Cond/Ind Priority В

L'Expec 2

L'Expec

10

Quantity 179 m2 Replacement Cost (£) 2,447

Year 1

Repair Cost (£)

Element: Decoration CODE:2

Condition **Description**

Painterwork to windows and doors Fair

Action

No Action Required

Cond/Ind Priority L'Expec

В

Quantity 28

m2

Replacement Cost (£)

382

Year 1

Repair Cost (£)

Element: Other CODE:2

Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity 3,000

Timber entrance canopy with lead Fair No Action Required В 32 covering

Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

Element: Cills CODE:2

Replacement Condition Action Cond/Ind Priority **Description** L'Expec Quantity Cost (£) Concrete cills Fair No Action Required В 25 14 7,000 m

BUILDING: Block 02 UPRN: FLOOR: Elevations

ROOM: Elevation No: 003/2/E/002 USE:

Element : External walls CODE : 2

Replacement Condition Cost (£) **Description** Action Cond/Ind Priority L'Expec Quantity Render finish (wet-dash) Fair No Action Required В 10 192 13,000 m2

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position



Element: Windows CODE: 2

Description

Timber softwood sash and case single-glazed windows

Condition

Fair, although general overhaul required, including repairs and replacement of missing and snapped sash ropes

Action

Overhaul windows

Note: Provisional sum included

Cond/Ind Priority L'Expec

B 4 10 36 m2

Quantity

Replacement Cost (£) 14,764

Photo 1



Photo 2 Position

Element : Doors CODE : 2

Description1 no. Softwood timber panelled

ConditionFair

ActionNo Action Required

Cond/Ind Priority
B

L'Expec Qui

Quantity 3 No.

Replacement Cost (£) 2,952

Year 1

Repair Cost (£)

1 no. Softwood timber flush door

1 no. Softwood timber louvred door

Photo 1

door



Photo 2





Element : Decoration CODE : 2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Masonry paint Fair No Action Required В 2 192 m2 2,624

> Year 1 Repair Cost (£)

> > Replacement

Element : Decoration CODE : 2

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)
Painterwork to windows and doors Fair No Action Required B 6 m2 82

Year 1 Repair Cost (£)

Element : Cills CODE : 2

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Concrete cillsFairNo Action RequiredB2525m12,500

EXTERNAL GROUNDS

BUILDING: Block 02 UPRN: FLOOR: External Grounds

ROOM: External Grounds No: 003/2/EG/EG USE:

Element: Roads & Parking Areas CODE:3

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Tarmacadam roads and parking No Action Required В 628 51,512 Fair 15 m2

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position



Element: Underground Drainage CODE:3

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantitySurface and foul water drainageFairNo Action RequiredB351

Year 1 Repair Cost (£)

Replacement

Cost (£)

Element: Paths & Paving CODE:3

Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Concrete slab paths/paving Fair No Action Required В 10 438 m2 29,939

> Year 1 Repair Cost (£)

Photo 1 📓



Photo 2



Position



CODE:3 Element: Paths & Paving

Description Condition **Action** Concrete paths Fair, although slight cracking in areas

Make good finish

Cond/Ind Priority В 10

L'Expec Quantity 236

Replacement Cost (£) 9,679 m2

Photo 1



Photo 2



Position



Element: Paths & Paving

CODE:3 **Description**

Concrete slab crazy paving, including stepped slabbing

Condition

Fair

No Action Required

Action

Cond/Ind Priority В

L'Expec 10

Quantity 220 m2

Replacement Cost (£) 15,038

Year 1

Repair Cost (£)

Photo 1



Photo 2



Position



CODE:3 **Element :** Paths & Paving

Description Monoblock paths/paving Condition Fair

Action No Action Required Cond/Ind Priority В

L'Expec 15

Quantity 16 m2

Replacement Cost (£) 874

Year 1 Repair Cost (£)

Photo 1



Photo 2

Element: Paths & Paving CODE:3

Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Timber finish Fair No Action Required В 15 20 m2 820

> Year 1 Repair Cost (£)

Photo 1 Photo 2 Position



Element: Steps/ramps CODE:3

Replacement Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Concrete steps/ramps Fair No Action Required В 20 68 m2 13,944

> Year 1 Repair Cost (£)

Photo 1



Photo 2





Element : Handrails CODE : 3

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Metal handrails Fair No Action Required В 15 10 683 m

> Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element: Boundary fencing/walls

DescriptionCommon brick/render with cope

ConditionFair, although render repairs required in areas

CODE:3

ActionRepair damaged areas

Cond/Ind Priority
B

L'Expec Qu 20 45

Quantity 452 m2

Replacement Cost (£) 43,255

Year 1

Repair Cost (£)

Photo 1



Photo 2





Element: Boundary fencing/walls CODE:3

Replacement Condition Description Action Cond/Ind Priority L'Expec Cost (£) Quantity Metal railings Fair No Action Required В 15 46 5,030 m

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

Element : Boundary fencing/walls

CODE:3

Description Sandstone boundary wall Condition Fair

Action No Action Required Cond/Ind Priority L'Expec В

20 66

Cost (£) Quantity m2 27,068

> Year 1 Repair Cost (£)

Replacement

Photo 1



Photo 2



Position

Element : Boundary fencing/walls CODE : 3

Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Brick retaining wall Fair No Action Required В 20 120 m2 26,248

> Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element: Boundary fencing/walls **CODE**:3

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Metal gatesFairNo Action RequiredB157m7,000

Year 1 Repair Cost (£)

Photo 1



Photo 2





STRUCTURE

BUILDING: Block 02 UPRN: FLOOR: Level 1 - Calton Road Street Level

ROOM: Circulation Area/Stairwell **No**: 003/2/-2/001 **USE**:

Element : Stairs CODE : 4

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete stair Fair No action required B 40 72 m2 24,607

BUILDING: Block 02 UPRN: FLOOR: Level 4 - First floor level

ROOM: Circulation Area/Stairs No: 003/2/1/002 USE:

Element : Stairs CODE : 4

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete stair Fair No action required B 40 4 m2 1,367

BUILDING: Block 02 UPRN: FLOOR: Level 5 - Second floor level

ROOM: Circulation Area **No**: 003/2/2/001 **USE**:

Element : Stairs CODE : 4

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete stair Fair No action required B 40 4 m2 1,367

BUILDING: Block 02 UPRN: FLOOR: Level 5 - Second floor level

ROOM: Circulation Area No: 003/2/2/002 USE:

Element : Stairs CODE : 4

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete stair Fair No action required B 40 4 m2 1,367

BUILDING: Block 02 **UPRN**: **FLOOR**: Level 5 - Second floor level

ROOM: Circulation Area/Stairs **No**: 003/2/2/020 **USE**:

Element : Stairs CODE : 4

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete stair Fair No action required B 40 4 m2 1,367

BUILDING: Block 02 UPRN: FLOOR: Level 6 - Third Floor Level

ROOM: Store **No**: 003/2/3/002 **USE**:

Element : Stairs CODE : 4

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber stair Fair No action required B 20 1 m2 102

Year 1

Repair Cost (£)

BUILDING: Block 02	UPRN:		FLOOR: Structure			
ROOM: Structure	No : 003/2	2/St/St	USE:			
Element : Floors Description Concrete floor	CODE:4 Condition Fair	Action No action required	Cond/Ind Priority B	L'Expec 40	Quantity 128 m2	Replacement Cost (£) 20,998
						Year 1 Repair Cost (£
Element : Floors	CODE :4					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Timber floor	Fair	No action required	В	40	512 m2	52,496
						Year 1 Repair Cost (£
Element : Walls	CODE:4					Replacement
Description Brick & render	Condition Fair	Action No action required	Cond/Ind Priority B	L'Expec 40	Quantity 1 m2	Cost (£) 150
		·				Year 1 Repair Cost (£

ROOMS

BUILDING: Block 02 **UPRN:** FLOOR: Level 2 - Basement Level ROOM: Store No: 003/2/-1/001 USE: **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Lath & plaster ceiling Fair, although damaged in Make good finish В 2 4 4 m2 218 isolated areas Year 1 Repair Cost (£) 50 **Element:** Walls CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Fair, although bossed and Make good bossed and damaged 25 Plaster walls В 20 m2 1,025 damaged in areas plasterwork Year 1 Repair Cost (£) 100

Element: Doors CODE:5

Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Fair, although showing signs of No Action Required В 5 Softwood timber flush No 492

Replacement

Element : Floors CODE:5

Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity

Replacement

Repair Cost (£)

Replacement

Year 1

Composite - Linitol Fair No Action Required В 20 4 m2 437

Element: Decoration **CODE**:5

Description Condition **Action** Cond/Ind Priority L'Expec Quantity Cost (£) Poor Redecorate D 4 Replace/In 29 m2 672

Emulsion to ceiling and walls; gloss/varnish to timber finishes

BUILDING: Block 02	UPRN:	FLOOR : L	evel 2 - Bas	ement Lev	/el			
ROOM: Store	No : 003/2/-1/00	2 USE :						
Element : Ceilings	CODE:5							Replacement
Description Lath & plaster ceiling	Condition Fair, although damaged in	Action Make good finish	Cond/Ind B	Priority 4	L'Expec 2	Quantit 28	y m2	Cost (£) 1,531
	isolated areas							Year 1 Repair Cost (£ 200
Element : Walls	CODE:5							Danlasamant
Description Brick pointing (painted finish)	Condition Fair	Action No Action Required	Cond/Ind B	Priority	L'Expec 20	Quantit 26	y m2	Replacement Cost (£) 710
		·						Year 1 Repair Cost (£
Element : Walls	CODE:5							Danlagament
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantit	y	Replacement Cost (£)
Plaster walls	Fair, although bossed and damaged in areas	Make good bossed and damaged plasterwork		4	20	28	m2	1,148
								Year 1 Repair Cost (£ 250
Element : Doors	CODE:5							Replacement
Description Softwood timber panelled top	Condition Poor, at end of economic lifespan.	Action Replace	Cond/Ind D	Priority 4	L'Expec Replace/In	Quantit 1	y No	Cost (£) 656
glazed								Year 1 Repair Cost (£

Element : Floors CODE : 5

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Composite - Linatol Fair, with isolated cracking Make good finish В 20 28 m2 3,062 4

Year 1 Repair Cost (£) 200

Replacement

Element : Decoration **CODE :** 5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Emulsion to ceiling and walls; gloss/varnish to timber finishesFairNo Action RequiredB182m2672

BUILDING: Block 02	UPRN:	FLOOR : Le	evel 2 - Basement Le			
ROOM: Store	No : 003/2/-	1/003 USE :				
Element : Ceilings	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Lath & plaster ceiling	Fair, although damaged in isolated areas	Make good finish	B 4	2	6 m2	328
						Year 1 Repair Cost (£ 100
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster walls	Fair, although bossed and damaged in areas	Make good bossed and damage plasterwork	d B 4	10	20 m2	820
	damagod in arodo	p.actor.no.n				Year 1 Repair Cost (£ 200
Element : Doors	CODE:5					Replacement
Description Softwood timber panelled top	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 1 No	Cost (£) 656
glazed						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	-	Quantity	Cost (£)
Carpet floor finish	Fair	No Action Required	В	3	6 m2	246
						Year 1 Repair Cost (£

Element: Decoration **CODE**:5

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Replacement
Cost (£)

No Action Required
B
1
26
m2
672

BUILDING: Block 02	UPRN:	FLOOR: Level 2 - Basement Level						
ROOM: Store	No : 003/2/-1/004		USE:					
Element : Ceilings	CODE:5					Replacement		
Description	Condition	Action	Cond/Ind Price	rity L'Expec	Quantity	Cost (£)		
Lath & plaster ceiling	Fair, although damaged in isolated areas	Make good finish	B 4	2	8 m2	273		
						Year 1 Repair Cost (£ 200		
Element : Walls	CODE:5					Replacement		
Description	Condition	Action	Cond/Ind Price	rity L'Expec	Quantity	Cost (£)		
Plaster walls	Fair	No Action Required	В	20	40 m2	1,640		
						Year 1 Repair Cost (£		
Element : Doors	CODE:5					Replacement		
Description	Condition	Action	Cond/Ind Price	-	Quantity	Cost (£)		
Softwood timber flush	Fair	No Action Required	В	10	1 No	492		
						Year 1 Repair Cost (£		
Element : Floors	CODE:5					Replacement		
Description Unpainted Concrete	Condition Fair	Action No Action Required	Cond/Ind Pric B	rity L'Expec	Quantity 8 m2	Cost (£) 874		
						Year 1 Repair Cost (

Element: Decoration **CODE**:5

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Emulsion to ceiling and walls;
Fair
No Action Required
B
1
50
m2
410

BUILDING: Block 02	UPRN:			FLOOR: Level 2 - Basement Level						
ROOM: Store	No : 003/2/-1/005		USE:							
Element : Ceilings	CODE:5								Donlooment	
Description Lath & plaster ceiling	Condition Fair, although damaged in	Action Make good finish		Cond/Ind B	Priority 4	L'Expec 2	Quantit 8	t y m2	Replacement Cost (£) 273	
	isolated areas								Year 1 Repair Cost (9 100	
Element : Walls	CODE:5								Danisaanant	
Description	Condition	Action		Cond/Ind	Priority	L'Expec	Quantit	v	Replacement Cost (£)	
Plaster walls	Fair	No Action Required		В	,	20	30	m2	1,230	
									Year 1 Repair Cost (
Element : Doors	CODE:5								Replacement	
Description	Condition	Action		Cond/Ind	Priority	L'Expec	Quantit	ty	Cost (£)	
Softwood timber louvred door	Fair	No Action Required		В	-	10	1	m2	341	
									Year 1 Repair Cost (
Element : Floors	CODE:5								Replacement	
Description	Condition	Action		Cond/Ind	Priority	L'Expec	Quantit	ty	Cost (£)	
Composite - Linatol	Fair	No Action Required		В	•	20	8	m2	874	
									Year 1 Repair Cost (

Element: Decoration **CODE**:5

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Replacement
Cost (£)

No Action Required
B
1
40
m2
328

BUILDING: Block 02 ROOM: Store	UPRN : No : 003/2/-1/006		FLOOR : Le	el					
Element : Ceilings	CODE:5	. ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,							Replacement
Description Lath & plaster ceiling	Condition Poor	Action Replace		Cond/Ind D	Priority 4	L'Expec Replace/In	Quantity 1	/ m2	Cost (£) 54
									Year 1 Repair Cost (£
Element : Walls	CODE:5								Replacement
Description Plaster walls	Condition Fair	Action No Action Required		Cond/Ind B	Priority	L'Expec 10	Quantity 2	/ m2	Cost (£) 82
Tidotoi Wallo				_					Year 1 Repair Cost (£
Element : Doors	CODE:5								Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required		Cond/Ind B	Priority	L'Expec 5	Quantity 1	y No	Cost (£) 492
									Year 1 Repair Cost (£
Element : Floors	CODE:5								Replacement
Description Unpainted Concrete	Condition Fair	Action No Action Required		Cond/Ind B	Priority	L'Expec 20	Quantity 1	y m2	Cost (£)
									Year 1 Repair Cost (£

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Emulsion to ceiling and walls;
Fair
No Action Required
B
2
3
m2
24

BUILDING: Block 02	UPRN: FLOOR: Level 2 - Basement Level					
ROOM: Store	No : 003/2/-1/0	007 USE :				
Element : Ceilings	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Lath & plaster ceiling	Fair, although damaged in isolated areas	Make good finish	В 4	2	25 m2	1,367
						Year 1 Repair Cost (£ 100
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster walls	Fair, although bossed and damaged in areas	Make good bossed and dama plasterwork	ged B 4	10	40 m2	1,640
						Year 1 Repair Cost (£ 100
Element : Doors	CODE:5					Donlacoment
Description Softwood timber panelled top	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 1 No	Replacement Cost (£) 656
glazed						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Composite - Linitol	Condition Fair, although slight cracking is	Action Make good finish	Cond/Ind Priority B 4	L'Expec 20	Quantity 25 m2	Cost (£) 2,734
	evident in areas					Year 1 Repair Cost (£ 200

DescriptionConditionActionCond/Ind PriorityL'ExpecEmulsion to ceiling and walls;
gloss/varnish to timber finishesFairNo Action RequiredB2

Year 1 Repair Cost (£)

Replacement

Cost (£)

483

Quantity

m2

59

BUILDING: Block 02	UPRN:	FLOOR:	Level 2 - Basement Le	vel		
ROOM: Store	No : 003/2/-1/0	008 USE :				
Element : Ceilings	CODE :5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Lath & plaster ceiling	Fair, although damaged in isolated areas	Make good finish	B 4	2	9 m2	492
						Year 1 Repair Cost (£ 100
Element : Walls	CODE:5					Danlagement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair, although bossed and damaged in areas	Make good bossed and dama plasterwork	ged B 4	10	28 m2	1,148
	damaged in areas	plasterwork				Year 1 Repair Cost (£) 100
Element : Doors	CODE :5					Dowlessment
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority	L'Expec 10	Quantity 1 No	Replacement Cost (£) 492
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Composite - Linitol	Fair, although slight cracking is evident in areas	Make good finish	B 4	20	9 m2	984
						Year 1 Repair Cost (£) 100

DescriptionConditionActionCond/Ind PriorityL'ExpecEmulsion to ceiling and walls;
gloss/varnish to timber finishesFairNo Action RequiredB2

Year 1 Repair Cost (£)

Replacement

Cost (£)

303

Quantity

m2

37

BUILDING: Block 02 UPRN: FLOOR: Level 1 - Calton Road Street Level

ROOM: Circulation Area/Stairwell

No: 003/2/-2/001

USE:

Element : Ceilings CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Lath & plaster ceiling Fair No Action Required B 5 16 m2 874

Repair Cost (£)

Year 1

Element: Walls CODE:5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Placement Action Description Cond/Ind Priority L'Expec Quantity Cost (£)

Plaster walls Fair No Action Required B 15 266 m2 10,909

Year 1 Repair Cost (£)

Element : Doors CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

1 hour fire door set Fair No Action Required B 20 3 No 4,101

Year 1 Repair Cost (£)

Element : Floors CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Composite - Linatol Fair No Action Required B 20 16 m2 1,749

Description Carpet floor finish, with colour-

contrasted step nosings.

Condition Fair

Action No Action Required Cond/Ind Priority В

L'Expec Quantity 72

5

m2 3,500 Year 1

Cost (£)

Repair Cost (£)

Replacement

Element: Decoration CODE:5

Description Emulsion to ceiling and walls; gloss/varnish to timber finishes Condition

Fair

Action

No Action Required

Cond/Ind Priority В

L'Expec

282 m2

Quantity

2,313

Cost (£)

Year 1 Repair Cost (£)

Replacement

BUILDING: Block 02 ROOM: Circulation Area	UPRN : No : 003/2/0/001		OOR: Level 3 - Canongate Str	eet level Gr	round		
Element : Ceilings Description Plasterboard ceiling	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 23 m2	Replacement Cost (£) 786 Year 1	
Element : Walls Description Plasterboard walls	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 65 m2	Replacement Cost (£) 2,221 Year 1 Repair Cost (£	
Element : Doors Description 1 hour fire door set	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Replacement Cost (£) 1,367 Year 1 Repair Cost (£	
Element : Floors Description Vinyl sheet finish (non-slip)	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 23 m2	Replacement Cost (£) 943 Year 1 Repair Cost (£	

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Fair
No Action Required
B
1
88
m2
721

BUILDING: Block 02 ROOM: Kitchen	UPRN: No: 003/2/0/002		FLOOR: Level 3 - Canongate Street level Ground USE:					
Element : Ceilings	CODE:5							Danlagement
Description Suspended grid system with	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 15	Quantity 56	y m2	Replacement Cost (£) 1,913
fibreboard tiles		1						Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description Pre-finished board	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 15	Quantity 82	y m2	Cost (£) 2,802
								Year 1 Repair Cost (£
Element : Doors	CODE:5							Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 1	y No	Cost (£) 1,367
								Year 1 Repair Cost (£
Element : Floors	CODE:5							Replacement
Description Vinyl sheet finish (non-slip)	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 5	Quantity 70	y m2	Cost (£) 2,870
,								Year 1 Repair Cost (£

BUILDING: Block 02 ROOM: Circulation Area	UPRN : No : 003/2/0/003		FLOOR: Level 3 - Canongate Street level Ground USE:					_
Element : Ceilings	CODE : 5	503	USE :					
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity		Replacement Cost (£)
Suspended grid system with	Fair	No Action Required		В	15	9	m2	307
plasterboard tiles								Year 1 Repair Cost (£)
Element : Walls	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity		Cost (£)
Plaster walls	Fair	No Action Required		В	20	20	m2	820
								Year 1 Repair Cost (£)
Element : Floors	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	,	Cost (£)
Carpet floor finish	Fair	No Action Required		В	5	9	m2	369
								Year 1 Repair Cost (£)
Element : Decoration	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity		Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required		В	1	20	m2	164
								Year 1 Repair Cost (£)

BUILDING: Block 02			FLOOR: Level 3 - Canongate Street level Ground				
ROOM: Bedroom 201	No : 003	/2/0/004	USE :				
Element : Ceilings	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plasterboard ceiling	Fair	No Action Required	В	20	15 m2	512	
						Year 1 Repair Cost (
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plaster walls	Fair	No Action Required	В	20	22 m2	902	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plasterboard walls	Fair	No Action Required	В	20	22 m2	751	
						Year 1 Repair Cost (£	
Element : Doors	CODE:5					Ponlacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)	
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367	
						Year 1 Repair Cost (£	

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 5 15 m2 615

Year 1
Repair Cost (£)

Nopuli Gost (2)

Replacement

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 59 m2 483 gloss/varnish to timber finishes

FLOOR: Level 3 - Canongate Street level Ground				
	Replacement			
Quantity	Cost (£)			
5 m2	170			
	Year 1 Repair Cost (
	Replacement			
Quantity	Cost (£)			
5 m2	205			
	Year 1 Repair Cost (
	Replacement			
Quantity	Cost (£)			
23 m2	786			
	Year 1 Repair Cost (
	Replacement			
Quantity 1 No	Cost (£) 492			
	Year 1 Repair Cost (
	23 m2 Quantity			

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 5 m2 205

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 33 m2 270 gloss/varnish to timber finishes

BUILDING: Block 02 ROOM: Store 211	UPRN: No: 003/2/0/006		FLOOR: Level 3 - Canongate Street level Ground USE:				
Element : Ceilings	CODE : 5	7-67-6-6-6					
Description	Condition Fair	Action	Cond/Ind Priority	-	Quantity	Replacement Cost (£) 307	
Suspended grid system with plasterboard tiles	rair	No Action Required	В	5	9 m2	307 Year 1	
						Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plasterboard walls	Fair	No Action Required	В	20	16 m2	546	
						Year 1 Repair Cost (£)	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plaster walls	Fair	No Action Required	В	20	16 m2	656	
						Year 1 Repair Cost (£)	
Element : Doors	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	•	Quantity	Cost (£)	
1 hour fire door set	Fair	No Action Required	В	20	1 No	492	
						Year 1 Repair Cost (£)	

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet floor finish Fair No Action Required B 20 9 m2 369

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 41 m2 336 gloss/varnish to timber finishes

BUILDING: Block 02			FLOOR: Level 3 - Canongate Street level Ground				
ROOM: Bedroom 202	No : 003/	/2/0/009	USE:				
Element : Ceilings	CODE:5					Replacement	
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 14 m2	Cost (£) 478	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 8 m2	Cost (£) 328	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 32 m2	Cost (£) 1,093	
						Year 1 Repair Cost (£	
Element : Doors	CODE:5					Replacement	
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367	
						Year 1 Repair Cost (£	

Element : Floors **CODE**:5 **Description** Condition

Carpet floor finish Fair, although slightly worn and

soiled in areas.

Action Clean carpet

L'Expec Cond/Ind Priority В 4 2

Quantity 14 m2 Cost (£) 574

Replacement

Year 1 Repair Cost (£)

50

Element: Decoration CODE:5

Description Emulsion to ceiling and walls; gloss/varnish to timber finishes Condition Fair

Action

No Action Required

Cond/Ind Priority В

L'Expec

Quantity 54 m2

Year 1

442

Cost (£)

Repair Cost (£)

Replacement

BUILDING: Block 02 ROOM: Toilet 202	UPRN : No : 003/2/0/010		FLOOR: Level 3 - Canongate Street level Ground USE:			
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Replacement Cost (£) 136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 12 m2	Cost (£) 410
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 4 m2	Cost (£) 164
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Danlaramant
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Replacement Cost (£) 492
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 4 m2 164

Repair Cost (£)

Replacement

Replacement

Year 1

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 16 m2 131 gloss/varnish to timber finishes

BUILDING: Block 02	UPRN :		FLOOR: Level 3 - Canongate Street level Ground				
ROOM: Bedroom 203	No : 003	//2/0/011	USE :				
Element : Ceilings	CODE :5					Replacement	
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 14 m2	Cost (£) 478	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 8 m2	Cost (£) 328	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 32 m2	Cost (£) 1,093	
						Year 1 Repair Cost (£	
Element : Doors	CODE:5					Replacement	
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367	
						Year 1 Repair Cost (£	

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Carpet floor finishFairNo Action RequiredB214m2574

Year 1 Repair Cost (£)

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 54 m2 442 gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

Replacement

BUILDING: Block 02	UPRN:		FLOOR: Level 3 - Canongate Street level Ground				
ROOM: Toilet 203	No : 003/2/	/0/012	USE:				
Element : Ceilings	CODE:5					Ponlocoment	
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Replacement Cost (£) 136	
						Year 1 Repair Cost (£)	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plasterboard walls	Fair	No Action Required	В	20	12 m2	410	
						Year 1 Repair Cost (£)	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Pre-finished board	Fair	No Action Required	В	12	4 m2	164	
						Year 1 Repair Cost (£)	
Element : Doors	CODE:5					Replacement	
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492	
						Year 1 Repair Cost (£)	

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 4 m2 164

Repair Cost (£)

Replacement

Replacement

Year 1

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 16 m2 131 gloss/varnish to timber finishes

BUILDING: Block 02	UPRN:		FLOOR: Level 4 - First floor level				-	
ROOM: Circulation Area	No : 003/2/1/0	001	USE:					
Element : Ceilings	CODE:5							Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 20	Quantit 18	y m2	Cost (£) 615
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantit	у	Cost (£)
Plasterboard walls	Fair	No Action Required		В	20	52	m2	1,777
								Year 1 Repair Cost (£
Element : Floors	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantit	у	Cost (£)
Carpet floor finish	Fair	No Action Required		В	5	18	m2	738
								Year 1 Repair Cost (£
Element : Decoration	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantit	у	Cost (£)
Emulsion to ceiling and walls;	Fair	No Action Required		В	1	70	m2	574
gloss/varnish to timber finishes								Year 1 Repair Cost (£

BUILDING: Block 02 **UPRN:** FLOOR: Level 4 - First floor level **ROOM**: Circulation Area/Stairs No: 003/2/1/002 USE: **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Suspended grid system with No Action Required В 15 Fair 15 512 m2 plasterboard tiles Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement Cond/Ind Priority L'Expec Cost (£) Condition Action **Description** Quantity 37 Plaster walls Fair No Action Required В 20 1.517 m2 Year 1 Repair Cost (£) **Element:** Doors CODE:5 Replacement Condition **Action** Cond/Ind Priority L'Expec Cost (£) Description Quantity 1,367 1 hour fire door set No Action Required В 20 Fair No Year 1 Repair Cost (£) CODE:5 **Element:** Floors Replacement Cond/Ind Priority **Description** Condition L'Expec Cost (£) **Action** Quantity Carpet floor finish, with colour-No Action Required 5 Fair В 15 m2 665 contrasted step nosings.

Year 1

Repair Cost (£)

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityEmulsion to ceiling and walls; gloss/varnish to timber finishesFairNo Action RequiredB137m2

Year 1 Repair Cost (£)

Replacement

Cost (£)

303

BUILDING: Block 02	UPRN:		OOR: Level 4 - First floor leve			
ROOM: Bedroom 315	No : 003/2	2/1/003	USE:			
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 15 m2	Replacement Cost (£) 512
riasterboard ceiling	Fall	No Action Required	Б	20	15 1112	Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 22 m2	Cost (£) 902
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 22 m2	Cost (£) 751
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£

Element : Floors **CODE**:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair, although slightly worn and Clean carpet В 4 5 15 m2 615 soiled in areas. Year 1 Repair Cost (£) 50 **Element**: Decoration CODE:5

Description

Replacement Condition Cond/Ind Priority Cost (£) Action L'Expec Quantity Emulsion to ceiling and walls; Fair No Action Required В 59 m2 483 gloss/varnish to timber finishes Year 1 Repair Cost (£)

UPRN:		OOR: Level 4 - First floor level			
No : 003/	/2/1/004	USE:			
CODE:5	Action	Candlind Driavity	LIEvnos	Overtity	Replacement
Fair			20	5 m2	Cost (£) 170
	·				Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Cost (£) 205
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 23 m2	Cost (£) 786
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE : 5 Condition Action No Action Required B L'Expec 20 CODE : 5 Condition Action Required B L'Expec 20 CODE : 5 Condition Action Required B L'Expec 20 CODE : 5 Condition Action Required B L'Expec 20 CODE : 5 Condition Action Required B L'Expec 20 CODE : 5 Condition Action Required B L'Expec 20 CODE : 5 Condition Action Required B L'Expec 20	CODE : 5 Condition Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity CODE : 5 Condition Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity CODE : 5 Condition Action Required B L'Expec Quantity 5 m2 CODE : 5 Condition Action Required B L'Expec Quantity 20 20 m2 CODE : 5 Condition Action Required B L'Expec Quantity 21 m2 CODE : 5 Condition Action Required B L'Expec Quantity 22 m2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 5 m2 205

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 33 m2 270 gloss/varnish to timber finishes

BUILDING: Block 02	UPRN :		FLOOR: Level 4 - First floor level				
ROOM: Store	No : 003/2	2/1/005	USE:				
Element : Ceilings	CODE :5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Suspended grid system with plasterboard tiles	Fair	No Action Required	В	5	9 m2	307	
production and the						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	-	Quantity	Cost (£)	
Plasterboard walls	Fair	No Action Required	В	20	16 m2	546	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	•	Quantity	Cost (£)	
Plaster walls	Fair	No Action Required	В	20	16 m2	656	
						Year 1 Repair Cost (£	
Element : Doors	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	•	Quantity	Cost (£)	
1 hour fire door set	Fair	No Action Required	В	20	1 No	492	
						Year 1 Repair Cost (£	

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet floor finish Fair No Action Required B 20 9 m2 369

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 41 m2 336 gloss/varnish to timber finishes

BUILDING: Block 02	UPRN:		FLOOR: Level 4 - First floor level				
ROOM: Living Room 212	No : 003/2	2/1/008	USE:				
Element : Ceilings	CODE:5					Replacement	
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 13 m2	Cost (£) 444	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 31 m2	Cost (£) 1,271	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plasterboard walls	Fair	No Action Required	В	20	11 m2	375	
						Year 1 Repair Cost (£	
Element : Doors	CODE:5					Replacement	
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367	
						Year 1 Repair Cost (£	

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Carpet floor finish Fair No Action Required B 5 13 m2 533

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 55 m2 451 gloss/varnish to timber finishes

BUILDING: Block 02	UPRN:		OOR: Level 4 - First floor leve			
ROOM: Bedroom 212	No : 003/2	2/1/009	USE :			
Element : Ceilings Description	CODE:5 Condition Fair	Action	Cond/Ind Priority B	L'Expec 20	Quantity 13 m2	Replacement Cost (£) 444
Plasterboard ceiling	rall	No Action Required	В	20	13 M2	Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 35 m2	Cost (£) 1,435
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 11 m2	Cost (£) 375
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 13 m2	Cost (£) 533
						Year 1 Repair Cost (£

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Replacement
Cost (£)

No Action Required
B
1
59
m2
483

No: 003/2/1/01	Action No Action Required	USE:	Cond/Ind Priority B	L'Expec 20	Quantity 4	y m2	Replacement Cost (£) 136
condition Fair			•	•	-		Cost (£)
Fair			•	•	-		• •
CODE : 5							
CODE · 5							Year 1 Repair Cost (£
CODE .0							Replacement
Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 20	Quantity 8	/ m2	Cost (£) 273
							Year 1 Repair Cost (£
CODE:5							Replacement
Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 12	Quantity 4	/ m2	Cost (£) 164
							Year 1 Repair Cost (£
CODE:5							Replacement
Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 6	y m2	Cost (£) 246
							Year 1 Repair Cost (£
	CODE:5 CODE:5 CODE:5 CODE:5	CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5	CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5	CODE :5	CODE :5	CODE :5 CODE :5	CODE :5

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority L'Expec Cost (£) **Description** Action Quantity Softwood timber flush No Action Required В 20 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Vinyl sheet finish (non-slip) No Action Required В m2 164 Fair 5 4 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Emulsion to ceiling and walls; Fair 16 No Action Required В 1 m2 131 gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 02	UPRN: FI		FLOOR: Level 4 - First floor level				
ROOM: Bedroom 214	No : 003/2	2/1/011	USE :				
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	-	m2	615
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 38	m2	Cost (£) 1,298
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1	No	Cost (£) 1,367
							Year 1 Repair Cost (£
Element : Floors	CODE:5						Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 18	m2	Cost (£) 738
							Year 1 Repair Cost (£

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Replacement
Cost (£)

No Action Required
B
1
56
m2
459

BUILDING: Block 02	UPRN: F		OOR: Level 4 - First floor leve			
ROOM: Toilet 214	No : 003/2	2/1/012	USE:			
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	4 m2	136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 5 m2	Cost (£) 205
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 13 m2	Cost (£) 444
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Year 1

Vinyl sheet finish (non-slip) Fair No Action Required B 5 4 m2 164

Element: Decoration **CODE**:5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Poor, marked and damaged finish Redecorate B 4 Replace/In 17 m2 139 gloss/varnish to timber finishes

BUILDING: Block 02	UPRN: FI		OOR: Level 4 - First floor leve			
ROOM: Bedroom 215	No : 003/2	2/1/013	USE:			
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	•	Quantity	Replaceme Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	18 r	m2 615
						Year 1 Repair Cos
Element : Walls	CODE:5					Replaceme
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 38 r	Cost (£) 1,298
						Year 1 Repair Cos
Element : Doors	CODE:5					Replaceme
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity	Cost (£) No 1,367
						Year 1 Repair Cos
Element : Floors	CODE:5					Replaceme
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 18 r	Cost (£) 738
						Year 1 Repair Cos

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Replacement
Cost (£)

No Action Required
B
1
56
m2
459

BUILDING: Block 02	UPRN: F		FLOOR: Level 4 - First floor level				
ROOM: Toilet 215	No : 003/2	2/1/014	USE:				
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)	
Plasterboard ceiling	Fair	No Action Required	В	20	4 m2	136	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 5 m2	Cost (£) 205	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 13 m2	Cost (£) 444	
						Year 1 Repair Cost (£	
Element : Doors	CODE:5					Replacement	
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492	
						Year 1 Repair Cost (£	

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Year 1

Vinyl sheet finish (non-slip) Fair No Action Required B 5 4 m2 164

Element: Decoration **CODE**:5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Poor, marked and damaged finish Redecorate B 4 Replace/In 17 m2 139 gloss/varnish to timber finishes

BUILDING: Block 02	UPRN: FI		FLOOR: Level 4 - First floor level			
ROOM: Bedroom 216	No : 003/2	2/1/015	USE:			
Element : Ceilings Description	CODE : 5 Condition	Action	Cond/Ind Priority	•	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	14 m2	478 Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 8 m2	Cost (£) 328
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 32 m2	Cost (£) 1,093
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 5 14 m2 574

Year 1
Repair Cost (£)

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 54 m2 442 gloss/varnish to timber finishes

Year 1 Repair Cost (£)

Replacement

BUILDING: Block 02	UPRN: F		OOR: Level 4 - First floor leve			
ROOM: Toilet 216	No : 003/2	2/1/016	USE:			
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	4 m2	136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 12 m2	Cost (£) 410
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 4 m2	Cost (£) 164
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 4 m2 164

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 16 m2 131 gloss/varnish to timber finishes

BUILDING: Block 02	UPRN:		LOOR: Level 4 - First floor leve	el		
ROOM: Bedroom 217	No : 003/2	2/1/017	USE:			
Element : Ceilings Description	CODE : 5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	14 m2	478
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 8 m2	Cost (£) 328
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	-	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	32 m2	1,093
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	-	Quantity	Cost (£)
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367
						Year 1 Repair Cost (£

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 5 14 m2 574

Year 1
Repair Cost (£)

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 54 m2 442 gloss/varnish to timber finishes

Year 1 Repair Cost (£)

Replacement

BUILDING: Block 02	UPRN: F		OOR: Level 4 - First floor lev			
ROOM: Toilet 217	No : 003/2	2/1/018	USE :			
Element : Ceilings	CODE:5	Action	Cond/lad District	I I Euros	Overstitus	Replacement
Description Plasterboard ceiling	Fair	No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Cost (£) 136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 12 m2	Cost (£) 410
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 4 m2	Cost (£) 164
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£
			•	-	•	

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 4 m2 164

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 16 m2 131 gloss/varnish to timber finishes

BUILDING: Block 02 **UPRN**: **FLOOR**: Level 4 - First floor level

ROOM: Electrical Fuse Cupboard No: 003/2/1/019 USE:

Element : Ceilings CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plasterboard ceiling Fair No Action Required B 20 1 m2 34

Year 1
Repair Cost (£)

Replacement

Year 1

Replacement

Element : Walls CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plaster walls Fair No Action Required B 20 2 m2 82

Year 1 Repair Cost (£)

Element : Doors CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Softwood timber flush Fair No Action Required B 20 1 No 492

·

Repair Cost (£)

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Compressed board Fair No Action Required B 20 1 m2 82

Year 1

Repair Cost (£)

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Emulsion to ceiling and walls;
Fair
No Action Required
B
1
3
m2
24

UPRN :	FLC	OOR: Level 5 - Second floor le			
No : 003/2/2/	001	JSE :			
CODE:5					Replacement
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Fair	No Action Required	В	20	12 m2	410
					Year 1 Repair Cost (£
CODE:5					Danlagament
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Fair	No Action Required	В	20	31 m2	1,059
					Year 1 Repair Cost (£
CODE:5					Danlagement
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Fair	No Action Required	В	5	12 m2	738
					Year 1 Repair Cost (£
CODE:5					Panlacament
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Fair	No Action Required	В	1	31 m2	254
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Action No Action Required Action No Action Required Action No Action Required	CODE :5 Condition Action Required B CODE :5 Condition Action Cond/Ind Priority B	CODE :5 Condition Fair Action No Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition No Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition No Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B Cond/Ind Priority B L'Expec 20 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec 5 CODE :5 Condition Action Required B L'Expec 5	CODE :5 Condition Fair CODE :5 Condition Fair CODE :5 Condition Action No Action Required CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair CODE :5 Condition No Action Required Action No Action Required CODE :5 Condition Action No Action Required Action No Action Required CODE :5 Condition Action No Action Required CODE :5 Condition Cond/Ind Priority L'Expec Quantity 12 m2

BUILDING: Block 02 ROOM: Circulation Area	UPRN : No : 003/2/2/0	-	FLOOR: Level 5 - Second floor level USE:					
Element : Ceilings	CODE:5							Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	,	Cost (£)
Suspended grid system with plasterboard tiles	Fair	No Action Required	В		15	24	m2	820
plasterboard tiles								Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	,	Cost (£)
Plasterboard walls	Fair	No Action Required	В		20	63	m2	2,153
								Year 1 Repair Cost (£
Element : Floors	CODE:5							Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	,	Cost (£)
Carpet floor finish, with colour-contrasted step nosings.	Fair	No Action Required	В		5	24	m2	984
contrasted step nosings.								Year 1 Repair Cost (£
Element : Decoration	CODE:5							Ponlocoment
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	,	Replacement Cost (£)
Emulsion to ceiling and walls;	Fair	No Action Required	В	-	1	-	m2	516
gloss/varnish to timber finishes								Year 1 Repair Cost (£

UPRN:		OOR: Level 5 - Second floor			
No : 003/2	2/2/003	USE :			
CODE : 5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Fair	No Action Required	В	20	15 m2	512
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 22 m2	Cost (£) 902
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 22 m2	Cost (£) 751
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Action	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action Required B	CODE :5 Condition Action No Action Required B L'Expec 20 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition No Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec 20	CODE:5 Condition Action No Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity CODE:5 Condition Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity CODE:5 Condition Action Required B L'Expec Quantity B L'Expec Quantity 20 22 m2 CODE:5 Condition Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity CODE:5 Condition Action Cond/Ind Priority L'Expec Quantity CODE:5 Condition Action Cond/Ind Priority L'Expec Quantity

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 5 15 m2 615

Year 1
Repair Cost (£)

Nopuli Gost (2)

Replacement

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 59 m2 483 gloss/varnish to timber finishes

BUILDING: Block 02	UPRN:		FLOOR: Level 5 - Second floor level			
ROOM: Toilet 221	No : 003/2/	/2/004	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Cost (£) 170
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Cost (£) 205
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 23 m2	Cost (£) 786
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 5 m2 205

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 33 m2 270 gloss/varnish to timber finishes

UPRN :		FLOOR: Level 5 - Second floor level			
No : 003	/2/2/005	USE:			
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 9 m2	Cost (£) 307
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 16 m2	Cost (£) 546
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 16 m2	Cost (£) 656
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair No Action No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE : 5 Condition Action Required B Cond/Ind Priority L'Expec Fair No Action Required B Cond/Ind Priority L'Expec Condition Action No Action Required B Cond/Ind Priority L'Expec Fair No Action Required B Cond/Ind Priority L'Expec Condition Action Required B Cond/Ind Priority L'Expec Condition Action Required B Cond/Ind Priority L'Expec Condition Action Required B L'Expec CODE : 5 Condition Action Cond/Ind Priority L'Expec	CODE :5 Condition Action No Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity CODE :5 Condition Action No Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity 16 m2 CODE :5 Condition Action Required B L'Expec Quantity 20 16 m2 CODE :5 Condition Action Required B L'Expec Quantity 20 16 m2 CODE :5 Condition Action Required B L'Expec Quantity 16 m2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet floor finish Fair No Action Required B 20 9 m2 369

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 41 m2 336 gloss/varnish to timber finishes

BUILDING: Block 02	UPRN:		FLOOR: Level 5 - Second floor level			
ROOM: Living Room 222	No : 003/	2/2/008	USE:			
Element : Ceilings Description Plasterboard ceiling	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 13 m2	Replacement Cost (£)
· iasions out a coming			_			Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster walls	Fair	No Action Required	В	20	31 m2	2 1,271
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 11 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE :5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Carpet floor finish Fair No Action Required B 5 13 m2 533

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 55 m2 451 gloss/varnish to timber finishes

UPRN:		FLOOR: Level 5 - Second floor level			
No : 003	/2/2/009	USE:			
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Cost (£) 136
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 8 m2	Cost (£) 273
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 4 m2	Cost (£) 164
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 6 m2	Cost (£) 246
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE : 5 Condition Action No Action Required B L'Expec Fair Action No Action Required B L'Expec Condition Action No Action Required B L'Expec Fair No Action Required B L'Expec Tair No Action Required B L'Expec Condition Action Required B L'Expec Tair No Action Required B L'Expec	CODE :5 Condition Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity CODE :5 Condition Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity 8 m2 CODE :5 Condition Action Required B L'Expec Quantity 8 m2 CODE :5 Condition Action Required B L'Expec Quantity 12 Quantity 12 A m2 CODE :5 Condition Action Required B L'Expec Quantity 12 Marging Action Required B L'Expec Quantity 12 Marging Action Required B L'Expec Quantity 15 Marging Action Required B L'Expec Quantity 16 Marging Action Required B L'Expec Quantity 17 Marging Action Required B L'Expec Quantity 18 Marging Action Required B L'Expec Quantity 19 Marging Action Required L'Expec Quantity

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority L'Expec Cost (£) **Description** Action Quantity Softwood timber flush No Action Required В 20 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Vinyl sheet finish (non-slip) No Action Required В m2 164 Fair 5 4 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Emulsion to ceiling and walls; Fair 16 No Action Required В 1 m2 131 gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 02	UPRN : No : 003/2/2/010		FLOOR: Level 5 - Second floor level			
ROOM: Bedroom 222			USE:			
Element : Ceilings	CODE :5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 13 m2	Cost (£) 444
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 35 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 11 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 13 m2	Cost (£)
						Year 1 Repair Cost (£

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Replacement
Cost (£)

No Action Required
B
1
59
m2
483

BUILDING: Block 02	UPRN: F		FLOOR: Level 5 - Second floor level				
ROOM: Bedroom 223	No : 003	/2/2/011	USE:				
Element : Ceilings Description	CODE:5 Condition	Action	Cond/Ind Priority	•	Quantity	y	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	18	m2	615
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 38	y m2	Cost (£) 1,298
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1	y No	Cost (£) 1,367
							Year 1 Repair Cost (£
Element : Floors	CODE:5						Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 18	y m2	Cost (£) 738
							Year 1 Repair Cost (£

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Replacement
Cost (£)

No Action Required
B
1
56
m2
459

BUILDING: Block 02	UPRN:	FLO	OR: Level 5 - Second floor I	evel		
ROOM: Toilet 223	No : 003/	2/2/012 U	ISE :			
Element : Ceilings Description	CODE:5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	4 m2	136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Pre-finished board	Fair	No Action Required	В	12	5 m2	205
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	13 m2	444
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Year 1

Vinyl sheet finish (non-slip) Fair No Action Required B 5 4 m2 164

Element: Decoration **CODE**:5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Poor, marked and damaged finish Redecorate B 4 Replace/In 17 m2 139 gloss/varnish to timber finishes

BUILDING: Block 02	UPRN: F		FLOOR: Level 5 - Second floor level				
ROOM: Bedroom 224	No : 003/	/2/2/013	USE:				
Element : Ceilings Description	CODE : 5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	•	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	18	m2	615
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 38	m2	Cost (£) 1,298
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1	, No	Cost (£) 1,367
							Year 1 Repair Cost (£
Element : Floors	CODE:5						Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 18	m2	Cost (£) 738
							Year 1 Repair Cost (£

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Replacement
Cost (£)

No Action Required
B
1
56
m2
459

FLOOR: Level 5 - Second floor level			
tity	Replacement Cost (£)		
m2	136		
	Year 1 Repair Cost (£		
	Replacement		
t ity m2	Cost (£) 205		
	Year 1 Repair Cost (£		
	Replacement		
t ity m2	Cost (£) 444		
	Year 1 Repair Cost (£		
	Replacement		
t ity No	Cost (£) 492		
	Year 1 Repair Cost (£		
	ıtity		

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Year 1

Vinyl sheet finish (non-slip) Fair No Action Required B 5 4 m2 164

Element: Decoration **CODE**:5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Poor, marked and damaged finish Redecorate B 4 Replace/In 17 m2 139 gloss/varnish to timber finishes

UPRN: F		OOR: Level 5 - Second floor			
No : 003/	2/2/015	USE :			
CODE : 5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Fair	No Action Required	В	20	14 m2	478
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 8 m2	Cost (£) 328
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 32 m2	Cost (£) 1,093
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair Action CODE:5 Condition Action Fair Action Action No Action Required	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action Required B	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition No Action Required B CODE :5 Condition Action Cond/Ind Priority L'Expec 20	CODE:5 Condition Fair CODE:5 Condition Action No Action Required Cond/Ind Priority B CODE:5 Condition Fair Action No Action Required Cond/Ind Priority B Cond/Ind Priority L'Expec Quantity B m2 Cond/Ind Priority B CODE:5 Condition No Action Required B Cond/Ind Priority B CODE:5 Condition Action No Action Required B Cond/Ind Priority B Cond/Ind Priority L'Expec Quantity B Cond/Ind Priority B Cond/Ind Priority L'Expec Quantity B CODE:5 Condition Action No Action Required CODE:5 Condition Action Cond/Ind Priority L'Expec Quantity

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 5 14 m2 574

Year 1
Repair Cost (£)

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 54 m2 442 gloss/varnish to timber finishes

Year 1 Repair Cost (£)

Replacement

No: 003/2/2/0 CODE:5 Condition Fair	Action No Action Required	USE :					
Condition		Coi					
		COI	ad/lad Driarity	L'Evnoc	Quantit	.,	Replacement
	•		nd/Ind Priority B	L'Expec 20	Quantity 4	y m2	Cost (£) 136
							Year 1 Repair Cost (£
CODE:5							Replacement
Condition Fair	Action No Action Required	Coi	nd/Ind Priority B	L'Expec 20	Quantit 12	y m2	Cost (£) 410
							Year 1 Repair Cost (£
CODE:5							Replacement
Condition Fair	Action No Action Required	Coi	nd/Ind Priority B	L'Expec 12	Quantity 4	y m2	Cost (£) 164
							Year 1 Repair Cost (£
CODE:5							Replacement
Condition Fair	Action No Action Required	Coi	nd/Ind Priority B	L'Expec 20	Quantity 1	y No	Cost (£) 492
							Year 1 Repair Cost (£
	CODE:5 CODE:5 CODE:5 Condition Fair	Condition Fair CODE:5 Condition Fair Action No Action Required Action No Action Required CODE:5 Condition Action Action No Action Required Action Action	Condition Fair CODE:5 Condition Fair Action Code Fair Code Fai	Condition Fair CODE:5 Condition Fair Action No Action Required Action Cond/Ind Priority B Condition Fair CODE:5 Condition Fair Action No Action Required B CODE:5 Cond/Ind Priority CODE:5 Condition Action Cond/Ind Priority	Condition Fair Action No Action Required Cond/Ind Priority B CODE:5 Condition Fair Action No Action Required Cond/Ind Priority 12 CODE:5 CODE:5 Condition Action No Action Required Cond/Ind Priority 12 CODE:5 Condition Action Cond/Ind Priority L'Expec	Condition Fair CODE:5 Condition Action No Action Required Action Cond/Ind Priority B Cond/Ind Priority L'Expec Quantity 12 Condition Action No Action Required B CODE:5 CODE:5 CODE:5 Condition Action Cond/Ind Priority L'Expec Quantity 4	Condition Fair Action No Action Required Cond/Ind Priority B L'Expec 20 12 m2 CODE:5 Condition Fair Action No Action Required B Cond/Ind Priority L'Expec Quantity 4 m2 CODE:5 Condition Action Cond/Ind Priority L'Expec 4 m2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 5 4 m2 164

Year 1
Repair Cost (£)

Replacement

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 16 m2 131 gloss/varnish to timber finishes

UPRN: F		OOR: Level 5 - Second floor			
No : 003/2	2/2/017	USE :			
CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Fair	No Action Required	В	20	14 m2	478
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 8 m2	Cost (£) 328
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 32 m2	Cost (£) 1,093
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair Action CODE:5 Condition Action Fair Action Action No Action Required	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action Required B	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition No Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Cond/Ind Priority L'Expec	CODE : 5 Condition Action No Action Required B Cond/Ind Priority L'Expec Quantity Fair No Action Required B Cond/Ind Priority L'Expec Quantity Fair No Action Required B Cond/Ind Priority L'Expec Quantity Fair No Action Required B E Z0 B m2 CODE : 5 Condition Action Required B Z0 B m2 CODE : 5 Condition Action Required B Z0 B m2 CODE : 5 Condition Action Required B Z0 B m2 CODE : 5 Condition Action Required B Z0 B m2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 5 14 m2 574

Year 1
Repair Cost (£)

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 54 m2 442 gloss/varnish to timber finishes

Year 1 Repair Cost (£)

Replacement

UPRN:		LOOR : Level 5 - Second floor			
No : 003/	/2/2/018	USE:			
CODE :5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Cost (£) 136
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 12 m2	Cost (£) 410
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 4 m2	Cost (£) 164
					Year 1 Repair Cost (£
CODE:5					Danlagament
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Replacement Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition Action Fair No Action Fair No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE :5 Condition Action No Action Required B L'Expec Fair Action No Action Required B L'Expec Condition Action No Action Required B L'Expec Fair No Action Required B L'Expec Fair No Action Required B L'Expec Tondition Action Required B L'Expec Condition Action Required B L'Expec Tondition Action Required B L'Expec Tondition Action Required B L'Expec Condition Action Required B L'Expec	CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair Action No Action Required Cond/Ind Priority E'Expec Quantity 4 m2 CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair Action No Action Required Cond/Ind Priority E'Expec Quantity 12 m2 CODE :5 Condition Action No Action Required B Cond/Ind Priority 12 A m2 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity 4 m2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 4 m2 164

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 16 m2 131 gloss/varnish to timber finishes

BUILDING: Block 02 UPRN: FLOOR: Level 5 - Second floor level

ROOM: Electrical Fuse Cupboard No: 003/2/2/019 USE:

Element : Ceilings CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plasterboard ceiling Fair No Action Required B 20 1 m2 34

Repair Cost (£)

Year 1

Replacement

Replacement

Element : Walls CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plasterboard walls Fair No Action Required B 20 2 m2 68

Year 1

Repair Cost (£)

Element : Doors CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Softwood timber flush Fair No Action Required B 20 1 No 492

Year 1

Repair Cost (£)

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Compressed board Fair No Action Required B 20 1 m2 82

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Emulsion to ceiling and walls;
Fair
No Action Required
B
1
3
m2
24

BUILDING: Block 02 FLOOR: Level 5 - Second floor level **UPRN: ROOM**: Circulation Area/Stairs No: 003/2/2/020 USE: **Element**: Ceilings CODE:5 Replacement Cond/Ind Priority **Description** Condition Action Cost (£) L'Expec Quantity Plasterboard ceiling Fair, although slight cracking is Make good finish В 20 17 581 m2 evident in areas Year 1 Repair Cost (£) 100 Element: Walls CODE:5 Replacement Cond/Ind Priority L'Expec Cost (£) Condition Action **Description** Quantity Plaster walls Fair No Action Required В 20 56 2.296 m2 Year 1 Repair Cost (£) **Element:** Doors CODE:5 Replacement Condition **Action** Cond/Ind Priority L'Expec Cost (£) Description Quantity 1,367 1 hour fire door set No Action Required В 20 Fair No Year 1 Repair Cost (£) **Element:** Doors CODE:5 Replacement Cond/Ind Priority **Description** Condition L'Expec Cost (£) **Action** Quantity Fair, although nearing end of No Action Required 2 1,367 1/2 hour fire door set В No economic lifespan

Year 1

Repair Cost (£)

Element: Floors CODE:5 Replacement L'Expec Condition Action Cond/Ind Priority Cost (£) **Description** Quantity Vinyl floor finish, with colour-Fair, although nearing end of No Action Required В 2 17 m2 800 contrasted step nosings. economic lifespan Year 1 Note: Floor is uneven Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) Emulsion to ceiling and walls; Poor Redecorate D 4 Replace/In 73 m2 516

Year 1

Repair Cost (£)

gloss/varnish to timber finishes

BUILDING: Block 02	UPRN:	FLOOR : Le	FLOOR: Level 6 - Third Floor Level			
ROOM: Store	No : 003/2/3/00)1 USE:				
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair, although minor damage to	Action Make good finish	Cond/Ind Priority B 4	L'Expec	Quantity 120 m2	Replacement Cost (£) 4,101
Thaterboard ceiling	plasterboard in isolated areas	Water good IIIIIon	5 4	20	120 1112	Year 1 Repair Cost (£
Element : Walls	CODE:5					Danlacament
Description Plaster walls	Condition Fair, although bossed and damaged in areas	Action Make good bossed and damaged plasterwork	Cond/Ind Priority B 4	L'Expec 20	Quantity 142 m2	Replacement Cost (£) 5,823
						Year 1 Repair Cost (£ 100
Element : Doors	CODE:5					Replacement
Description Softwood timber panelled door		Action Control No Action Required	Cond/Ind Priority	L'Expec 2	Quantity 2 No	Cost (£) 1,312
	economic lifespan					Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Vinyl floor finish	Condition Fair, although nearing end of	Action No Action Required	Cond/Ind Priority	L'Expec 2	Quantity 120 m2	Cost (£) 4,921
	economic lifespan					Year 1 Repair Cost (£

Note: Floor is uneven

Element : Decoration **CODE :** 5

DescriptionEmulsion to ceiling and walls; gloss/varnish to timber finishes

Condition

Poor

BUILDING: Block 02 ROOM: Store	UPRN : No : 003/2/3/0		FLOOR: Level 6 - Third Floor L USE:	evel		
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 20 m2	Replacement Cost (£) 683 Year 1
Element : Walls Description Plaster walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 51 m2	Replacement Cost (£) 2,091 Year 1 Repair Cost (£)
Element : Doors Description 1/2 hour fire door set	CODE:5 Condition Fair, although nearing end of economic lifespan	Action No Action Required	Cond/Ind Priority B	L'Expec 2	Quantity 1 No	Replacement Cost (£) 1,025 Year 1 Repair Cost (£
Element : Floors Description Vinyl floor finish	CODE:5 Condition Fair, although nearing end of economic lifespan	Action No Action Required	Cond/Ind Priority B	L'Expec 2	Quantity 20 m2	Replacement Cost (£) 820 Year 1 Repair Cost (£

Description Emulsion to ceiling and walls; gloss/varnish to timber finishes Condition Poor

Action Redecorate Cond/Ind Priority L'Expec D 4

Replace/In 71

Quantity m2 Replacement Cost (£) 582

BUILDING : Block 02 ROOM : Store	UPRN : No : 003/2/3/0		LOOR: Level 6 - Third Floor Le	evel		
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 9 m2	Replacement Cost (£) 307 Year 1 Repair Cost (£
Element : Walls Description Plaster walls	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 24 m2	Replacement Cost (£) 984 Year 1 Repair Cost (£
Element : Doors Description 1/2 hour fire door set	CODE:5 Condition Fair, although nearing end of economic lifespan	Action No Action Required	Cond/Ind Priority B	L'Expec 2	Quantity 1 No	Replacement Cost (£) 1,025 Year 1 Repair Cost (£
Element : Floors Description Carpet floor finish	CODE:5 Condition Fair, although nearing end of economic lifespan	Action No Action Required	Cond/Ind Priority B	L'Expec 2	Quantity 9 m2	Replacement Cost (£) 369 Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityEmulsion to ceiling and walls;
gloss/varnish to timber finishesFairNo Action RequiredB233r

Year 1 Repair Cost (£)

Replacement

Cost (£)

270

m2

BUILDING: Block 02	UPRN :	FLO	FLOOR: Level 6 - Third Floor Level				
ROOM: Store	No : 003/2/3/004	4 L	JSE :				
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)	
Plasterboard ceiling	Fair	No Action Required	В	20	7 m2	239	
						Year 1 Repair Cost (£)	
Element : Walls	CODE:5						
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 24 m2	Replacement Cost (£) 984	
						Year 1 Repair Cost (£)	
Element : Doors	CODE:5					Replacement	
Description 1/2 hour fire door set	Condition Poor, at end of economic lifespan.	Action Replace	Cond/Ind Priority D 1	L'Expec Replace/In	Quantity 1 No	Cost (£) 1,025	
						Year 1 Repair Cost (£)	
Element : Floors	CODE:5					Donlosoment	
Description Carpet floor finish	Condition Fair, although nearing end of	Action No Action Required	Cond/Ind Priority B	L'Expec 2	Quantity 9 m2	Replacement Cost (£) 369	
	economic lifespan					Year 1 Repair Cost (£)	

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Replacement
Cost (£)

Replacement
Cost (£)

No Action Required
B
2
31
m2
254

FIXTURES & FITTINGS

BUILDING: Block 02 UPRN: FLOOR: Level 2 - Basement Level

ROOM: Store **No**: 003/2/-1/002 **USE**:

Element : Shelving CODE : 6

Replacement Condition Condition Cond/Ind Priority L'Expec Quantity Cost (£)

Timber/metal shelving Fair No action required B 6 12 m 656

BUILDING: Block 02 UPRN: FLOOR: Level 2 - Basement Level

ROOM: Store **No**: 003/2/-1/004 **USE**:

Element: Shelving **CODE**:6

Replacement Condition Condition Cond/Ind Priority L'Expec Quantity Cost (£)

Timber/metal shelving Fair No action required B 6 12 m 656

Repair Cost (£)

Year 1

BUILDING: Block 02 UPRN: FLOOR: Level 2 - Basement Level

ROOM: Store **No**: 003/2/-1/005 **USE**:

Element: Shelving **CODE**:6

Replacement Condition Condition Cond/Ind Priority L'Expec Quantity Cost (£)

Timber/metal shelving Fair No action required B 6 16 m 874

BUILDING: Block 02 UPRN: FLOOR: Level 2 - Basement Level

ROOM: Store **No**: 003/2/-1/006 **USE**:

Element: Shelving **CODE**:6

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber shelving Fair No action required B 4 3 m 82

BUILDING: Block 02 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Circulation Area **No**: 003/2/0/001 **USE**:

Element : Fixed display units/cabinets **CODE :** 6

Replacement

Description

Cond/Ind Priority L'Expec Quantity

Cost (£)

Timber display units/cabinets Fair No action required B 20 1 No 574

with glazed doors
Year 1

Repair Cost (£)

SANITARY

BUILDING: Block 02 UPRN: FLOOR: Level 2 - Basement Level

ROOM: Store **No**: 003/2/-1/007 **USE**:

Element : Sinks CODE : 7

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Stainless steel double sink
Fair
No action required
B
10
1 No
410

BUILDING: Block 02 FLOOR: Level 3 - Canongate Street level Ground **UPRN:**

No: 003/2/0/002 ROOM: Kitchen USE:

Element: Basins CODE:7

Replacement Description Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity

Stainless steel basin Fair No action required В 20 1 No 246

Repair Cost (£)

Year 1

Element: Sinks CODE:7

Replacement Condition Description Action Cond/Ind Priority Cost (£) L'Expec Quantity 10 3 No 1,800

1 no. stainless steel single sink Fair No action required В

2 no. stainless steel double sinks Year 1 Repair Cost (£) BUILDING: Block 02 **UPRN:** FLOOR: Level 3 - Canongate Street level Ground ROOM: Toilet 201 No: 003/2/0/005 USE: CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 20 Ceramic WHB Fair В Nο 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle with pre-finished No action required Fair В 20 No 820 board lining Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148 Year 1 Repair Cost (£)

BUILDING: Block 02 **UPRN:** FLOOR: Level 3 - Canongate Street level Ground ROOM: Toilet 202 USE: No: 003/2/0/010 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 20 Ceramic WHB Fair В Nο 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle with pre-finished No action required Fair В 20 No 820 board lining Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148 Year 1 Repair Cost (£)

BUILDING: Block 02 **UPRN:** FLOOR: Level 3 - Canongate Street level Ground ROOM: Toilet 203 USE: No: 003/2/0/012 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 20 Ceramic WHB Fair В Nο 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle with pre-finished No action required Fair В 20 No 820 board lining Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148 Year 1 Repair Cost (£)

FLOOR: Level 4 - First floor level BUILDING: Block 02 **UPRN:** ROOM: Toilet 315 USE: No: 003/2/1/004 Element: WC CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition **Action** Cond/Ind Priority L'Expec Cost (£) Quantity No action required 20 Ceramic WHB Fair В Nο 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement Cond/Ind Priority **Description** Condition Action L'Expec Cost (£) Quantity Shower cubicle with pre-finished Fair, although board requires to Make good В 4 20 Nο 820 be re-fixed and sealed board lining Year 1 Repair Cost (£) 100 **Element:** Showers CODE:7 Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) В No 1,148 Shower heads/mixer valve No action required 15 Fair 1 Year 1 Repair Cost (£)

BUILDING: Block 02 FLOOR: Level 4 - First floor level **UPRN:** ROOM: Toilet 212 USE: No: 003/2/1/010 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle with pre-finished No action required Fair В 20 No 820 board lining Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148 Year 1

BUILDING: Block 02 UPRN: FLOOR: Level 4 - First floor level ROOM: Toilet 214 USE: No: 003/2/1/012 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 1,148 Shower heads/mixer valve Fair В 15 No Year 1 Repair Cost (£) CODE:7 Element: Baths Replacement Cond/Ind Priority L'Expec Quantity Cost (£) **Description** Condition **Action** Pressed steel bath Fair No action required В 20 No 656

Year 1

BUILDING: Block 02 **UPRN:** FLOOR: Level 4 - First floor level ROOM: Toilet 215 USE: No: 003/2/1/014 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 1,148 Shower heads/mixer valve Fair В 15 No Year 1 Repair Cost (£) CODE:7 Element: Baths Replacement Cond/Ind Priority L'Expec Quantity Cost (£) **Description** Condition **Action** Pressed steel bath Fair No action required В 20 No 656

Year 1

BUILDING: Block 02 FLOOR: Level 4 - First floor level **UPRN:** ROOM: Toilet 216 USE: No: 003/2/1/016 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle with pre-finished No action required Fair В 20 No 820 board lining Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148

Year 1

BUILDING: Block 02 FLOOR: Level 4 - First floor level **UPRN:** ROOM: Toilet 217 USE: No: 003/2/1/018 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle with pre-finished No action required Fair В 20 No 820 board lining Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148 Year 1

BUILDING: Block 02 FLOOR: Level 5 - Second floor level **UPRN:** ROOM: Toilet 221 USE: No: 003/2/2/004 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В Nο 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle with pre-finished No action required Fair В 20 No 820 board lining Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148 Year 1 Repair Cost (£)

BUILDING: Block 02 FLOOR: Level 5 - Second floor level **UPRN:** ROOM: Toilet 222 USE: No: 003/2/2/009 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle with pre-finished No action required No Fair В 20 820 board lining Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148 Year 1

BUILDING: Block 02 FLOOR: Level 5 - Second floor level UPRN: ROOM: Toilet 223 USE: No: 003/2/2/012 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 1,148 Shower heads/mixer valve Fair В 15 No Year 1 Repair Cost (£) CODE:7 Element: Baths Replacement Cond/Ind Priority L'Expec Quantity Cost (£) **Description** Condition **Action** Pressed steel bath Fair No action required В 20 No 656 Year 1 Repair Cost (£) **BUILDING**: Block 02 FLOOR: Level 5 - Second floor level UPRN: ROOM: Toilet 224 USE: No: 003/2/2/014 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 1,148 Shower heads/mixer valve Fair В 15 No Year 1 Repair Cost (£) CODE:7 Element: Baths Replacement Cond/Ind Priority L'Expec Quantity Cost (£) **Description** Condition **Action** Pressed steel bath Fair No action required В 20 No 656 Year 1 Repair Cost (£) BUILDING: Block 02 FLOOR: Level 5 - Second floor level **UPRN:** ROOM: Toilet 225 USE: No: 003/2/2/016 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle with pre-finished No action required Fair В 20 No 820 board lining Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148 Year 1 Repair Cost (£)

BUILDING: Block 02 FLOOR: Level 5 - Second floor level **UPRN:** ROOM: Toilet 226 USE: No: 003/2/2/018 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle with pre-finished No action required No Fair В 20 820 board lining Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148 Year 1 Repair Cost (£)

MECHANICAL SERVICES

BUILDING: Block 02 FLOOR: M&E **UPRN:**

ROOM: M&E No: 003/2/M&E/ USE:

Element: Gas Heating System

CODE: 13

Description

Heating was provided by 2 Ideal Vicerov Gas fired boilers. Hot water from system was pumped round the bld to a number of convection radiators, by a Biral pumping setup.

Condition

The heating and its associated equipment were in fair condition with no defects evident.

Action L'Expec Cond/Ind Priority 15

Continue maintenance В Replacement Cost (£)

50.000

Quantity

Quantity

Year 1

Repair Cost (£)

Element: Extraction System

Description

There was a mix of Xodus and Vent Axia single point extractors in use within the toilets in the resident's rooms. Within the kitchen an industrial Canopy Extractor was installed. Xpelair extraction units were installed within the Laundry room.

CODE: 13

Condition

The condition of these were fair with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority L'Expec

В 15 Replacement Cost (£)

35,000

Year 1

Element : Domestic Hot Water **CODE**:13

Description

Hot water was provided by the main boilers to a large Calorfier within the boiler room. , the water was pumped throughout the bld by Biral pumps.

Condition The condition of this was fair with no defects noted.

Action Continue Maintenance Cond/Ind Priority L'Expec В

15

Quantity

Replacement Cost (£) 50,000

ELECTRICAL SERVICES

BUILDING: Block 02 **UPRN:** FLOOR: M&E

ROOM: M&E No: 003/2/M&E/ USE:

Element: Incoming Mains & Metering **CODE: 14**

Description Power is supplied from the main REC supplies. This feeds an

MEM switching system supplying a number of Distribution Boards

(DB).

Condition

All were in fair condition with no

defects evident.

Action

Continue Maintenance

Cond/Ind Priority

В

20

L'Expec Quantity

Cost (£) 20.000

Year 1

Repair Cost (£)

Replacement

Element: Mains Distribution

Description

Power distribution was via a mix of Wylex, GET and Dorman Smith DBs located around the bld. Wiring was contained within trunking. This also houses the Telephone system.

CODE: 14

Condition

All were in a fair condition with no Continue Maintenance defects noted.

However there was evidence of extensions in use.

Action

It is recomended that the policy on the use of extensions is reviewed.

Cond/Ind Priority L'Expec

В

20

Quantity

Cost (£) 50,000

Year 1

Repair Cost (£)

Replacement

Element: Light Fittings Internal

Description

In the main this was a mix of T5, T8, (fitted with anti glare diffusers) 2D, CFL, tungsten and halogen

CODE: 14

Condition **Action**

The condition of the system was Continue maintenance

Cond/Ind Priority В

L'Expec 20

Quantity

25,000

Cost (£)

Year 1

Repair Cost (£)

Replacement

fittings. Some corridors were controlled by PIR's, all other lighting were manually controlled.

panel.

fair with no defects noted.

This survey did not look at system compliance, a further lighting compliance survey would be required.

Element : Light Fittings Internal **CODE: 14** Replacement Cond/Ind Priority L'Expec Cost (£) Condition Action **Description** Quantity This consisted of a mix of The condition of the system was This survey did not look at В 20 8,000 maintained and non-maintained fair with no defects noted. system compliance, a further self contained fittings. lighting compliance survey would Year 1 be required. Repair Cost (£)

Element: Fire Alarms **CODE: 14** Replacement Cost (£) Condition Action Cond/Ind Priority L'Expec **Description** Quantity An automatic system consisting The condition of the system was Continue Maintenance. В 20 10.000 of a number of break glass fair with no defects noted. This survey did not look at manual call points, detectors and system compliance, a further in Year 1

audible alarms connected to the depth compliance survey would be required.

Repair Cost (£)

OTHER M&E

BUILDING: Block 02 UPRN: FLOOR: M&E

ROOM: M & E **No**: 003/2/M&E/ **USE**:

Element: Elevator/Lifts **CODE**: 15

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)
There was a passenger lift
The condition of this and its
Continue maintenance.
B
16
100,000

installed. associated equipment was fair with no defects noted

Year 1

ROOFS

BUILDING: Block 03 UPRN: FLOOR: Roof

ROOM: Roof **No**: 003/3/R/001 **USE**:

Element : Covering CODE : 1

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Natural slate Fair No action required В 32 68 8,366 m2

Year 1

Repair Cost (£)

Photo 1



Photo 2 Position

Element : Covering CODE : 1

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Mineral felt Fair but showing signs of surface No action required 32 2,624 В 5 m2 deterioration

Element: Structure CODE:1 Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) Timber joists and rafters No action required 32 m2 5,577 Fair В 68 Year 1 Repair Cost (£) **Element**: Flashings CODE:1 Replacement **Description** Cond/Ind Priority Condition Action L'Expec Quantity Cost (£) Lead (inc. in roof) No action required Fair В 32 24 1,804 m Year 1 Repair Cost (£) **Element:** Rainwater goods CODE:1 Replacement **Description** Condition Cond/Ind Priority L'Expec Quantity Cost (£) Action Cast iron gutters and downpipes Fair No action required В 10 43 2,939 m Year 1 Repair Cost (£) **Element:** Decoration CODE:1 Replacement L'Expec Description Condition Action Cond/Ind Priority Cost (£) Quantity Painterwork to gutters and No action required В 2 43 352 Fair m2 downpipes Year 1 Repair Cost (£)

WALLS

BUILDING: Block 03 UPRN: FLOOR: Elevations

ROOM: Elevation No: 003/3/E/001 USE:

Element : External walls CODE : 2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Render finish (wet-dash) Fair No Action Required В 10 32 3,500 m2

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position



Element: Windows CODE: 2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Timber softwood sash and case Fair No Action Required 10 11 В m2 4,511 single-glazed windows

Photo 1



Photo 2



Position



Element: Doors CODE:2

Condition **Description**

Softwood timber flush/glazed door Fair

Action

No Action Required

Cond/Ind Priority В

L'Expec 10

Quantity 2

No.

Cost (£) 1,968

Year 1 Repair Cost (£)

Replacement

Photo 1



Photo 2



Position

Element: Decoration CODE:2

Description Condition Masonry Paint Fair

Action No Action Required Cond/Ind Priority В

L'Expec 2

Quantity 32

Cost (£) 437 m2

Year 1

Repair Cost (£)

Replacement

Element: Decoration **CODE**:2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Painterwork to windows and doors Fair No Action Required B 2 11 m2 150

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Cills CODE : 2

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Concrete cillsFairNo Action RequiredB256m3,000

BUILDING: Block 03 UPRN: FLOOR: Elevations

ROOM: Elevation No: 003/3/E/002 USE:

Element : External walls CODE : 2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Render finish (wet-dash) Fair No Action Required В 10 61 m2 3,335

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position



Element: Windows CODE: 2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Timber softwood sash and case Fair No Action Required 10 24 m2 9,843 В single-glazed

Photo 1



Photo 2 Position

Element : Decoration	CODE:2					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Painterwork to windows and d	doors Fair	No Action Required	В	2	24 m2	328
						Year 1 Repair Cost (£)
Element : Decoration	CODE:2					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Masonry Paint	Fair	No Action Required	В	2	61 m2	833
						Year 1 Repair Cost (£)
Element : Cills	CODE:2					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Concrete cills	Fair	No Action Required	В	25	16 m	8,000
						Year 1 Repair Cost (£)

BUILDING: Block 03 UPRN: FLOOR: Elevations

ROOM: Elevation No: 003/3/E/003 USE:

Element : External walls CODE : 2

Replacement Condition **Description Action** Cond/Ind Priority L'Expec Quantity Cost (£) Render finish (wet-dash) No Action Required В 10 53 2,898 Fair m2

> Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element : Windows CODE : 2

DescriptionConditionActionCond/Ind PriorityL'ExpecTimber softwood sash and caseFairNo Action RequiredB10

single-glazed windows
Year 1
Repair Cost (£)

Element : Doors CODE : 2

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Softwood timber flush/glazed door Fair No Action Required B 10 1 No. 984

Softwood timber flush/glazed door Fair No Action Required B 10 1 No. 984

Year 1 Repair Cost (£)

Replacement

Cost (£)

6,972

Quantity

m2

17

Element : Decoration CODE : 2

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)
Painterwork to windows and doors Fair No Action Required B 2 19 m2 259

Year 1 Repair Cost (£)

Replacement

Year 1

Element: Decoration **CODE**:2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Masonry Paint Fair No Action Required B 2 53 m2 724

Repair Cost (£)

Element : Cills CODE : 2

Replacement Description Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Concrete cills Fair 25 No Action Required В 11 5,500 m

STRUCTURE

BUILDING: Block 03 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Circulation Area/Stairwell

No: 003/3/0/001

USE:

Element : Stairs CODE : 4

Replacement

Description

Condition

Action

Cond/Ind Priority L'Expec Quantity

Cost (£)

Concrete stair Fair No action required B 40 1 m2 341

BUILDING: Block 03	UPRN:		FLOOR: Structure			
ROOM: Structure	No : 003/3	3/St/St	USE:			
Element : Floors Description Concrete floor	CODE:4 Condition Fair	Action No action required	Cond/Ind Priority B	L'Expec 40	Quantity 50 m2	Replacement Cost (£) 8,202
						Year 1 Repair Cost (£
Element : Floors	CODE :4					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Timber floor	Fair	No action required	В	40	150 m2	15,379
						Year 1 Repair Cost (£
Element : Walls	CODE:4					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Brick & render	Fair	No action required	В	40	1 m2	150
						Year 1 Repair Cost (£

ROOMS

BUILDING: Block 03 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Circulation Area/Stairwell

No: 003/3/0/001

USE:

Element : Ceilings CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plasterboard ceiling Fair No Action Required B 20 13 m2 444

Year 1 Repair Cost (£)

Element : Walls CODE : 5

CODE:5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plaster walls Fair No Action Required B 20 210 m2 8,612

Year 1 Repair Cost (£)

Element : Doors CODE : 5

Element: Floors

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Year 1

1 hour fire door set Fair No Action Required B 20 7 No 9,569

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Carpet floor finish, with colour- Fair No Action Required B 5 53 m2 2,500 contrasted step nosings.

Element: Decoration **CODE**:5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to walls; gloss/varnish to timber finishes

Replacement Cond/Ind Priority L'Expec Quantity Cost (£)

No Action Required B 1 263 m2 2,157

BUILDING: Block 03 ROOM: Office	UPRN : No : 003/3/0/00		FLOOR : Level 3 - Canongate St USE :			
Element : Ceilings	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Suspended grid system with plasterboard tiles	Fair	No Action Required	В	15	12 m2	410
plasterboard tiles						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster walls	Fair	No Action Required	В	20	30 m2	1,230
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Carpet floor finish	Poor, worn and stained.	Replace	D 4	Replace/In	12 m2	492
						Year 1 Repair Cost (£)
Element : Decoration	CODE:5					Ponlacoment
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Emulsion to ceiling and walls;	Fair	No Action Required	В	1	30 m2	246
gloss/varnish to timber finishes						Year 1 Repair Cost (£

BUILDING: Block 03 ROOM: Circulation Area	UPRN : No : 003/3/0/0	03	FLOOR: Level 3 - Canongate Street level G USE:			ound		
Element : Ceilings	CODE:5							Danlasamant
Description Suspended grid system with	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 15	Quantity 14	/ m2	Replacement Cost (£) 478
plasterboard tiles								Year 1 Repair Cost (£)
Element : Ceilings	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	/	Cost (£)
Plasterboard ceiling	Fair	No Action Required		В	20	10	m2	341
								Year 1 Repair Cost (£)
Element : Walls	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	,	Cost (£)
Plaster walls	Fair	No Action Required		В	20	68	m2	2,788
								Year 1 Repair Cost (£)
Element : Floors	CODE:5							Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 5	Quantity 21	/ m2	Cost (£) 861
								Year 1 Repair Cost (£)

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber laminate flooring Fair No Action Required B 5 4 m2 164

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to walls; gloss/varnish Fair No Action Required B 1 44 m2 360 to timber finishes

BUILDING: Block 03	UPRN:		FLOOR: Level 3 - Canongate Street level Ground				
ROOM: Bedroom 301	No : 003	3/3/0/004	USE :				
Element : Ceilings	CODE : 5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plasterboard ceiling	Fair	No Action Required	В	20	12 m2	410	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plasterboard walls	Fair	No Action Required	В	20	10 m2	341	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plaster walls	Fair	No Action Required	В	20	28 m2	1,148	
						Year 1 Repair Cost (£	
Element : Doors	CODE:5					Ponlocoment	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)	
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367	
						Year 1 Repair Cost (£	

Element : Floors **CODE**:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair, although slightly worn and Clean carpet В 4 5 12 m2 492 soiled in areas. Year 1 Repair Cost (£) 50 **Element**: Decoration CODE:5 Replacement Condition Cond/Ind Priority Cost (£) **Description** Action L'Expec Quantity

No Action Required

В

50

m2

410

Year 1

Repair Cost (£)

Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Fair

BUILDING: Block 03 ROOM: Toilet 301	UPRN : No : 003/3/0/005		FLOOR: Level 3 - Canongate Street level Ground USE:			
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Replacement Cost (£) 102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 9 m2	Cost (£) 307
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Cost (£) 205
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Danlagamant
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Replacement Cost (£) 492
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 3 m2 123

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 17 m2 139 gloss/varnish to timber finishes

BUILDING: Block 03	UPRN:		FLOOR: Level 3 - Canongate Street level Ground			
ROOM: Bedroom 302	No : 003/	/3/0/006	USE:			
Element : Ceilings	CODE : 5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 12 m2	Cost (£) 410
						Year 1 Repair Cost (£)
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10 m2	Cost (£) 341
						Year 1 Repair Cost (£)
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 28 m2	Cost (£) 1,148
						Year 1 Repair Cost (£)
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£)

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Carpet floor finishFairNo Action RequiredB512m2492

Year 1 Repair Cost (£)

Replacement

Year 1

Repair Cost (£)

Element : Decoration CODE : 5

Replacement

Description

Condition

Action

Cond/Ind Priority L'Expec Quantity

Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 50 m2 410 gloss/varnish to timber finishes

BUILDING: Block 03	UPRN : No : 003/3/0/007		FLOOR: Level 3 - Canongate Street level Ground				
ROOM: Toilet 302			USE:				
Element : Ceilings	CODE:5						Replacemen
Description Plasterboard ceiling	Condition Fair, with staining in isolated	Action Make good finish	Cond/In B	d Priority 4	L'Expec 20	Quantity 3 m	Cost (£) 102
	areas						Year 1 Repair Cost 50
Element : Walls	CODE:5						Replacemen
Description	Condition	Action	Cond/In	d Priority	L'Expec	Quantity	Cost (£)
Plaster walls	Fair	No Action Required	В		20	5 m	n2 205
							Year 1 Repair Cost
Element : Walls	CODE:5						Replacemen
Description	Condition	Action	Cond/In	d Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В		20	9 m	n2 307
							Year 1 Repair Cost
Element : Doors	CODE:5						Replacemen
Description	Condition	Action	Cond/In	d Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush	Fair	No Action Required	В	,	20	1 N	
							Year 1 Repair Cost

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 3 m2 123

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 17 m2 139 gloss/varnish to timber finishes

BUILDING: Block 03 **UPRN:** FLOOR: Level 3 - Canongate Street level Ground **ROOM:** Staff Changing Rooms No: 003/3/0/008 USE: **Element**: Ceilings CODE:5 Replacement Condition Cond/Ind Priority L'Expec **Description** Action Quantity Cost (£) Plasterboard ceiling Fair, with staining in isolated Make good finish В 20 16 546 m2 areas Year 1 Repair Cost (£) 150 CODE:5 Element: Walls Replacement Cond/Ind Priority L'Expec Cost (£) Condition Action **Description** Quantity 23 943 Plaster walls Fair No Action Required В 20 m2 Year 1 Repair Cost (£) CODE:5 Element: Walls Replacement Condition **Action** Cond/Ind Priority L'Expec Cost (£) Description Quantity No Action Required В Plasterboard walls 20 9 307 Fair m2 Year 1 Repair Cost (£) CODE:5 **Element:** Doors Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) **Action** Quantity No Action Required 20 1,367 1 hour fire door set Fair В No Year 1

Repair Cost (£)

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 16 m2 492

Repair Cost (£)

Year 1

Replacement

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 48 m2 393 gloss/varnish to timber finishes

BUILDING: Block 03 **UPRN:** FLOOR: Level 3 - Canongate Street level Ground **ROOM:** Staff Changing Rooms Store No: 003/3/0/008A USE: **Element**: Ceilings CODE:5 Replacement Condition **Description** Action Cond/Ind Priority Cost (£) L'Expec Quantity Plasterboard ceiling No Action Required В 20 3 Fair m2 102 Year 1 Repair Cost (£) **Element:** Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required 20 Plaster walls Fair В 15 m2 615 Year 1 Repair Cost (£) **Element:** Doors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No Action Required Softwood timber flush Fair В 20 No 492 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement Cond/Ind Priority Cost (£)

L'Expec

5

В

Quantity

m2

123

Year 1

Repair Cost (£)

3

Action

No Action Required

Description

Vinyl sheet finish (non-slip)

Condition

Fair

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Emulsion to ceiling and walls;
Fair
No Action Required
B
1
18
m2
147

BUILDING: Block 03 ROOM: Circulation Area	UPRN : No : 003/3/		LOOR: Level 4 - First floor lev	el		
Element : Ceilings	CODE:5					Danlasamant
Description Suspended grid system with	Condition Fair	Action	Cond/Ind Priority	L'Expec 20	Quantity 4 m2	Replacement Cost (£) 136
plasterboard tiles	rair	No Action Required	В	20	4 M2	
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	•	Quantity	Cost (£)
Plaster walls	Fair	No Action Required	В	20	16 m2	656
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 4 m2	Cost (£) 164
						Year 1 Repair Cost (£

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to walls; gloss/varnish to timber finishes

Replacement Cond/Ind Priority L'Expec Quantity Cost (£)

No Action Required B 1 20 m2 164

BUILDING: Block 03 **UPRN:** FLOOR: Level 4 - First floor level **ROOM**: Circulation Area No: 003/3/1/002 USE: **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Suspended grid system with No Action Required В 20 Fair 12 410 m2 plasterboard tiles Year 1 Repair Cost (£) CODE:5 Element: Walls Replacement Cond/Ind Priority L'Expec Cost (£) Condition Action **Description** Quantity 33 Plaster walls Fair No Action Required В 20 1.353 m2 Year 1 Repair Cost (£) CODE:5 **Element:** Floors Replacement Condition **Description Action** Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish В 5 No Action Required 12 492 Fair m2 Year 1 Repair Cost (£) CODE:5 **Element:** Decoration Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) **Action** Quantity Emulsion to walls; gloss/varnish 33 No Action Required В Fair 1 m2 270 to timber finishes Year 1 Repair Cost (£)

BUILDING: Block 03	UPRN:	F	LOOR: Level 4 - First floor leve	el		
ROOM: Bedroom 311	No : 003/	/3/1/003	USE:			
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	12 m2	410
						Year 1 Repair Cost (
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10 m2	Cost (£) 341
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 28 m2	Cost (£) 1,148
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Carpet floor finishFairNo Action RequiredB512m2492

Year 1 Repair Cost (£)

Replacement

Year 1

Repair Cost (£)

Element : Decoration CODE : 5

Replacement

Description

Condition

Action

Cond/Ind Priority L'Expec Quantity

Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 50 m2 410 gloss/varnish to timber finishes

No: 003/3/1/00 CODE:5 Condition Fair	Action	USE :					
Condition							
							Replacement
	No Action Required		Cond/Ind Priority B	L'Expec 20	Quantity 3	y m2	Cost (£) 102
							Year 1 Repair Cost (£
CODE:5							Replacement
Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 20	Quantity 5	y m2	Cost (£) 205
							Year 1 Repair Cost (£
CODE:5							Replacement
Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantit 9	y m2	Cost (£) 307
							Year 1 Repair Cost (£
CODE:5							Replacement
Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 1	y No	Cost (£) 492
							Year 1 Repair Cost (£
	CODE:5 CODE:5 CODE:5 Condition Fair	CODE:5 CODE:5 CODE:5 Condition Action Fair Action No Action Required CODE:5 Condition Action No Action Required Action No Action Required Action Action	Condition Fair CODE:5 Condition Fair Action No Action No Action No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition Action	Condition Fair CODE:5 Condition Fair Action Cond/Ind Priority B CODE:5 Condition Fair CODE:5 Condition Action No Action Required B CODE:5 Cond/Ind Priority CODE:5 Condition Action Cond/Ind Priority	Condition Fair Action No Action Required B Cond/Ind Priority 20 CODE:5 Condition Fair Action No Action Required B Cond/Ind Priority 20 CODE:5 CODE:5 CODE:5 Condition Action Cond/Ind Priority B CODE:5 Condition Action Cond/Ind Priority L'Expec 20 CODE:5 Condition Action Cond/Ind Priority L'Expec	Condition Fair CODE:5 Cond/Ind Priority B Cond/Ind Priority 20 5 Condition Action Cond/Ind Priority Fair CODE:5 Condition Action No Action Required B CODE:5 Cond/Ind Priority 20 Quantity 20 9 CODE:5 Cond/Ind Priority L'Expec Quantity 20 Quantity 20 Quantity 20 CODE:5 Cond/Ind Priority L'Expec Quantity 20 Quantity 20 Quantity 20 CODE:5	Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Action No Action Required CODE:5 Condition Fair CODE:5 Cond/Ind Priority B Cond/Ind Priority L'Expec Quantity 9 m2 CODE:5 Condition Action Cond/Ind Priority L'Expec Quantity 9 m2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 3 m2 123

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 17 m2 139 gloss/varnish to timber finishes

BUILDING: Block 03	UPRN:	F	LOOR: Level 4 - First floor lev	el		
ROOM: Bedroom 312	No : 003/3	3/1/005	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 12 m2	Cost (£) 410
Flasterboard Celling	raii	No Action Required	ь	20	12 1112	
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	•	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	10 m2	341
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster walls	Fair	No Action Required	В	20	28 m2	1,148
						Year 1 Repair Cost (£
Element : Doors	CODE :5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Carpet floor finishFairNo Action RequiredB512m2492

Year 1 Repair Cost (£)

Replacement

Year 1

Repair Cost (£)

Element : Decoration CODE : 5

Replacement

Description

Condition

Action

Cond/Ind Priority L'Expec Quantity

Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 50 m2 410 gloss/varnish to timber finishes

BUILDING: Block 03	UPRN:	F	LOOR: Level 4 - First floor leve	el		
ROOM: Toilet 312	No : 003/	/3/1/006	USE:			
Element : Ceilings	CODE : 5					Replacement
Description	Condition Fair	Action	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
Plasterboard ceiling	rall	No Action Required	D	20	3 1112	102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster walls	Fair	No Action Required	В	20	5 m2	205
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	9 m2	307
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush	Fair	No Action Required	В	20	1 No	492
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 3 m2 123

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 17 m2 139 gloss/varnish to timber finishes

BUILDING: Block 03	UPRN:	FLC	OR: Level 4 - First floor leve	el			
ROOM: Bedroom 313	No : 003/3/1/00	07 U	JSE :				
Element : Ceilings	CODE :5						Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10	/ m2	Cost (£) 341
J							Year 1 Repair Cost (£
Element : Walls	CODE:5						Denlessment
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 27	/ m2	Replacement Cost (£) 1,107
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1	/ No	Cost (£) 1,367
							Year 1 Repair Cost (£
Element : Floors	CODE :5						Danlassmant
Description Carpet floor finish	Condition Fair, although slightly worn and	Action Clean carpet	Cond/Ind Priority B 4	L'Expec 5	Quantity 10	/ m2	Replacement Cost (£) 410
	soiled in areas.						Year 1 Repair Cost (£ 50

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityEmulsion to ceiling and walls; gloss/varnish to timber finishesFairNo Action RequiredB137m2

Year 1 Repair Cost (£)

Replacement

Cost (£)

303

BUILDING: Block 03	UPRN:		LOOR: Level 4 - First floor leve			
ROOM: Toilet 313	No : 003/	3/1/008	USE:			
Element : Ceilings	CODE : 5					Replacement
Description	Condition	Action	Cond/Ind Priority	•	Quantity	Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	4 m2	136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	2 m2	68
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster walls	Fair	No Action Required	В	20	16 m2	656
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush	Fair	No Action Required	В	20	1 No	492
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Year 1

Vinyl sheet finish (non-slip) Fair No Action Required B 5 4 m2 164

Element : Decoration **CODE :** 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Poor Redecorate D 4 Replace/In 17 m2 139 gloss/varnish to timber finishes

UPRN:		LOOR: Level 4 - First floor lev			
No : 003/3	3/1/009	USE:			
CODE :5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 7 m2	Cost (£) 239
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10 m2	Cost (£) 341
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10 m2	Cost (£) 410
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 2 No	Cost (£) 984
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair No Action No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE :5 Condition Action No Action Required B L'Expec Fair Action No Action Required B L'Expec Condition Action Required B L'Expec Fair No Action Required B L'Expec Condition Action Required B L'Expec 20 CODE :5 Condition Action Required B L'Expec 20 CODE :5 Condition Action Required B L'Expec 20 CODE :5 Condition Action Required B L'Expec 20	CODE :5 Condition Action No Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity CODE :5 Condition Action No Action Required B Z0 7 m2 CODE :5 Condition Action No Action Required B Z0 10 m2 CODE :5 Condition Action Required B Z0 10 m2 CODE :5 Condition Action Required B Z0 10 m2

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority L'Expec Cost (£) **Description** Action Quantity 1 hour fire door set Fair No Action Required В 20 No 1,367 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 5 m2 287 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Emulsion to ceiling and walls; Fair 37 303 No Action Required В 1 m2 gloss/varnish to timber finishes

Year 1

Repair Cost (£)

UPRN:		OOR: Level 4 - First floor leve			
No : 003/3	3/1/010	USE:			
CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 20 m2	Replacement Cost (£) 683
	·				Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Cost (£) 170
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 38 m2	Cost (£) 1,558
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair Action No Action Required	CODE :5 Condition Action Required B CODE :5 Condition Action Required B	CODE :5 Condition Fair CODE :5 Condition Fair CODE :5 Condition Action No Action Required Cond/Ind Priority L'Expec 20 Condition Fair CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required Cond/Ind Priority L'Expec 20 CODE :5 Condition Fair Cond/Ind Priority L'Expec 20 Cond/Ind Priority L'Expec 20 Cond/Ind Priority L'Expec 20 Condition Fair Cond/Ind Priority L'Expec 20 Cond/Ind Priority L'Expec	CODE :5 Condition Fair CODE :5 Condition No Action Required CODE :5 Condition Fair CODE :5 Condition Action No Action Required CODE :5 Condition Fair Action No Action Required Cond/Ind Priority L'Expec Quantity 20 S m2 CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec Quantity 38 m2 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity L'Expec

Element : Floors **CODE**:5 **Description** Condition

Carpet floor finish Fair, although slightly worn and

soiled in areas.

Action Clean carpet Cond/Ind Priority L'Expec В 5 4

Quantity 20 m2

Quantity

63

820 Year 1

Replacement

Cost (£)

Repair Cost (£)

Replacement

Cost (£)

50

Element: Decoration CODE:5

Description Emulsion to ceiling and walls; gloss/varnish to timber finishes Condition Fair

Action

No Action Required

Cond/Ind Priority L'Expec В

m2 516

UPRN:		FLOOR: Level 4 - First floor level			
No : 003/	/3/1/011	USE:			
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 8 m2	Cost (£) 273
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 123
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Action Action No Action Required Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B L'Expec 20	CODE :5 Condition Action No Action Required B L'Expec Quantity 3 m2 CODE :5 Condition Action Required B L'Expec Quantity 3 m2 CODE :5 Condition Action Required B L'Expec Quantity 20 m2 CODE :5 Condition Action Required B B m2 CODE :5 Condition Action Required B L'Expec Quantity 8 m2 CODE :5 Condition Action Required B B m2 CODE :5 Condition Action Required B L'Expec Quantity 3 m2 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec Quantity 3 m2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 5 3 m2 123

Year 1
Repair Cost (£)

Element : Decoration CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 14 m2 114 gloss/varnish to timber finishes

BUILDING: Block 03	UPRN:	FL	FLOOR: Level 5 - Second floor level			
ROOM: Circulation Area	No : 003/3/2/00	01	USE:			
Element : Ceilings	CODE:5					Donloomoni
Description Suspended grid system with	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Replacement Cost (£) 136
plasterboard tiles	i ali	No Action Required	D	20	4 1112	
						Year 1 Repair Cost
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster walls	Fair	No Action Required	В	20	16 m2	656
						Year 1 Repair Cost
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367
						Year 1 Repair Cost (
Element : Floors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Carpet floor finish	Fair	No Action Required	В	5	4 m2	164
						Year 1 Repair Cost (

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to walls; gloss/varnish to timber finishes

Replacement Cond/Ind Priority L'Expec Quantity Cost (£)

No Action Required B 1 20 m2 164

BUILDING: Block 03	UPRN:	F	FLOOR: Level 5 - Second floor level				
ROOM: Circulation Area	No : 003/3/2	2/002	USE:				
Element : Ceilings	CODE:5						Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	/	Cost (£)
Suspended grid system with plasterboard tiles	Fair	No Action Required	В	20	12	m2	410
							Year 1 Repair Cost (
Element : Walls	CODE:5						Replacement
Description	Condition	Action	Cond/Ind Priority	-	Quantity		Cost (£)
Plaster walls	Fair	No Action Required	В	20	33	m2	1,353
							Year 1 Repair Cost (£
Element : Floors	CODE:5						Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	/	Cost (£)
Carpet floor finish	Fair	No Action Required	В	5	12	m2	492
							Year 1 Repair Cost (£
Element : Decoration	CODE:5						Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	/	Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	В	1	33	m2	270
							Year 1 Repair Cost (£

BUILDING: Block 03	UPRN :		FLOOR: Level 5 - Second floor level			
ROOM: Bedroom 321	No : 003/3	3/2/003	USE:			
Element : Ceilings	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Description Plasterboard ceiling	Fair	No Action Required	B	20	12 m2	` '
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 28 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£)
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Carpet floor finishFairNo Action RequiredB512m2492

Year 1 Repair Cost (£)

Replacement

Year 1

Repair Cost (£)

Element : Decoration CODE : 5

Replacement

Description

Condition

Action

Cond/Ind Priority L'Expec Quantity

Cost (£)

		FLOOR: Level 5 - Second floor level			
No : 003/3.	/2/004	USE:			
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Cost (£) 205
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 9 m2	Cost (£) 307
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action No Action Required CODE:5 Condition Action Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE :5 Condition Action No Action Required B Z0 CODE :5 Condition Action Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B Z0 CODE :5 Condition Action Cond/Ind Priority L'Expec Z0	CODE : 5 Condition

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 3 m2 123

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 17 m2 139 gloss/varnish to timber finishes

BUILDING: Block 03	UPRN:		FLOOR: Level 5 - Second floor level			
ROOM: Bedroom 322	No : 003/3	3/2/005	USE:			
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	12 m2	410
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 28 m2	Cost (£) 1,148
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10 m2	Cost (£) 341
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Carpet floor finishFairNo Action RequiredB512m2492

Year 1 Repair Cost (£)

Replacement

Year 1

Repair Cost (£)

Element : Decoration CODE : 5

Replacement

Description

Condition

Action

Cond/Ind Priority L'Expec Quantity

Cost (£)

BUILDING: Block 03 ROOM: Toilet 322	UPRN : No : 003/3/2/006		FLOOR: Level 5 - Second floor level USE:					
Element : Ceilings	CODE:5						Replacement	
Description Plasterboard ceiling	Condition Fair, although damaged in isolated areas	Action Make good finish		Cond/Ind Priority B 4	L'Expec 20	Quantity 3 m2	Cost (£)	
	isolated areas						Year 1 Repair Cost (£ 50	
Element : Walls	CODE:5						Donloomont	
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)	
Plasterboard walls	Fair	No Action Required	d	В	20	9 m2	307	
							Year 1 Repair Cost (£	
Element : Walls	CODE:5						Replacement	
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plaster walls	Fair	No Action Required	d	В	20	5 m2	205	
							Year 1 Repair Cost (£	
Element : Doors	CODE :5						Replacement	
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Softwood timber flush	Fair	No Action Required	d	В	20	1 No	492	
							Year 1 Repair Cost (£	

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 3 m2 123

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 17 m2 139 gloss/varnish to timber finishes

BUILDING: Block 03	UPRN: F		FLOOR: Level 5 - Second floor level			
ROOM: Bedroom 323	No : 003/3	3/2/007	USE :			
Element : Ceilings Description Plasterboard ceiling	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10 m2	Replacement Cost (£) 341
riasterboard ceilling	r'all	No Action Required	D	20	10 1112	Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 27 m2	Cost (£) 1,107
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 10 m2	Cost (£) 410
						Year 1 Repair Cost (£

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityEmulsion to ceiling and walls; gloss/varnish to timber finishesFairNo Action RequiredB137m2

Year 1 Repair Cost (£)

Replacement

Cost (£)

303

No: 003/3/2/008 CODE: 5 ion Action No Action	USE : Cond/Ind Price B	riority L'Expec 20	: Quantit	y m2	Replacement Cost (£) 136 Year 1
ion Action No Action		•		•	Cost (£) 136
No Action		•		•	136
CODE : 5					Year 1
CODE : 5					Repair Cost (£
SODE .					Replacement
		riority L'Expec	Quantity	y m2	Cost (£) 656
					Year 1 Repair Cost (£
CODE : 5					Replacement
		riority L'Expec	Quantity	y m2	Cost (£)
					Year 1 Repair Cost (£
CODE : 5					Replacement
		riority L'Expec	Quantity	y No	Cost (£) 492
					Year 1 Repair Cost (£
t t	CODE:5 tion Action CODE:5 tion Action Action Action Action	Action Required B CODE:5 tion Action Cond/Ind P No Action Required B CODE:5 Action Cond/Ind P No Action Required B	Action No Action Required B 20 CODE :5 tion Action Cond/Ind Priority L'Expectation No Action Required B 20 CODE :5 tion Action Cond/Ind Priority L'Expectation No Action Required CODE :5 tion Action Cond/Ind Priority L'Expectation Cond/Ind Priority L'Ex	Action Action Required B Z0 16 CODE:5 tion Action Required B Z0 20 Action Cond/Ind Priority L'Expec Quantity No Action Required B Z0 2 CODE:5 tion Action Cond/Ind Priority L'Expec Quantity No Action Required B Z0 2	Action No Action Required B B 20 16 m2 CODE:5 tion Action Cond/Ind Priority L'Expec Quantity No Action Required B 20 2 m2 CODE:5 tion Action Cond/Ind Priority L'Expec Quantity Action Required B 20 2 m2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 4 m2 164

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 5 17 m2 139 gloss/varnish to timber finishes

BUILDING: Block 03 ROOM: Bathroom	UPRN : No : 003/3/2/0		FLOOR: Level 5 - Second floor USE:	level		
Element : Ceilings Description Plasterboard ceiling	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec	Quantity 7 m2	Replacement Cost (£) 239
. reconstant coming	. •		_			Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	10 m2	341
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster walls	Fair, with damaged plaster in isolated areas	Make good finish	B 4	20	10 m2	410
						Year 1 Repair Cost (£ 100
Element : Doors	CODE:5					Donlacoment
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 2 No	Replacement Cost (£) 984
						Year 1 Repair Cost (£

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority L'Expec Cost (£) **Description** Action Quantity 1 hour fire door set Fair No Action Required В 20 No 1,367 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 5 m2 287 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Emulsion to ceiling and walls; Fair 37 303 No Action Required В 1 m2 gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 03	UPRN:		FLOOR: Level 5 - Second floor level			
ROOM: Bedroom 324	No : 003/	/3/2/010	USE:			
Element : Ceilings	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Description Plasterboard ceiling	Fair	No Action Required	В	20	_	12 683
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 38 m	Cost (£) 1,558
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	-	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	5 m	n2 170
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 N	Cost (£)
. Hour mo door oot	i dii	140 / tottoff (Yoquilou	J	20		·
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Carpet floor finish Fair No Action Required B 5 20 m2 820

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 63 m2 516 gloss/varnish to timber finishes

No: 003/3/ CODE:5 Condition Fair	/2/011 Action	USE:				
Condition	Action					
	Action					Replacement
	No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3	/ m2	Cost (£) 102
						Year 1 Repair Cost (£
CODE:5						Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 13	/ m2	Cost (£) 444
						Year 1 Repair Cost (£
CODE:5						Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4	y m2	Cost (£) 164
						Year 1 Repair Cost (£
CODE:5						Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1	y No	Cost (£) 492
						Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition	CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Action Cond/Ind Priority	CODE :5 Condition Action No Action Required B L'Expec 20 CODE :5 Condition Action Required B L'Expec 20 CODE :5 Condition Action Required B L'Expec 20 CODE :5 Condition Action Required B L'Expec 20	CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 20 13 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 20 4 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity 4	CODE : 5 Condition Action No Action Required B L'Expec Quantity CODE : 5 Condition Action Required B Z0 13 m2 CODE : 5 Condition Action Required B Z0 4 m2 CODE : 5 Condition Action Required B Z0 4 m2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 5 3 m2 123

Year 1
Repair Cost (£)

Element : Decoration CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 14 m2 114 gloss/varnish to timber finishes

BUILDING: Block 03 ROOM: Circulation Area	UPRN : No : 003/3/3/001		LOOR: Level 6 - Third Floor L USE:			
Element : Ceilings	CODE : 5	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,				
Description Suspended grid system with	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec	Quantity 4 m2	Replacement Cost (£) 136
plasterboard tiles	. a	rto /todon rtoquilou	J	20		Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	•	Quantity	Cost (£)
Plaster walls	Fair	No Action Required	В	20	16 m2	656
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 4 m2	Cost (£) 164
						Year 1 Repair Cost (£

Element: Decoration **CODE**:5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to walls; gloss/varnish to timber finishes

Replacement Cond/Ind Priority L'Expec Quantity Cost (£)

No Action Required B 1 20 m2 164

BUILDING: Block 03 FLOOR: Level 6 - Third Floor Level **UPRN: ROOM**: Circulation Area USE: No: 003/3/3/002 **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Plasterboard ceiling No Action Required В 20 12 Fair 410 m2 Year 1 Repair Cost (£) **Element:** Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required 1,353 Plaster walls Fair В 20 33 m2 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish No Action Required Fair В 5 12 m2 492 Year 1 Repair Cost (£) CODE:5 **Element:** Decoration Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) Emulsion to walls; gloss/varnish Fair No Action Required В 33 270 1 m2 to timber finishes Year 1 Repair Cost (£)

UPRN: FLOOR: Level 6 - Third Floor Lev			Level			
No : 003/3	3/3/003	USE:				
CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 20 m2	Replacement Cost (£) 683	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Cost (£) 170	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 38 m2	Cost (£) 1,558	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367	
					Year 1 Repair Cost (£	
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required Action No Action Required Action No Action Required	CODE : 5 Condition Action Required B CODE : 5 Condition Action Required Cond/Ind Priority B	CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec Fair Action No Action Required B Cond/Ind Priority L'Expec Fair No Action Required B L'Expec Condition Action No Action Required B L'Expec Fair No Action Required B L'Expec 20 CODE :5 Condition Action No Action Required B L'Expec Fair No Action Required B L'Expec 20 CODE :5 Condition Action Cond/Ind Priority L'Expec Code :5 Condition Action Cond/Ind Priority L'Expec	CODE : 5 Condition Fair Action No Action Required Cond/Ind Priority B CODE : 5 Condition Fair Cond/Ind Priority E'Expec Quantity 5 m2 CODE : 5 Condition Fair Action No Action Required B Cond/Ind Priority L'Expec Quantity 20 Action Required Cond/Ind Priority L'Expec Quantity 38 m2 CODE : 5 Condition Action Cond/Ind Priority L'Expec Quantity	

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Carpet floor finish Fair No Action Required B 5 20 m2 820

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 63 m2 516 gloss/varnish to timber finishes

	UPRN: F		FLOOR: Level 6 - Third Floor Level			
No : 003/	3/3/004	USE:				
CODE:5	Antina	Candlad Driavitu	LIEuroo	O	Replacement	
Fair	No Action Required	B	20	3 m2	Cost (£) 102	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Cost (£) 164	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 13 m2	Cost (£) 444	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492	
					Year 1 Repair Cost (£	
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition	Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE :5 Condition Action No Action Required B E 20 CODE :5 Condition Action Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B E 20 CODE :5 Condition Action Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B E 20 CODE :5 Condition Action Required B E 20	CODE :5 Condition Fair No Action Required B Cond/Ind Priority B CODE :5 Condition Fair No Action No Action Required B Cond/Ind Priority L'Expec Quantity Expec Quantity Action Fair No Action Required B Cond/Ind Priority L'Expec Quantity Expec Action Fair No Action Required B Cond/Ind Priority L'Expec Quantity Expec Fair No Action Required B Cond/Ind Priority L'Expec Quantity Expec Condition Action Cond/Ind Priority L'Expec Quantity L'Expec Quantity L'Expec Quantity L'Expec Condition Cond/Ind Priority L'Expec Quantity	

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 5 3 m2 123

Year 1
Repair Cost (£)

Element : Decoration CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 14 m2 114 gloss/varnish to timber finishes

BUILDING: Block 03	UPRN:		OOR: Level 6 - Third Floor Le			
ROOM: Bedroom 331	No : 003/3	3/3/005	USE:			
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	12 m2	410
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 28 m2	Cost (£) 1,148
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10 m2	Cost (£) 341
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Carpet floor finishFairNo Action RequiredB512m2492

Year 1 Repair Cost (£)

Replacement

Year 1

Repair Cost (£)

Element : Decoration CODE : 5

Replacement

Description

Condition

Action

Cond/Ind Priority L'Expec Quantity

Cost (£)

UPRN :		FLOOR: Level 6 - Third Floor Level			
No : 003/	/3/3/006	USE:			
CODE :5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Cost (£) 205
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 9 m2	Cost (£) 307
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required Action No Action Required CODE:5 Condition Fair Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE :5 Condition Action No Action Required B L'Expec Fair Action No Action Required B L'Expec Condition Action No Action Required B L'Expec Fair No Action Required B L'Expec Condition Action Required B L'Expec 20 CODE :5 Condition Action Required B L'Expec Pair No Action Required B L'Expec 20 CODE :5 Condition Action Required B L'Expec 20	CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair Action No Action Required Cond/Ind Priority E'Expec Quantity 20 3 m2 CODE :5 Condition Fair Action No Action Required B CODE :5 Condition Action No Action Required B Cond/Ind Priority E'Expec Quantity 5 m2 CODE :5 Condition Action No Action Required B Cond/Ind Priority E'Expec Quantity 9 m2 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity 1 m2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 3 m2 123

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 17 m2 139 gloss/varnish to timber finishes

BUILDING: Block 03	UPRN:		LOOR: Level 6 - Third Floor Le			
ROOM: Bedroom 332	No : 003/	3/3/007	USE:			
Element : Ceilings Description	CODE : 5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	12 m2	410
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10 m2	Cost (£) 341
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster walls	Fair	No Action Required	В	20	28 m2	1,148
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Carpet floor finishFairNo Action RequiredB512m2492

Year 1 Repair Cost (£)

Replacement

Year 1

Repair Cost (£)

Element : Decoration CODE : 5

Replacement

Description

Condition

Action

Cond/Ind Priority L'Expec Quantity

Cost (£)

BUILDING: Block 03	UPRN:		FLOOR: Level 6 - Third Floor Level			
ROOM: Toilet 332	No : 003/3	3/3/008	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Cost (£) 205
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 9 m2	Cost (£) 307
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 3 m2 123

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 1 17 m2 139 gloss/varnish to timber finishes

BUILDING: Block 03	UPRN:		FLOOR: Level 6 - Third Floor Level			
ROOM: Bedroom 333	No : 003/3	3/3/009	USE:			
Element : Ceilings Description Plasterboard ceiling	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10 r	Replacement Cost (£) n2 341
r iasterboard ceiling	ı all	No Action Nequiled	ט	20	10 1	Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 27 r	Cost (£) n2 1,107
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity	Cost (£) No 1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 10 r	Cost (£) n2 410
						Year 1 Repair Cost (£

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityEmulsion to ceiling and walls; gloss/varnish to timber finishesFairNo Action RequiredB137m2

Year 1 Repair Cost (£)

Replacement

Cost (£)

303

No : 003/	3/3/010				
	3/3/010	USE:			
CODE:5	Action	Cond/Ind Priority	l 'Exnec	Quantity	Replacement Cost (£)
Fair	No Action Required	В	20	4 m2	136
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 16 m2	Cost (£) 656
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 2 m2	Cost (£)
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action No Action Required CODE:5 Condition Action Action Action Action Action Action Action	Condition Fair CODE:5 Condition Fair Action Cond/Ind Priority Condition Fair Action No Action Required B CODE:5 Condition Action Fair Cond/Ind Priority B CODE:5 Condition Action No Action Required B CODE:5 Condition Action Cond/Ind Priority CODE:5 Condition Action Cond/Ind Priority CODE:5 Condition Action Cond/Ind Priority CODE:5	Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required Cond/Ind Priority L'Expec 20 Condition Fair CODE:5 Condition Action Fair Cond/Ind Priority L'Expec 20 CODE:5 Condition Action Required Cond/Ind Priority L'Expec 20 CODE:5 Condition Action Required Cond/Ind Priority L'Expec 20 CODE:5 Condition Action Cond/Ind Priority L'Expec	Condition Fair Action No Action Required Cond/Ind Priority B L'Expec 20 Quantity 4 CODE:5 Condition Fair Action No Action Required Cond/Ind Priority B L'Expec 20 Quantity 16 CODE:5 Condition Fair Action No Action Required Cond/Ind Priority B L'Expec 20 Quantity 2 CODE:5 Cond/Ind Priority L'Expec 20 Quantity CODE:5 Cond/Ind Priority L'Expec Quantity

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 4 m2 164

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 5 17 m2 139 gloss/varnish to timber finishes

No: 003/3/3/011 CODE:5 ndition ir CODE:5	Action No Action Required	USE:	Cond/Ind Priority B	L'Expec 20	Quantit 7	y m2	Replacement Cost (£) 239 Year 1 Repair Cost (£
ndition ir CODE : 5			•	•		-	Cost (£) 239 Year 1
CODE:5			•	•		-	Cost (£) 239
ndition							Replacement
ir	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantit 10	y m2	Cost (£) 341
							Year 1 Repair Cost (£
CODE:5							Replacement
ndition ir	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantit 10	y m2	Cost (£) 410
							Year 1 Repair Cost (£
CODE:5							Danlagement
ndition ir	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantit 2	y No	Replacement Cost (£) 984
							Year 1 Repair Cost (£
ri	CODE:5 ndition r CODE:5	Action No Action Required CODE:5 Indition Action No Action No Action Required CODE:5 Action No Action Required Action Action Action	Action r No Action Required CODE:5 Indition Action r No Action Required CODE:5 Action No Action Required Action Action Action Action	Action Cond/Ind Priority No Action Required B CODE:5 Action Cond/Ind Priority No Action Required B CODE:5 Action Cond/Ind Priority CODE:5 Action Cond/Ind Priority CODE:5	Action No Action Required B 20 CODE:5 Indition Action Cond/Ind Priority L'Expec No Action Required B 20 CODE:5 CODE:5 Action Cond/Ind Priority L'Expec 20 CODE:5 Action Cond/Ind Priority L'Expec CODE:5 CODE:5 Action Cond/Ind Priority L'Expec	Action No Action Required B 20 10 CODE:5 Indition Action Cond/Ind Priority L'Expec Quantity CODE:5 CODE:5 CODE:5 CODE:5 Action Cond/Ind Priority L'Expec Quantity Description of the priority Action Required B 20 10 CODE:5 CODE:5	Action No Action Required B L'Expec Quantity CODE:5 Indition No Action Required B Cond/Ind Priority L'Expec Quantity No Action Required B L'Expec Quantity No Action Required B 20 10 m2 CODE:5 Action Cond/Ind Priority L'Expec Quantity CODE:5 Action Cond/Ind Priority L'Expec Quantity CODE:5

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority L'Expec Cost (£) **Description** Action Quantity 1 hour fire door set Fair No Action Required В 20 No 1,367 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 5 m2 287 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Emulsion to ceiling and walls; Fair 37 303 No Action Required В 1 m2 gloss/varnish to timber finishes

Year 1

SANITARY

BUILDING: Block 03 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Toilet 301 **No**: 003/3/0/005 **USE**:

Element : WC CODE :7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Year 1

Replacement

Replacement

Repair Cost (£)

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Element : Cubicles CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Shower cubicle, with pre-finished Fair No action required B 20 1 No 820

board Year 1

Element : Showers CODE : 7

Replacement

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Shower heads/mixer valveFairNo action requiredB151No1,148

Year 1

Year 1 Repair Cost (£)

BUILDING: Block 03 **UPRN:** FLOOR: Level 3 - Canongate Street level Ground ROOM: Toilet 302 No: 003/3/0/007 USE: CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle, with pre-finished No action required Fair В 20 No 820 board Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148 Year 1 Repair Cost (£)

BUILDING: Block 03 **UPRN:** FLOOR: Level 3 - Canongate Street level Ground **ROOM:** Staff Changing Rooms No: 003/3/0/008 USE: CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority Cost (£) L'Expec Quantity Ceramic WC cistern and bowl, No action required В 20 Fair 1 No 628 including grab rails Year 1 Repair Cost (£) CODE:7 **Element:** Basins Replacement Cond/Ind Priority L'Expec Cost (£) Condition Action **Description** Quantity Ceramic WHB 328 Fair No action required В 20 1 No Year 1 Repair Cost (£) **Element:** Cubicles CODE:7 Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity В 2,460 Laminated toilet cubicle Fair No action required 20 3 No Year 1 Repair Cost (£) **Element:** Cubicles CODE:7 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) **Action** Quantity Shower cubicle No action required 20 Fair В No 820 Year 1

Element: Showers **CODE**:7

Pescription Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Shower heads/mixer valve Fair No action required B 15 1 No 1,148

BUILDING: Block 03 FLOOR: Level 4 - First floor level **UPRN:** ROOM: Toilet 311 USE: No: 003/3/1/004 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle, with pre-finished No action required Fair В 20 No 820 board Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148

Year 1

BUILDING: Block 03 FLOOR: Level 4 - First floor level **UPRN:** ROOM: Toilet 312 No: 003/3/1/006 USE: CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle, with pre-finished No action required Fair В 20 No 820 board Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148

Year 1

BUILDING: Block 03 FLOOR: Level 4 - First floor level **UPRN:** ROOM: Toilet 313 No: 003/3/1/008 USE: CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle, with pre-finished No action required Fair В 20 No 820 board Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148

Year 1

BUILDING: Block 03 UPRN: FLOOR: Level 4 - First floor level

ROOM: Bathroom **No**: 003/3/1/009 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Element : Basins CODE : 7

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 2 No 656

Year 1 Repair Cost (£)

Element : Baths CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Pressed steel bath Fair No action required B 20 1 No 656

Year 1

BUILDING: Block 03 FLOOR: Level 4 - First floor level **UPRN:** ROOM: Toilet 314 USE: No: 003/3/1/011 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle, with pre-finished No action required Fair В 20 No 820 board Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148

BUILDING: Block 03 FLOOR: Level 5 - Second floor level **UPRN:** ROOM: Toilet 321 USE: No: 003/3/2/004 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle, with pre-finished No action required Fair В 20 No 820 board Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148

Year 1

BUILDING: Block 03 FLOOR: Level 5 - Second floor level **UPRN:** ROOM: Toilet 322 USE: No: 003/3/2/006 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle, with pre-finished No action required Fair В 20 No 820 board Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148

Year 1

BUILDING: Block 03 FLOOR: Level 5 - Second floor level **UPRN:** ROOM: Toilet 323 USE: No: 003/3/2/008 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle, with pre-finished No action required Fair В 20 No 820 board Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148

Year 1

BUILDING: Block 03 **UPRN:** FLOOR: Level 5 - Second floor level **ROOM**: Bathroom No: 003/3/2/009 USE:

Element: WC CODE:7

Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Ceramic WC cistern and bowl Fair No action required В 20 1 No 328

Year 1 Repair Cost (£)

Replacement

Repair Cost (£)

Year 1

Element: Basins CODE:7

Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) В 20 No 656

Ceramic WHB No action required 2 Fair

Repair Cost (£)

Element: Baths CODE:7

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Pressed steel bath 20 Fair No action required В 656 No

Year 1

BUILDING: Block 03 FLOOR: Level 5 - Second floor level **UPRN:** ROOM: Toilet 324 USE: No: 003/3/2/011 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle, with pre-finished No action required Fair В 20 No 820 board Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148

Year 1

BUILDING: Block 03 FLOOR: Level 6 - Third Floor Level **UPRN:** ROOM: Toilet 334 USE: No: 003/3/3/004 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle, with pre-finished No action required Fair В 20 No 820 board Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148

BUILDING: Block 03 FLOOR: Level 6 - Third Floor Level **UPRN:** ROOM: Toilet 331 USE: No: 003/3/3/006 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle, with pre-finished No action required Fair В 20 No 820 board Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148

BUILDING: Block 03 FLOOR: Level 6 - Third Floor Level **UPRN:** ROOM: Toilet 332 USE: No: 003/3/3/008 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle, with pre-finished No action required Fair В 20 No 820 board Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148

BUILDING: Block 03 FLOOR: Level 6 - Third Floor Level **UPRN:** ROOM: Toilet 333 USE: No: 003/3/3/010 CODE:7 Element: WC Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 20 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No action required 20 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower cubicle, with pre-finished No action required Fair В 20 No 820 board Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Shower heads/mixer valve 15 No action required В Fair No 1,148

Year 1

BUILDING: Block 03 UPRN: FLOOR: Level 6 - Third Floor Level

ROOM: Bathroom **No**: 003/3/3/011 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Replacement

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 2 No 656

Year 1 Repair Cost (£)

Element : Baths CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Pressed steel bath Fair No action required B 20 1 No 656

MECHANICAL SERVICES

BUILDING: Block 03 UPRN: FLOOR: M&E

ROOM: M&E No: 003/3/M&E/ USE:

Element: Gas Heating System **CODE: 13**

Description

Heating was provided by 2 Ideal Vicerov Gas fired boilers in Whiteford block. Hot water from system was pumped round the bld to a number of convection radiators, by a Biral pumping setup.

Condition The heating and its associated equipment were in fair condition

with no defects evident.

Action

Continue maintenance

Cond/Ind Priority

В

15

L'Expec Quantity

Cost (£) 15.000

Year 1

Repair Cost (£)

Replacement

Element: Extraction System

Description

There was a mix of Xodus and Vent Axia single point extractors in use within the toilets in the resident's rooms.

CODE: 13

Condition

The condition of these were fair with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority В

L'Expec 15

Quantity

Cost (£) 1.500

Year 1

Repair Cost (£)

Replacement

Element: Domestic Hot Water

Description

Hot water was provided by the main boilers to a large Calorfier within the boiler room. . the water **CODE: 13**

Condition

The condition of this was fair

Action

Continue Maintenance

Cond/Ind Priority В

L'Expec 15

Quantity

Cost (£) 15,000

Year 1

Repair Cost (£)

Replacement

was pumped throughout the bld with no defects noted. by Biral pumps.

ELECTRICAL SERVICES

BUILDING: Block 03 UPRN: FLOOR: M&E

ROOM: M&E No: 003/3/M&E/ USE:

Element: Mains Distribution **CODE: 14**

Description Power distribution was via a mix of Wylex, GET and Dorman Smith DBs located around the

bld. Wiring was contained within

trunking.

Condition

All were in a fair condition with no Continue Maintenance defects noted.

Action

Cond/Ind Priority L'Expec В

20

Quantity

Replacement Cost (£)

30.000

Year 1

Repair Cost (£)

Element : Light Fittings Internal

Description

In the main this was a mix of T5, T8, (fitted with anti glare diffusers) 2D, CFL, tungsten and halogen fittings. Some corridors were controlled by PIR's, all other lighting were manually controlled.

CODE: 14

Condition The condition of the system was Continue maintenance

fair with no defects noted.

Action

This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind Priority В

20

L'Expec

Quantity

Cost (£) 25,000

Year 1

Repair Cost (£)

Replacement

Element: Light Fittings Internal

Description

This consisted of a mix of maintained and non-maintained self contained fittings.

CODE: 14

Condition **Action**

The condition of the system was Continue maintenance

Cond/Ind Priority В

L'Expec Quantity 20

Replacement Cost (£) 8,000

Year 1

fair with no defects noted.

This survey did not look at system compliance, a further lighting compliance survey would be required.

Description This consisted of a number of SON bulkhead fittings located around the boundary wall, these are controlled by timers.	CODE: 14 Condition The condition of the lighting and its associated equipment was fair with no defects noted.	Action Continue Maintenance This survey did not look at system compliance, a further in depth compliance survey would be required.	Cond/Ind Priority B	L'Expec 20	Quantity	Replacement Cost (£) 1,500 Year 1 Repair Cost (£)
Element : Fire Alarms Description	CODE : 14 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
An automatic system consisting of a number of break glass manual call points, detectors and audible alarms connected to the main 3404 fire alarm control panel.	The condition of the system was fair with no defects noted.	Continue Maintenance. This survey did not look at system compliance, a further in depth compliance survey would be required.	В	20		10,000 Year 1 Repair Cost (£)

ROOFS

BUILDING: Block 04 UPRN: FLOOR: Roofs

ROOM: Roof 001 **No**: 003/4/R/001 **USE**:

Element : Covering CODE : 1

Replacement Cost (£) Description Condition Action Cond/Ind Priority L'Expec Quantity Natural slate No action required Fair В 54 216 m2 35,878

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

Element : Covering CODE : 1

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Lead sheet Fair No action required 54 28 6,028 В m2

Element: Structure CODE:1 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) No action required 17,717 Timber trusses Fair В 44 216 m2 Year 1 Repair Cost (£) **Element**: Flashings CODE:1 Replacement **Description** Cond/Ind Priority Condition Action L'Expec Quantity Cost (£) Lead (inc. in roof) No action required Fair В 54 86 6,466 m Year 1 Repair Cost (£) **Element**: Flashings CODE:1 Replacement **Description** Condition Cond/Ind Priority L'Expec Quantity Cost (£) Action Galvanised zinc ridging and hips Fair No action required В 54 27 2,030 m Year 1 Repair Cost (£) **Element:** Rainwater goods CODE:1 Replacement L'Expec **Description** Condition Action Cond/Ind Priority Quantity Cost (£) CI gutters and downpipes No action required В 20 9,706 Fair 142 m

Year 1

Element: Decoration CODE:1 Replacement Condition Action Cond/Ind Priority L'Expec Cost (£) **Description** Quantity Gloss paint to CI gutters and Fair No action required В 3 143 m2 1,172 downpipes etc. Year 1 Repair Cost (£) CODE:1 **Element:** Roof Lights Replacement Condition Cond/Ind Priority L'Expec **Description Action** Cost (£) Quantity Velux rooflights Fair No action required В 25 4 2,000 Year 1 Repair Cost (£) **Element:** Roof Lights CODE:1 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Metal skylight Fair No action required В 10 250 1 Year 1 Repair Cost (£)

WALLS

BUILDING: Block 04 UPRN: FLOOR: Elevations

ROOM: Elevation 001 **No**: 003/4/E/001 **USE**:

Element : External walls CODE : 2

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Wet Dash Fair No Action Required В 20 116 6,343 m2

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

Element : External walls CODE : 2

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Stone Fair No Action Required 35 18 В m2 3,199

Window surrounds :cills,lintols

and jambs

Year 1

Element : Windows	CODE:2						Replaceme
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	,	Cost (£)
6 No.Timber softwood casement single glazed (4m2)	Fair but requires repainting	Refer to decoration	В	10	24	m2	9,843
							Year 1 Repair Cos
Element : Windows	CODE:2						Replaceme
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	,	Cost (£)
5 No. Timber softwood casement	Fair but requires repainting	Refer to decoration	В	10	10	m2	4,101
single glazed (2m2)							Year 1 Repair Cos
Element : Windows	CODE:2						Replaceme
Description	Condition	Action	Cond/Ind Priority	L'Expec 24	Quantity		Cost (£)
10 No.Timber softwood tilt and turn double glazed (2m2)	Fair	No Action Required	В	24	20	m2	9,843
							Year 1 Repair Cos
Element : Doors	CODE:2						Replaceme
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	,	Cost (£)
Timber glazed doors	Fair	No Action Required	В	14	4	No.	3,937
							Year 1

Element : Decoration CODE : 2

Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No Action Required В 3 196 m2 2,679

All wall and timber finishes

Year 1
Repair Cost (£)

Element : Cills CODE : 2

Replacement

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete cills Fair No Action Required B 34 21 m 10,500

BUILDING: Block 04 UPRN: FLOOR: Elevations

ROOM: Elevation 002 **No**: 003/4/E/002 **USE**:

CODE:2

Element : External walls CODE : 2

Replacement **Description** Condition **Action** Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required В 20 2,788 Wet Dash Fair 51 m2

> Year 1 Repair Cost (£)

Year 1

Repair Cost (£)

Photo 1



Photo 2 Position

Element: Windows CODE: 2

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

2 No.Timber softwood tilt and turn Fair No Action Required B 24 8 m2 3,937

double glazed (4m2)

Element: Windows

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

2 No.Timber softwood casement Fair but requires repainting Refer to decoration B 10 4 m2 1,640

single glazed (2m2)

Year 1

Repair Cost (£)

Element: Decoration **CODE**:2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 3 63 m2 861 All wall and timber finishes

Repair Cost (£)

Replacement

Year 1

Element : Cills CODE : 2 Replacement

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Concrete cillsFairNo Action RequiredB356m3,000

BUILDING: Block 04 UPRN: FLOOR: Elevations

ROOM: Elevation 003 **No**: 003/4/E/003 **USE**:

Element : External walls CODE : 2

Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) Wet Dash Fair No Action Required В 20 5,523 101 m2

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

Element: External walls CODE: 2

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Stone wallsFairNo Action RequiredB35115m220,438

Year 1 Repair Cost (£)

Replacement

Element: Windows CODE: 2

Replacement Condition **Description** Cond/Ind Priority L'Expec **Action** Quantity Cost (£) 4 No.Timber softwood casement 10 Fair but requires repainting В 8 3,281 Refer to decoration m2 single glazed (2m2)

Element : Windows	CODE:2						Replacemen
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity		Cost (£)
5 No. Timber softwood sash and case single glazed (2m2)	Fair but requires repainting Window rope broken	Refer to decoration Rerope window	B 4	10	10	m2	4,101
	window rope bloken	relope window					Year 1 Repair Cost 60
Element : Windows	CODE:2						Replacemer
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	/	Cost (£)
2 No.Timber softwood tilt and turn	Fair	No Action Required	В	24	20	m2	9,843
double glazed (4m2) 6 No.Timber softwood tilt and turn double glazed (2m2)							Year 1 Repair Cos
Element : Decoration Description Re-decoration All wall and timber finishes	CODE : 2 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 3	Quantity 153	/ m2	Replacement Cost (£) 2,091 Year 1 Repair Cost
Element : Cills	CODE:2						Replaceme
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	/	Cost (£)
Concrete cills	Fair	No Action Required	В	34	19	m	9,500
							Year 1

STRUCTURE

BUILDING: Block 04 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Stairwell **No**: 003/4/0/001 **USE**:

Element : Stairs CODE : 4

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete stair Fair No action required B 55 17 m2 5,810

Year 1

BUILDING: Block 04 UPRN: FLOOR: Level 4 - First floor level

ROOM: Circulation Area **No**: 003/4/1/010 **USE**:

Element : Stairs CODE : 4

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete stair Fair No action required B 32 2 m2 683

Year 1 Repair Cost (£)

BUILDING: Block 04 ROOM: Structure	UPRN : No : 003/4/St	t/St	FLOOR : Structure USE :			
Element : Frame/Columns Description	CODE : 4 Condition	Action	Cond/Ind Priority	•	Quantity	Replacement Cost (£)
Brick structure	Fair	No action required	В	40	m2	Year 1 Repair Cost (£
Element : Floors	CODE:4					Replacement
Description Timber floors	Condition Fair	Action No action required	Cond/Ind Priority B	L'Expec 40	Quantity m2	Cost (£)
						Year 1 Repair Cost (£
Element : Stairs	CODE:4					Replacement
Description Concrete stair	Condition Fair	Action No action required	Cond/Ind Priority B	L'Expec 50	Quantity m2	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:4					Replacement
Description Stone/brick walls	Condition Fair	Action No action required	Cond/Ind Priority B	L'Expec 40	Quantity m2	Cost (£)
						Year 1 Repair Cost (£

ROOMS

BUILDING: Block 04	UPRN :		FLOOR: Level 3 - Canongate Street level Ground					
ROOM: Stairwell	No : 003/4	/0/001	USE:					
Element : Ceilings	CODE:5							Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Conc E	d/Ind Priority	L'Expec 20	Quantity 27	y m2	Cost (£) 922
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description Plaster on hard to walls	Condition Fair	Action No Action Required	Conc E	d/Ind Priority	L'Expec 20	Quantit 70	y m2	Cost (£) 2,392
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Conc E	d/Ind Priority	L'Expec 20	Quantity 23	y m2	Cost (£) 786
								Year 1 Repair Cost (£)
Element : Doors	CODE:5							Replacement
Description	Condition	Action	Cond	d/Ind Priority	L'Expec	Quantit	y	Cost (£)
1 hour fire door set	Fair	No Action Required	Е	3	20	3	No	4,101
								Year 1 Repair Cost (£)

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 5 31 m2 1,271

> Year 1 Repair Cost (£)

Element: Decoration **CODE**:5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No Action Required В 2 134 m2 1,099

BUILDING: Block 04 ROOM: Circulation Area	UPRN : No : 003/4/0/00		FLOOR: Level 3 - Canongate Street level Ground USE:					
Element : Ceilings Description	CODE:5 Condition Fair	Action		Cond/Ind Priority	L'Expec	Quantit y		Replacement Cost (£)
Plasterboard ceiling	rair	No Action Required		В	20	9	m2	307 Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity		Cost (£)
Plaster on hard to walls	Fair, although slightly marked in areas	No Action Required		В	20	17	m2	1,264
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 20	y m2	Cost (£) 683
								Year 1 Repair Cost (£
Element : Floors	CODE:5							Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 5	Quantity 9	y m2	Cost (£) 369
								Year 1 Repair Cost (£

DescriptionRe-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

ConditionFair, although slightly marked in areas

ActionNo Action Required

Cond/Ind Priority L'Expec
B 1

L'Expec Quantity 1 56 r

m2 459 **Year 1**

Year 1 Repair Cost (£)

Replacement

Cost (£)

BUILDING: Block 04 ROOM: Bedroom 404	UPRN : No : 003/4/0/0		OOR : Level 3 - Canongate St JSE :	reet level Gr	ound	
Element : Ceilings Description Plasterboard ceiling	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 12 m2	Replacement Cost (£) 410
		·				Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	13 m2	444
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster on hard to walls	Fair, with damaged plaster in isolated areas	Make good plaster finish	В 4	20	20 m2	683
						Year 1 Repair Cost (£ 100
Element : Doors	CODE:5					Danlasament
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Carpet floor finish Poor Replace C 4 Replace/In 12 m2 492

Replacement

Repair Cost (£)

Year 1

Element: Decoration **CODE**:5

Replacement Description Condition Cond/Ind Priority Cost (£) Action L'Expec Quantity Re-decoration Poor Redecorate С 4 Replace/In 49 m2 401

BUILDING: Block 04 ROOM: Bathroom 404	UPRN : No : 003/4/0		LOOR: Level 3 - Canongate S			
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Replacement Cost (£) 136 Year 1 Repair Cost (£
Element : Walls Description Plasterboard walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 15 m2	Replacement Cost (£) 512 Year 1 Repair Cost (£
Element : Doors Description Softwood timber flush	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Replacement Cost (£) 492 Year 1 Repair Cost (£
Element : Floors Description Vinyl sheet finish (non-slip)	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 3 m2	Replacement Cost (£) 123 Year 1 Repair Cost (£)

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB221m2172

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

BUILDING: Block 04 ROOM: Bedroom 403	UPRN : No : 003/4/0/005		FLOOR: Level 3 - Canongate Street level Ground USE:			
Element : Ceilings Description Plasterboard ceiling	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 12 m2	Replacement Cost (£) 410
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 13 m2	Cost (£) 444
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster on hard to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B 4	L'Expec 20	Quantity 20 m2	Cost (£) 683
						Year 1 Repair Cost (£ 100
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 5 12 m2 492

Year 1 Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 49 m2 401 Emulsion to ceiling and walls;

BUILDING: Block 04 ROOM: Bathroom 403	UPRN : No : 003/4/0/006		FLOOR: Level 3 - Canongate Street level Ground USE:			
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Replacement Cost (£) 136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition Fair	Action	Cond/Ind Priority	L'Expec 20	Quantity	Cost (£)
Plasterboard walls	rall	No Action Required	В	20	15 m2	512 Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Danlacement
Description Vinyl sheet finish (non-slip)	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 3 m2	Replacement Cost (£) 123
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB221m2172

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

UPRN: F		FLOOR: Level 3 - Canongate Street level Ground				
No : 003	3/4/0/007	USE:				
CODE:5	Action	Cond/Ind Priority	l 'Exnec	Quantity	Replacement Cost (£)	
Fair	No Action Required	В	20	12 m2	410	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Fair	No Action Required	В	20	33 m2	1,127	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Fair	No Action Required	В	20	6 m2	170	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367	
					Year 1 Repair Cost (£	
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair CODE:5 Condition Action No Action Required	CODE : 5 Condition Action Required B CODE : 5 Condition Action Required B	CODE : 5 Condition Action No Action Required B E 20 CODE : 5 Condition Action Cond/Ind Priority L'Expec Fair No Action Required B Z0 CODE : 5 Condition Action Required B Z0 CODE : 5 Condition Action Cond/Ind Priority L'Expec Fair No Action Required B Z0 CODE : 5 Condition Action Cond/Ind Priority L'Expec Fair No Action Required B Z0 CODE : 5 Condition Action Cond/Ind Priority L'Expec	CODE :5 Condition Action No Action Required B 20 12 m2 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 20 33 m2 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 20 6 m2 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 20 6 m2 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 20 6 m2	

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Replacement

Year 1

Carpet floor finish Fair No Action Required B 5 12 m2 492

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Poor Redecorate C 4 Replace/In 51 m2 418 Emulsion to ceiling and walls;

BUILDING: Block 04			FLOOR: Level 3 - Canongate Street level Ground			
ROOM: Bathroom 402	No : 003	/4/0/008	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 6 m2	Cost (£) 205
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 2 m2 82

Year 1

Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 11 m2 90

BUILDING: Block 04	UPRN: FI No: 003/4/0/009		OOR : Level 3 - Canongate St	reet level Gr	ound	
ROOM: Circulation Area			USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
Tradicipodia centrig	i ali	No Action Required	D .	20	J 1112	
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster on hard to walls	Fair, with isolated cracking	No Action Required	В	20	8 m2	273
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Carpet floor finish	Fair	No Action Required	В	5	3 m2	123
						Year 1 Repair Cost (£
Element : Decoration	CODE:5					Danlagement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration	Fair	No Action Required	В	1	15 m2	123
Emulsion to ceiling and walls; gloss/varnish to timber finishes						Year 1 Repair Cost (£

UPRN: F		FLOOR: Level 3 - Canongate Street level Ground				
No : 003/	/4/0/010	USE :				
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 20 m2	Cost (£) 683	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Fair	No Action Required	В	20	20 m2	683	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Fair	No Action Required	В	20	20 m2	683	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367	
					Year 1 Repair Cost (£	
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required Action No Action Required	No: 003/4/0/010 CODE:5 Condition Action No Action Required B CODE:5 Condition Action No Action Required B CODE:5 Condition Action No Action Required B CODE:5 Condition Action Required B	CODE :5 Condition Action No Action Required B L'Expec 20 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition No Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec 20	CODE : 5 Condition Action No Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity CODE : 5 Condition Action No Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity CODE : 5 Condition Action Required B L'Expec Quantity B L'Expec Quantity CODE : 5 Condition Action Required B L'Expec Quantity Fair No Action Required B L'Expec Quantity CODE : 5 Condition Action Required B L'Expec Quantity CODE : 5 Condition Action Required L'Expec Quantity	

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 5 20 m2 820

> Year 1 Repair Cost (£)

> > Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Barrier Barrier Barrier State Barrier State Barrier Barrier State Ba

Re-decoration Fair No Action Required B 2 64 m2 524 Emulsion to ceiling and walls;

BUILDING: Block 04 ROOM: Bathroom 401	UPRN : No : 003/4		LOOR: Level 3 - Canongate S			
Element : Ceilings Description Plasterboard ceiling	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Replacement Cost (£) 170 Year 1 Repair Cost (£
Element : Walls Description Plasterboard walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10 m2	Replacement Cost (£) 341 Year 1 Repair Cost (£
Element : Walls Description Pre-finished board	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 1 m2	Replacement Cost (£) 41 Year 1 Repair Cost (£)
Element : Doors Description Softwood timber flush	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Replacement Cost (£) 492 Year 1 Repair Cost (£)

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 5 4 m2 164

Year 1
Repair Cost (£)

Replacement

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Po description Required Representation Representatio

Re-decoration Fair No Action Required B 2 17 m2 139 Emulsion to ceiling and walls;

BUILDING: Block 04 ROOM: Circulation Area	UPRN : No : 003/4/0/01		FLOOR : L	evel 3 - Canongate St	reet level Gr	ound	
Element : Ceilings	CODE:5	1	USE :				Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 20	Quantity 3 m	Cost (£)
							Year 1 Repair Cost (£)
Element : Walls	CODE:5						Replacement
Description Plaster on hard to walls	Condition	Action		Cond/Ind Priority	L'Expec 20	Quantity 10 m	Cost (£)
Plaster on hard to walls	Fair, although slightly marked in areas	No Action Required		В	20	10 m	Year 1 Repair Cost (£)
Element : Floors	CODE:5						Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 5	Quantity 3 m	Cost (£)
							Year 1 Repair Cost (£)
Element : Decoration	CODE:5						Danlasamant
Description Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Condition Fair, although slightly marked in	Action No Action Required		Cond/Ind Priority	L'Expec 1	Quantity 17 m	Replacement Cost (£) 139
	areas						Year 1 Repair Cost (£)

BUILDING: Block 04 ROOM: Accessible Toilet	UPRN: No: 003/4/0/012		FLOOR: Level 3 - Canongate Street level Ground USE:					
Element : Ceilings Description	CODE : 5	Action		Cond/Ind Priority	L'Expec	Quantity	<u> </u>	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required		В	30	4	m2	136
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	•	Cost (£)
Plasterboard walls	Fair	No Action Required		В	30	3	m2	102
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity		Cost (£)
Plaster on hard to walls	Fair, although slight cracking is evident in areas	No Action Required		В	20	9	m2	307
								Year 1 Repair Cost (£
Element : Doors	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	•	Cost (£)
Softwood timber flush	Fair	No Action Required		В	20	1	No	492
								Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity

Replacement

Repair Cost (£)

Replacement

Year 1

Vinyl sheet finish (non-slip) Fair No Action Required В 5 4 m2 164

Element: Decoration **CODE**:5

Description Condition **Action** Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Poor Redecorate С 4 Replace/In 18 m2 147

UPRN: F		FLOOR: Level 3 - Canongate Street level Ground					
No : 003/4	4/0/013	USE :					
CODE:5					Replacement		
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 18 m2	Cost (£) 615		
					Year 1 Repair Cost (£		
CODE:5					Replacement		
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 13 m2	Cost (£) 444		
					Year 1 Repair Cost (£		
CODE:5					Replacement		
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 24 m2	Cost (£) 820		
					Year 1 Repair Cost (£		
CODE:5					Replacement		
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 2 No	Cost (£) 2,734		
					Year 1 Repair Cost (£		
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair No Action Required CODE:5 Condition No Action Required CODE:5 Condition Action Fair No Action No Action Required CODE:5 Condition Action Fair Action No Action Required	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action Required Cond/Ind Priority B	CODE :5 Condition Action Required B Cond/Ind Priority L'Expec Fair Action Cond/Ind Priority L'Expec Condition Action Required B Cond/Ind Priority L'Expec Fair No Action Required B L'Expec 20 CODE :5 Condition Action Required B L'Expec 20 CODE :5 Condition Action Required B L'Expec 20 CODE :5 Condition Action Required B L'Expec 20	CODE :5 Condition Fair CODE :5 Condition Fair CODE :5 Condition Fair CODE :5 Condition Fair CODE :5 Condition No Action Required CODE :5 Condition No Action Required CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair Action No Action Required Cond/Ind Priority E'Expec Quantity 20 Quantity 24 m2 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity 24 m2		

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 5 18 m2 738

Year 1
Repair Cost (£)

Element : Decoration CODE : 5

Replacement

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

No Action Required Required Replacement

Re-decoration Fair No Action Required B 2 59 m2 483 Emulsion to ceiling and walls;

BUILDING: Block 04 ROOM: Reception	UPRN : No : 003/4/0		FLOOR: Level 3 - Canongate Street level Ground USE:					
Element : Ceilings	CODE :5							
Description Plasterboard ceiling	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantit 35	y m2	Replacement Cost (£) 1,196
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Denlacement
Description Plasterboard walls	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantit 46	y m2	Replacement Cost (£) 1,572
								Year 1 Repair Cost (£
Element : Floors	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantit	-	Cost (£)
Carpet floor finish	Fair	No Action Required		В	5	35	m2	1,435
								Year 1 Repair Cost (£
Element : Decoration	CODE:5							Danlasamant
Description Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Condition Poor	Action Redecorate		Cond/Ind Priority	L'Expec Replace/In	Quantit 87	y m2	Replacement Cost (£) 713
								Year 1 Repair Cost (£

BUILDING: Block 04	UPRN:	ı	FLOOR : Lo	evel 4 - First floor leve	I			
ROOM: Circulation Area	No : 003/4/1/00)1	USE:					
Element : Ceilings	CODE:5							Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 20	Quantity 8	y m2	Cost (£) 273
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	y	Cost (£)
Plasterboard walls	Fair, although slightly marked in areas	No Action Required		В	20	30	m2	1,025
	aleas							Year 1 Repair Cost (£
Element : Doors	CODE:5							Danlacament
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantit	y	Replacement Cost (£)
1 hour fire door set glazed	Fair	No Action Required		В	20	1	No	1,367
								Year 1 Repair Cost (£
Element : Floors	CODE:5							Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 5	Quantity 8	y m2	Cost (£) 328
								Year 1 Repair Cost (£

DescriptionRe-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

ConditionFair, although slightly marked in areas

Action
No Action Required

Cond/Ind Priority L'Expec
B 1

Quantity 50 m2

Year 1 Repair Cost (£)

Replacement

Cost (£)

410

BUILDING: Block 04 ROOM: Toilet	UPRN:	FLOOR: Level 4 - First floor lev					
	No : 003/4	I/1/001A	USE:				
Element : Ceilings	CODE:5						Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 30	Quantity 2	m2	Cost (£) 68
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 30	Quantity 11	m2	Cost (£) 375
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1	, No	Cost (£) 492
							Year 1 Repair Cost (£
Element : Floors	CODE:5						Replacement
Description Vinyl sheet finish (non-slip)	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 2	m2	Cost (£) 82
							Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB215m2123

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

No: 003/4/1/002 CODE:5 Condition Fair CODE:5	Action No Action Required	USE :	Cond/Ind Priority B	L'Expec 20	Quantity 11	/ m2	Replacement Cost (£) 375 Year 1
Condition Fair			•	•	-		Cost (£) 375 Year 1
-air			•	•	-		375 Year 1
CODE:5							
CODE:5							Repair Cost (
							Replacement
	Action		Cond/Ind Priority	L'Expec	-		Cost (£)
=air	No Action Required		В	20	30	m2	1,025
							Year 1 Repair Cost (£
CODE:5							Replacement
Condition	Action		Cond/Ind Priority	L'Expec	Quantity	<i>'</i>	Cost (£)
-air	No Action Required		В	20	1	No	1,367
							Year 1 Repair Cost (£
CODE:5							Replacement
	Action Replace		Cond/Ind Priority	L'Expec Replace/In	•	/ m2	Cost (£) 451
							Year 1 Repair Cost (£
	Condition Fair CODE:5 Condition Fair	Condition Action No Action Required CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Action Action Action Required	Condition Fair CODE:5 Condition Fair Action No Action No Action No Action Required CODE:5 Condition Action Action Action Action Action Action Action Action	Condition Fair Action No Action Required CODE:5 Condition Action Cond/Ind Priority Condition Fair No Action Required B CODE:5 Condition Action Cond/Ind Priority CODE:5 Condition Action Cond/Ind Priority CODE:5	Condition Fair Action No Action Required B Cond/Ind Priority B CODE:5 Condition Action Cond/Ind Priority L'Expec B Cond/Ind Priority Cond/Ind Priority Action Required CODE:5 Cond/Ind Priority CODE:5 Cond/Ind Priority Cond/Ind Priority CODE:5	Condition Fair Action No Action Required B CODE:5 Cond/Ind Priority 20 30 CODE:5 Condition Action Fair CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5	CODE :5 CODE :5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityRe-decorationFairNo Action RequiredB245m2

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

Cost (£)

369

BUILDING: Block 04	UPRN: F		FLOOR: Level 4 - First floor level					
ROOM: Bathroom 413	No : 003/4/1	/003	USE:					
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m	Replacement Cost (£) 12 136		
						Year 1 Repair Cost (£		
Element : Walls	CODE:5					Replacement		
Description Plasterboard walls	Condition Fair, with isolated cracking	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10 m	Cost (£) 12 341		
						Year 1 Repair Cost (£		
Element : Walls	CODE:5					Replacement		
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m	Cost (£)		
						Year 1 Repair Cost (£		
Element : Doors	CODE:5					Replacement		
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 N	Cost (£)		
						Year 1 Repair Cost (£		

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB53m2123

Year 1

Replacement

Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 16 m2 131

BUILDING: Block 04	UPRN:		FLOOR: Level 4 - First floor level				
ROOM: Bedroom 414	No : 003/-	4/1/004	USE:				
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	-	m2	683
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 39	m2	Cost (£) 1,332
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1	No	Cost (£) 1,367
							Year 1 Repair Cost (£
Element : Floors	CODE:5						Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 7	Quantity 20	m2	Cost (£) 820
							Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB263m2516

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

BUILDING: Block 04	UPRN :	FL	FLOOR: Level 4 - First floor level			
ROOM: Bathroom 414	No : 003/	/4/1/005	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Cost (£) 136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	-	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	15 m2	512
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	-	Quantity	Cost (£)
Pre-finished board	Fair	No Action Required	В	12	2 m2	82
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB53m2123

Year 1
Repair Cost (£)

Replacement

Element : Decoration CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 21 m2 172 Emulsion to ceiling and walls;

BUILDING: Block 04 ROOM: Bedroom 415	UPRN : No : 003/4/		OOR: Level 4 - First floor leve	el		
Element : Ceilings Description Plasterboard ceiling	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 11 m2	Replacement Cost (£) 375
, and the second						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 30 m2	Cost (£) 1,025
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Poor	Action Replace	Cond/Ind Priority C 4	L'Expec Replace/In	Quantity 11 m2	Cost (£) 451
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityRe-decorationFairNo Action RequiredB245m2

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

Cost (£)

369

BUILDING: Block 04	UPRN:		FLOOR: Level 4 - First floor I			
ROOM: Store	No : 003/4	/1/006A	USE:			
Element : Ceilings	CODE :5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Prior	ty L'Expec 20	Quantity 2 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Prior	ty L'Expec 20	Quantity 12 m2	Cost (£) 410
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Prior	ty L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Vinyl sheet floor finish	Condition Fair	Action No Action Required	Cond/Ind Prior	ty L'Expec 5	Quantity 2 m2	Cost (£)
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB214m2114

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

BUILDING: Block 04	UPRN: FI		OOR: Level 4 - First floor leve			
ROOM: Bathroom 415	No : 003/4	1/1/007	USE:			
Element : Ceilings	CODE:5	Antino	Condition Delivering	l IF	0	Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Cost (£) 136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10 m2	Cost (£) 341
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB53m2123

Year 1

Replacement

Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 16 m2 131

BUILDING: Block 04	UPRN:		FLOOR: Level 4 - First floor level			
ROOM: Bedroom 416	No : 003/4	4/1/008	USE:			
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	11 m2	375
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 30 m2	Cost (£) 1,025
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B 4	L'Expec 5	Quantity 9 m2	Cost (£) 369
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityRe-decorationFairNo Action RequiredB245m2

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

Cost (£)

369

BUILDING: Block 04	UPRN: F		FLOOR: Level 4 - First floor level			
ROOM: Bathroom 416	No : 003/4	1/1/009	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m ²	Cost (£) 2 136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 7 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m ²	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£)
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 3 m2 123

Replacement

Repair Cost (£)

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 13 m2 106

BUILDING: Block 04	UPRN:		FLOOR : Le	evel 4 - First floor leve	I			
ROOM: Circulation Area	No : 003/4/1/01	10	USE :				_	
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantit 6	y m2	Replacement Cost (£) 205
								Year 1 Repair Cost (£)
Element : Walls	CODE:5							Danisaamant
Description Plaster on hard to walls	Condition Fair, with isolated cracking	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 30	y m2	Replacement Cost (£) 1,025
								Year 1 Repair Cost (£)
Element : Floors	CODE:5							Doulocomont
Description Carpet floor finish	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 5	Quantit 6	y m2	Replacement Cost (£) 246
								Year 1 Repair Cost (£)
Element : Decoration	CODE:5							Danisaanant
Description Re-decoration Emulsion to ceiling and walls;	Condition Fair, although slightly marked in areas	Action No Action Required		Cond/Ind Priority	L'Expec 1	Quantity 36	y m2	Replacement Cost (£) 295
gloss/varnish to timber finishes	u1003							Year 1 Repair Cost (£)

BUILDING: Block 04 ROOM: Bedroom 417	UPRN : No : 003/4/1/0		LOOR : Level 4 - First floor leve	el		
Element : Ceilings	CODE : 5	Action	Candlind Driarity	LEvnes	Oversity	Replacement
Description Plasterboard ceiling	Fair	No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 11 m2	Cost (£) 375
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	42 m2	1,435
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Poor	Action Replace	Cond/Ind Priority C 4	L'Expec Replace/In	Quantity 11 m2	Cost (£) 451
,						Year 1 Repair Cost (£

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 57 m2 467

BUILDING: Block 04	UPRN:		OOR: Level 4 - First floor leve			
ROOM: Bathroom 417	No : 003/-	4/1/012	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 8 m2	Cost (£) 273
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Replacement

Year 1

Vinyl sheet finish (non-slip) Fair No Action Required B 5 2 m2 123

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Poor Redecorate C 4 Replace/In 11 m2 90 Emulsion to ceiling and walls;

UPRN:		OOR: Level 4 - First floor leve			
No : 003/	/4/1/013	USE:			
CODE :5					Replacement
Condition	Action	_		Quantity	Cost (£)
Fair	No Action Required	В	20	12 m2	410
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Fair	No Action Required	В	20	36 m2	1,230
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Fair	No Action Required	В	20	1 No	1,367
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Poor	Action Replace	Cond/Ind Priority	•	Quantity 12 m2	Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required Action No Action Required Action No Action Required	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action Required B	CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec Fair No Action Required B Cond/Ind Priority L'Expec CODE :5 Condition Action No Action Required B Z0 CODE :5 Condition Action No Action Required B Z0 CODE :5 Condition Action Required B Z0	CODE : 5 Condition

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB252m2426

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

BUILDING: Block 04	UPRN: F		FLOOR: Level 4 - First floor level			
ROOM: Bathroom 418	No : 003/4/	1/014	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
						Year 1 Repair Cost (£)
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	8 m2	273
						Year 1 Repair Cost (£)
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Pre-finished board	Fair	No Action Required	В	12	2 m2	82
						Year 1 Repair Cost (£)
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£)

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Replacement

Year 1

Vinyl sheet finish (non-slip) Fair No Action Required B 2 2 m2 123

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Poor Redecorate C 4 Replace/In 11 m2 90

BUILDING: Block 04	UPRN :		FLOOR: Level 4 - First floor level					
ROOM: Circulation Area	No : 003/4/1/01	15	USE:					
Element : Ceilings	CODE:5							Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 20	Quantity 8	y m2	Cost (£) 273
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description Plaster on hard to walls	Condition Fair, although slightly marked in	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 32	y m2	Cost (£) 1,093
Tradici off flara to wails	areas	No Action Required		J	20	32	1112	Year 1 Repair Cost (£
Element : Doors	CODE:5							Bankaanant
Description 1 hour fire door set glazed	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 1	y No	Replacement Cost (£) 1,367
								Year 1 Repair Cost (£
Element : Floors	CODE:5							Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 5	Quantity 8	y m2	Cost (£) 328
								Year 1 Repair Cost (£

Replacement Condition Cond/Ind Priority L'Expec Cost (£) Description Action Quantity Re-decoration Fair, although slightly marked in No Action Required В 40 m2 328 Emulsion to ceiling and walls; gloss/varnish to timber finishes areas

Year 1 Repair Cost (£)

BUILDING: Block 04	UPRN:	FL	FLOOR: Level 4 - First floor level			
ROOM: Bedroom 411	No : 003/4	./1/016	USE:			
Element : Ceilings Description	CODE : 5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	10 m2	341
						Year 1 Repair Cost (£)
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster on hard to walls	Fair	No Action Required	В	20	26 m2	888
						Year 1 Repair Cost (£)
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	6 m2	205
						Year 1 Repair Cost (£)
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	-	Quantity	Cost (£)
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367
						Year 1 Repair Cost (£)

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Carpet floor finish Fair No Action Required B 5 10 m2 451

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 46 m2 377

BUILDING: Block 04	UPRN:		LOOR: Level 4 - First floor lev			
ROOM: Bathroom 411	No : 003/4	4/1/017	USE:			
Element : Ceilings	CODE:5	Author	0		Outside	Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 7 m2	Cost (£) 239
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£) 82
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 3 2 m2 82

Vinyl sheet finish (non-slip) Fair No Action Required B 3 2 m2 82

Year 1

Repair Cost (£)

Replacement

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 12 m2 98 Emulsion to ceiling and walls;

BUILDING: Block 04	UPRN: FLOOR: Level 4 - First floor level					
ROOM: Bedroom 412	No : 003/4	4/1/018	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10 m2	Cost (£) 341
						Year 1 Repair Cost (£)
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Lath & plaster to walls	Fair	No Action Required	В	10	18 m2	984
						Year 1 Repair Cost (£)
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	16 m2	546
						Year 1 Repair Cost (£)
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367
						Year 1 Repair Cost (£)

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 5 11 m2 451

Year 1 Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Portuguired Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 48 m2 393 Emulsion to ceiling and walls;

BUILDING: Block 04	UPRN:	F	FLOOR: Level 4 - First floor level			
ROOM: Bathroom 412	No : 003/4	I/1/019 	USE:			
Element : Ceilings Description	CODE:5 Condition	Action	Cond/Ind Priority	•	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	3 m2	102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 12 m2	Cost (£) 410
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£) 82
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	•	Quantity	Cost (£)
Softwood timber flush	Fair	No Action Required	В	20	1 No	492
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 3 3 m2 123

Year 1

Replacement

Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required В 2 17 m2 139

UPRN:		FLOOR: Level 5 - Second floor level			
No : 003/4/2/00	1	USE:			
CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 8 m2	Replacement Cost (£) 273
					Year 1 Repair Cost (£
CODE:5					Donlooment
Condition Fair, although slightly marked in areas	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 30 m2	Replacement Cost (£) 1,025 Year 1 Repair Cost (£
CODE:5					Donlocoment
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Fair	No Action Required	В	5	8 m2	328 Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair, although slightly marked in areas	Action No Action Required	Cond/Ind Priority B	L'Expec 1	Quantity 48 m2	Cost (£) 393 Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair, although slightly marked in areas CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair, although slightly marked in areas CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required Action No Action Required CODE:5 Condition Fair Action No Action Required Action No Action Required	CODE :5 Condition Action Required B CODE :5 Condition No Action Required B CODE :5 Condition No Action Required B	CODE :5 Condition Action No Action Required B E Zo Cond/Ind Priority L'Expec 20 CODE :5 Condition No Action Required B E Zo Cond/Ind Priority L'Expec 20 CODE :5 Condition No Action Required B E Zo CODE :5 Condition Action Required B E Zo CODE :5 Condition Action Required B E Zo CODE :5 Condition No Action Required B E Zo CODE :5 Condition No Action Required B E Zo CODE :5 Condition No Action Required B E Zo Fair, although slightly marked in No Action Required B I L'Expec E I Expec E	CODE :5 Condition

BUILDING: Block 04 ROOM: Bedroom 423	UPRN : No : 003/4/2/002		OOR: Level 5 - Second floor			
Element : Ceilings Description	CODE:5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	15 m2	512 Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 24 m2	Cost (£) 820
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster on hard to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
Thou inc door set	i dii	No Action Required	J	20	· INO	Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity

Carpet floor finish Fair No Action Required В Replace/In 13 m2 533

Repair Cost (£)

Replacement

Year 1

Element: Decoration CODE:5

Replacement Condition Cond/Ind Priority Cost (£) Description Action L'Expec Quantity

Re-decoration Fair No Action Required В 2 42 m2 344

Emulsion to ceiling and walls;

BUILDING: Block 04	UPRN: F		FLOOR: Level 5 - Second floor level			
ROOM: Bathroom 423	No : 003/4	4/2/003 U	JSE :			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Cost (£) 136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	4 m2	136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster on hard to walls	Fair	No Action Required	В	20	3 m2	102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Pre-finished board	Fair	No Action Required	В	12	2 m2	82
						Year 1 Repair Cost (£

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority Cost (£) **Description** Action L'Expec Quantity Softwood timber flush No Action Required В 20 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Vinyl sheet finish (non-slip) No Action Required В 2 m2 123 Fair 3 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Fair 13 Re-decoration No Action Required В 2 m2 106 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1

BUILDING: Block 04 ROOM: Bedroom 424	UPRN : No : 003/4/2/004		FLOOR: Level 5 - Second floor level USE:				
Element : Ceilings	CODE:5					Replacement	
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 20 m2	Cost (£) 683	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plasterboard walls	Fair	No Action Required	В	20	39 m2	1,332	
						Year 1 Repair Cost (£	
Element : Doors	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367	
						Year 1 Repair Cost (£)	
Element : Floors	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Carpet floor finish	Fair	No Action Required	В	7	18 m2	738	
						Year 1 Repair Cost (£)	

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB263m2516

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

BUILDING: Block 04	UPRN:		FLOOR: Level 5 - Second floor level			
ROOM: Bathroom 424	No : 003	/4/2/005	USE :			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 6 m2	Cost (£) 205
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	11 m2	375
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Pre-finished board	Fair	No Action Required	В	12	1 m2	41
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush	Fair	No Action Required	В	20	1 No	492
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB54m2123

Year 1 Repair Cost (£)

Replacement

rtspain cost (2)

Element : Decoration **CODE :** 5

Replacement

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

No Action Required Required Replacement

Re-decoration Fair No Action Required B 2 19 m2 155 Emulsion to ceiling and walls;

BUILDING: Block 04	UPRN:		FLOOR: Level 5 - Second floor level			
ROOM: Bedroom 425	No : 003/	/4/2/006	USE:			
Element : Ceilings	CODE :5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 13 m2	Cost (£) 444
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 28 m2	Cost (£) 956
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Danlagement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B 4	L'Expec 5	Quantity 11 m2	Replacement Cost (£) 451
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityRe-decorationFairNo Action RequiredB245m2

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

Cost (£)

369

BUILDING: Block 04	UPRN: FI		FLOOR: Level 5 - Second floor level			
ROOM: Bathroom 425	No : 003/4	1/2/007	USE :			
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	4 m2	• •
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10 m ²	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m ²	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£)
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB53m2123

Year 1

Replacement

Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 16 m2 131

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

BUILDING: Block 04 ROOM: Bedroom 426	UPRN : No : 003/4/2		LOOR: Level 5 - Second floor USE:			
Element : Ceilings Description Plasterboard ceiling	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 15 m2	Replacement Cost (£) 512
ŭ		·				Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 28 m2	Cost (£) 956
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Danlasamant
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B 4	L'Expec 5	Quantity 13 m2	Replacement Cost (£) 533
						Year 1 Repair Cost (£

DescriptionRe-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Condition Poor Action Redecorate Cond/Ind Priority

L'Expec Qu Replace/In 46

Quantity46 m2

Replacement Cost (£) 377

Year 1 Repair Cost (£)

BUILDING: Block 04	UPRN:		FLOOR: Level 5 - Second floor level			
ROOM: Bathroom 426	No : 003/	/4/2/009	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 5 m2	Cost (£) 170
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 6 m2	Cost (£) 205
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£) 82
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB54m2164

Year 1

Replacement

Repair Cost (£)

Replacement

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Poor Redecorate B 4 Replace/In 13 m2 106 Emulsion to ceiling and walls;

BUILDING: Block 04	UPRN:		FLOOR: Level 5 - Second floor level			
ROOM: Circulation Area	No : 003/4/2/01	0 USE	:			
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	5 m2	170
						Year 1 Repair Cost (
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair, although slightly marked in areas	No Action Required	В	20	19 m2	649
	aroas					Year 1 Repair Cost (
Element : Floors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Carpet floor finish	Fair	No Action Required	В	5	5 m2	205
						Year 1 Repair Cost (£
Element : Decoration	CODE:5					Denlesement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration	Fair, although slightly marked in	No Action Required	В	1	24 m2	196
Emulsion to ceiling and walls; gloss/varnish to timber finishes	areas					Year 1 Repair Cost (£

		FLOOR: Level 5 - Second floor level			
No : 003/4/2	2/011	USE:			
CODE :5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 12 m2	Cost (£) 410
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 26 m2	Cost (£) 888
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 1,367
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B 4	L'Expec 5	Quantity 10 m2	Cost (£) 410
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required Action No Action Required	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action Required B	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition No Action Required B CODE :5 Condition Action Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Cond/Ind Priority L'Expec	CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec Quantity Fair No Action Required B Cond/Ind Priority L'Expec Quantity Fair No Action Required B Cond/Ind Priority L'Expec Quantity Fair No Action Required B Cond/Ind Priority L'Expec Quantity Fair No Action Required B Z0 Z0 Z6 m2 CODE :5 Condition Action Required B Z0

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB238m2311

Re-decoration Fair No Action Required B 2 38 m2 311

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1

Repair Cost (£)

Replacement

UPRN:		FLOOR: Level 5 - Second floor level			
No : 003/	/4/2/012	USE:			
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 7 m2	Cost (£) 239
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£) 82
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Action Action No Action Required Action No Action Required	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action Required B	CODE :5 Condition Action No Action Required B L'Expec Condition Action No Action Required B L'Expec Condition Action Required B L'Expec Fair No Action Required B L'Expec Fair No Action Required B L'Expec Tair No Action Required B L'Expec Condition Action Required B L'Expec Tair No Action Required B L'Expec Tair No Action Required B L'Expec Tair No Action Required B L'Expec	CODE : 5 Condition Fair Action No Action Required B Cond/Ind Priority L'Expec Quantity 3 m2 CODE : 5 Condition Action Required B Cond/Ind Priority L'Expec Quantity 3 m2 CODE : 5 Condition No Action Required B Cond/Ind Priority L'Expec Quantity 7 m2 CODE : 5 Condition Action Required B L'Expec Quantity 7 m2 CODE : 5 Condition Action Required B 12 m2 CODE : 5 Condition Action Required B L'Expec Quantity 12 m2

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB53m2123

Year 1 Repair Cost (£)

Replacement

Replacement

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 12 m2 98 Emulsion to ceiling and walls;

BUILDING: Block 04			FLOOR: Level 5 - Second floor level				
ROOM: Bedroom 422	No : 003/4/	/2/013	USE :				
Element : Ceilings	CODE:5						Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 13	/ m2	Cost (£) 444
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 28	/ m2	Cost (£) 956
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1	/ No	Cost (£) 1,367
							Year 1 Repair Cost (£
Element : Floors	CODE:5						Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B 4	L'Expec 5	Quantity 11	/ m2	Cost (£) 451
							Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityRe-decorationFairNo Action RequiredB245m2

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

Cost (£)

369

BUILDING: Block 04	UPRN: F		OOR: Level 5 - Second floor			
ROOM: Bathroom 422	No : 003/-	4/2/014	USE :			
Element : Ceilings	CODE:5	Anthon	01/11.2.1.1.1		0	Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Cost (£) 136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 10 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£)
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB53m2123

Year 1

Replacement

Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 16 m2 131

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

BUILDING: Block 04	UPRN:		FLOOR: Level 5 - Second floor level				
ROOM: Bedroom 427	No : 003/	/4/2/015	USE:				
Element : Ceilings	CODE:5						Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 12	m2	Cost (£) 410
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 35	m2	Cost (£) 1,367
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1	No	Cost (£) 1,367
							Year 1 Repair Cost (£
Element : Floors	CODE:5						Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 11	m2	Cost (£) 451
							Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB251m2418

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

BUILDING: Block 04	UPRN :		FLOOR: Level 5 - Second floor level			
ROOM: Bathroom 427	No : 003/	/4/2/016	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 8 m2	Cost (£) 273
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£) 82
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB52m2123

Year 1 Repair Cost (£)

Replacement

Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 4 2 11 m2 90 Emulsion to ceiling and walls;

BUILDING: Block 04 ROOM: Bedroom 428	UPRN : No : 003/4/2/01		FLOOR: Level 5 - Second floor level USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 13 m2	Cost (£) 444
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 35 m2	Cost (£) 1,196
		·				Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Poor	Action Replace	Cond/Ind Priority	L'Expec Replace/In	Quantity 12 m2	Cost (£) 492
						Year 1 Repair Cost (£

Description Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes Condition Poor

Action Redecorate Cond/Ind Priority L'Expec С 4

Replace/In 52

Quantity m2 Replacement Cost (£) 426

Year 1 Repair Cost (£)

BUILDING: Block 04	UPRN:		FLOOR: Level 5 - Second floor level			
ROOM: Bathroom 428	No : 003/4	4/2/018	USE :			
Element : Ceilings Description	CODE:5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	2 m2	68
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	7 m2	239
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Pre-finished board	Fair	No Action Required	В	12	2 m2	82
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Poor Replace C 4 Replace/In 3 m2 123

Replacement

Repair Cost (£)

Year 1

Element : Decoration CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Poor Redecorate C 4 Replace/In 11 m2 90 Emulsion to ceiling and walls;

FIXTURES & FITTINGS

BUILDING: Block 04 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Manager's Office No: 003/4/0/013 USE:

Element : Built in cupboards **CODE :** 6

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber buit in cupboard Fair No action required B 20 1 No 820

Year 1

BUILDING: Block 04 UPRN: FLOOR: Level 5 - Second floor level

ROOM: Bedroom 426 **No**: 003/4/2/008 **USE**:

Element : Built in cupboards **CODE :** 6

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)
Timber buit in cupboards Fair No action required B 20 1 No 820

Year 1

SANITARY

BUILDING: Block 04 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Bathroom 404 **No**: 003/4/0/004 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Year 1

Replacement

Repair Cost (£)

Repair Cost (£)

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1

Element: Baths **CODE**:7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic bath with shower above Fair No action required B 20 1 No 656

Year 1

BUILDING: Block 04 **UPRN:** FLOOR: Level 3 - Canongate Street level Ground ROOM: Bathroom 403 No: 003/4/0/006 USE: Element: WC CODE:7 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Ceramic WC cistern and bowl Fair No action required В 20 1 No 328 Year 1 Repair Cost (£) **Element**: Basins CODE:7 Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) Ceramic WHB No action required 20 328 Fair В No Year 1

Element : Baths CODE : 7

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Ceramic bath with shower aboveFairNo action requiredB201No656

Year 1 Repair Cost (£)

Replacement

BUILDING: Block 04 **UPRN:** FLOOR: Level 3 - Canongate Street level Ground ROOM: Bathroom 402 **No:** 003/4/0/008 USE: Element: WC CODE:7 Replacement Condition Action Cond/Ind Priority Cost (£) **Description** L'Expec Quantity Ceramic WC cistern and bowl Fair No action required В 20 1 328 No Year 1 Repair Cost (£) **Element**: Basins CODE:7 Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) Ceramic WHB No action required 20 328 Fair В No Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Shower cabinet with prefinished No action required 15 1,148 Fair В No board walls and glazed doors Year 1 Repair Cost (£)

BUILDING: Block 04 **UPRN:** FLOOR: Level 3 - Canongate Street level Ground ROOM: Bathroom 401 No: 003/4/0/010A USE: Element: WC CODE:7 Replacement Condition Action Cond/Ind Priority Cost (£) **Description** L'Expec Quantity Ceramic WC cistern and bowl Fair No action required В 20 1 328 No Year 1 Repair Cost (£) **Element**: Basins CODE:7 Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) Ceramic WHB No action required 20 328 Fair В No Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Shower cabinet with prefinished No action required 15 1,148 Fair В No board walls and glazed door Year 1 Repair Cost (£)

BUILDING: Block 04 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Accessible Toilet

No: 003/4/0/012

USE:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Replacement

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

ROOM: Toilet **No**: 003/4/1/001A **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Year 1

Replacement

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

ROOM: Bathroom 413 **No**: 003/4/1/003 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Year 1

Replacement

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1
Repair Cost (£)

Element : Showers **CODE :** 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Shower cabinet with prefinished Fair No action required B 15 1 No 1,148 board walls and glazed doors

ROOM: Bathroom 414 **No**: 003/4/1/005 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Year 1

Replacement

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Element : Showers CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Shower cabinet with prefinished Fair No action required B 15 1 No 1,148 board walls and glazed doors

ROOM: Store **No**: 003/4/1/006A **USE**:

Element : Sinks CODE : 7

Replacement

Description

Cond/Ind Priority L'Expec Quantity

Cost (£)

Stainless steel sink Fair No action required B 10 1 No 328

ROOM: Bathroom 415 No: 003/4/1/007 USE:

Element: WC CODE:7

Replacement Condition Action Cond/Ind Priority Cost (£) **Description** L'Expec Quantity

Ceramic WC cistern and bowl Fair No action required В 20 328 1 No

Repair Cost (£)

Year 1

Replacement

Element: Basins CODE:7

Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£)

Ceramic WHB No action required 20 328 Fair В No

Year 1 Repair Cost (£)

Element: Showers CODE:7

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) 1,148

Shower cabinet with prefinished No action required 15 Fair В No board walls and glazed doors

ROOM: Bathroom 416 **No**: 003/4/1/009 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Year 1

Replacement

Repair Cost (£)

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1

Repair Cost (£)

Element : Baths CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic bath with shower above Fair No action required B 20 1 No 656

Year 1

ROOM: Bathroom 417 **No**: 003/4/1/012 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Year 1

Replacement

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1
Repair Cost (£)

Element : Showers **CODE :** 7

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

No action required
B
15
1
No 1,148

Shower cabinet with prefinished Fair No action required B 15 1 No board walls and glazed door

BUILDING: Block 04 **UPRN:** FLOOR: Level 4 - First floor level ROOM: Bathroom 418 No: 003/4/1/014 USE: Element: WC CODE:7 Replacement Condition Action Cost (£) **Description** Cond/Ind Priority L'Expec Quantity Ceramic WC cistern and bowl Fair No action required В 20 328 1 No Year 1 Repair Cost (£) **Element**: Basins CODE:7 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) Ceramic WHB Replace С Replace/In 1 328 Poor 4 No Chipped enamel Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Shower cabinet with prefinishedFairNo action requiredB151No1,148

board walls and glazed door

ROOM: Bathroom 411 **No**: 003/4/1/017 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Year 1

Replacement

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Element : Showers CODE : 7

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

No action required
B
15
1
No 1,148

Shower cabinet with prefinished Fair No action required B 15 1 No board walls and glazed door

ROOM: Bathroom 412 **No:** 003/4/1/019 USE:

Element: WC CODE:7

Replacement Condition Action Cond/Ind Priority Cost (£) **Description** L'Expec Quantity

Ceramic WC cistern and bowl Fair No action required В 20 1 328 No

Repair Cost (£)

Year 1

Replacement

Element: Basins CODE:7

Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£)

Ceramic WHB No action required 20 328 Fair В No

Year 1 Repair Cost (£)

Element: Showers CODE:7

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) 1,148

Shower cabinet with prefinished No action required 15 Fair В No board walls and glazed door

ROOM: Bathroom 423 **No**: 003/4/2/003 **USE**:

Element : WC CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Replacement

Replacement

Year 1

Element: Basins CODE:7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 2 1 No 328

Year 1 Repair Cost (£)

Element : Showers **CODE :** 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Shower cabinet with prefinished Fair No action required B 15 1 No 1,148 board walls and glazed doors

ROOM: Bathroom 424 **No**: 003/4/2/005 **USE**:

Element: WC CODE:7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Year 1

Replacement

Repair Cost (£)

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Element : Baths CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic bath with shower above Fair No action required B 20 1 No 656

Year 1

ROOM: Bathroom 425 **No**: 003/4/2/007 **USE**:

Element : WC CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1
Repair Cost (£)

Element : Showers CODE : 7

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

No action required
B
15
1
No 1,148

Shower cabinet with prefinished Fair No action required B 15 1 No board walls and glazed doors

ROOM: Bathroom 426 **No**: 003/4/2/009 **USE**:

Element : WC CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1
Repair Cost (£)

Element : Showers **CODE :** 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Shower cabinet with prefinished Fair No action required B 15 1 No 1,148 board walls and glazed doors

ROOM: Bathroom 421 **No**: 003/4/2/012 **USE**:

Element : WC CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Element : Showers **CODE :** 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Shower cabinet with prefinished Fair No action required B 15 1 No 1,148 board walls and glazed doors

ROOM: Bathroom 422 No: 003/4/2/014 USE:

Element: WC CODE:7

Condition Action Cond/Ind Priority Cost (£) **Description** L'Expec Quantity

Ceramic WC cistern and bowl Fair No action required В 20 1 328 No

Repair Cost (£)

Replacement

Replacement

Year 1

Element: Basins CODE:7

Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£)

Ceramic WHB No action required 20 328 Fair В No

Year 1 Repair Cost (£)

Element: Showers CODE:7

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) 1,148

Shower cabinet with prefinished No action required 15 Fair В No board walls and glazed doors

ROOM: Bathroom 427 **No**: 003/4/2/016 **USE**:

Element : WC CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1 Repair Cost (£)

Element : Showers CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Shower cabinet with prefinished Fair No action required B 15 1 No 1,148 board walls and glazed door

ROOM: Bathroom 428 **No**: 003/4/2/018 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 1 No 328

Repair Cost (£)

Year 1

Replacement

Repair Cost (£)

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 1 No 328

Year 1

Element : Showers CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Shower cabinet with prefinished Fair No action required B 15 1 No 1,148 board walls and glazed door

MECHANICAL SERVICES

BUILDING: Block 04 FLOOR: M&E UPRN:

ROOM: M&E No: 003/4/M&E/ USE:

Element: Gas Heating System

Description

Heating was provided by 2 Ideal Vicerov Gas fired boilers in Whiteford block. Hot water from system was pumped round the bld to a number of convection radiators, by a Biral pumping setup.

CODE: 13

Condition The heating and its associated equipment were in fair condition

with no defects evident.

Action

Continue maintenance

Cond/Ind Priority L'Expec В

15

Quantity

Replacement Cost (£)

20.000

Year 1

Repair Cost (£)

Element: Extraction System

Description

There was a mix of Xodus and Vent Axia single point extractors in use within the toilets in the resident's rooms. Single point Delta Extract extractors are installed the office area and communal areas.

CODE: 13

Condition

The condition of these were fair with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority В

L'Expec 15

Quantity

Replacement Cost (£) 3.500

Year 1

Repair Cost (£)

Element : Domestic Hot Water **CODE**:13

Description

Hot water was provided by the main boilers to a large Calorfier within the boiler room. , the water was pumped throughout the bld by Biral pumps.

Condition

The condition of this was fair with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority L'Expec В

15

Quantity

Replacement Cost (£) 20,000

ELECTRICAL SERVICES

BUILDING: Block 04 UPRN: FLOOR: M&E

ROOM: M & E **No**: 003/4/M&E/ **USE**:

Element: Mains Distribution CODE: 14

were controlled by PIR's, all other

lighting were manually controlled.

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Power distribution was via a mix of Wylex, GET and DormanAll were in a fair condition with no defects noted.Continue MaintenanceB2050,000

Smith DBs located around the bld. Wiring was contained within trunking.

Year 1

Repair Cost (£)

Replacement

Replacement

Cost (£)

Element : Light Fittings Internal CODE : 14

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) In the main this was a mix of The condition of the system was Continue maintenance В 20 25,000 T5, T8, (fitted with anti glare This survey did not look at fair with no defects noted. diffusers) 2D, CFL, tungsten and system compliance, a further Year 1 halogen fittings. Some corridors lighting compliance survey would Repair Cost (£)

Element : Light Fittings Internal CODE : 14

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityThis consisted of a mix ofThe condition of the system wasContinue maintenanceB20

be required.

This consisted of a mix of The condition of the system was Continue maintenance B 20 8,000 maintained and non-maintained self contained fittings.

Year 1
Repair Cost (£)

fair with no defects noted.

This survey did not look at system compliance, a further lighting compliance survey would be required.

Description This consisted of a number of SON bulkhead fittings located around the boundary wall, these are controlled by timers.	CODE:14 Condition The condition of the lighting and its associated equipment was fair with no defects noted.	Action Continue Maintenance This survey did not look at system compliance, a further in depth compliance survey would be required.	Cond/Ind Priority B	L'Expec 20	Quantity	Replacement Cost (£) 2,000 Year 1 Repair Cost (£)
Element: I.T. Description The bld is connected to the main Council IT network via a Netgear Router located within a Administration office. This provides a secure wireless network throughout the building.	CODE: 14 Condition The condition of the IT network was fair with no defects noted.	Action Continue Maintenance	Cond/Ind Priority B	L'Expec 20	Quantity	Replacement Cost (£) 150 Year 1 Repair Cost (£)

Element : Fire Alarms **CODE**:14 Replacement Condition Action Cond/Ind Priority L'Expec Cost (£) **Description** Quantity An automatic system consisting of a number of break glass The condition of the system was Continue Maintenance. В 20 15,000 fair with no defects noted. This survey did not look at system compliance, a further in depth compliance survey would manual call points, detectors and Year 1 audible alarms connected to a Repair Cost (£) 3404 fire alarm control panel. be required.

ROOFS

BUILDING: Block 05 UPRN: FLOOR: Roofs

ROOM: Roof 001 **No**: 003/5/R/001 **USE**:

Element : Covering CODE : 1

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Natural slate No action required В 20 36 5,979 Fair m2

> Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element : Covering CODE : 1

DescriptionConditionBituminous feltPoor and reaching end of

economic life
Signs of vegetation
Evidence of some ponding

Action

Clean vegetation off roof
Strip off existing cover and
replace with high performance felt

Cond/Ind Priority L'Expec Quantity
C Replace/In 72 m2

Year 1

Repair Cost (£)

Replacement

Cost (£)

7,382

Photo 1



Photo 2 Position

Element : Structure	CODE:1					Replacement
Description Timber joists and rafters	Condition Fair	Action No action required	Cond/Ind Priority B	L'Expec 35	Quantity 108 m2	Cost (£) 8,858
						Year 1 Repair Cost (£)
Element : Flashings	CODE :1					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Lead (inc. in roof)	Fair	No action required	В	20	40 m	3,007
						Year 1 Repair Cost (£)
Element : Rainwater goods	CODE : 1					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
CI gutters and downpipes	Fair	No action required	В	20	61 m	4,169
						Year 1 Repair Cost (£)

Element: Chimney stacks/flues CODE:1 Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) Brick / render with conc. copes No action required 20 5 12,235 Fair В No. and pots Year 1 Repair Cost (£) **Element**: TV aerials/dishes etc CODE:1 Replacement Cond/Ind Priority Quantity **Description** Condition **Action** L'Expec Cost (£) Metal aerials/dishes No action required В 10 3 No. 492 Fair Year 1 Repair Cost (£) **Element:** Decoration CODE:1 Replacement **Description** Condition Cond/Ind Priority L'Expec Quantity Cost (£) Action Gloss paint to CI gutters and 500 Fair No action required В 3 61 m2 downpipes etc. Year 1 Repair Cost (£) **Element:** Roof Lights CODE:1 Replacement Condition **Description Action** Cond/Ind Priority L'Expec Quantity Cost (£) Replace/In 1 400 Timber roof hatch with felt Replace С Poor Year 1 Repair Cost (£)

BUILDING: Block 05 ROOM: Roof 002	UPRN : No : 003/5.		FLOOR : Roofs USE :			
Element : Covering Description Mineral felt	CODE : 1 Condition Fair	Action No action required	Cond/Ind Priority B	L'Expec	Quantity 48 m2	Replacement Cost (£) 3,937 Year 1 Repair Cost (£
Element : Structure Description Timber joists and rafters	CODE : 1 Condition Fair	Action No action required	Cond/Ind Priority B	L'Expec 44	Quantity 48 m2	Replacement Cost (£) 3,937 Year 1 Repair Cost (£
Element : Flashings Description Felt	CODE : 1 Condition Fair	Action No action required	Cond/Ind Priority B	L'Expec	Quantity 10 m2	Replacement Cost (£) 820 Year 1 Repair Cost (£
Element : Flashings Description Lead (inc. in roof)	CODE : 1 Condition Fair	Action No action required	Cond/Ind Priority B	L'Expec 56	Quantity 9 m	Replacement Cost (£) 676 Year 1 Repair Cost (£)

Element : Rainwater goods CODE : 1

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Cast iron/downpipes and box Fair No action required B 36 3 m 205

Repair Cost (£)

Replacement

Year 1

Element : Roof Lights CODE : 1

Pescription Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Velux rooflight Fair No action required B 25 1 500

WALLS

BUILDING: Block 05 UPRN: FLOOR: Elevations

ROOM: Elevation 001 **No**: 003/5/E/001 **USE**:

Element : External walls CODE : 2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Window surrounds :cills,lintols

and jambs

Fair No Action Required B 35 72 m2 12,796

Replacement

Year 1
Repair Cost (£)

Element : External walls CODE : 2

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Stone wall, painted Fair No Action Required B 35 23 m2 4,087

Year 1 Repair Cost (£)

Element : External walls CODE : 2

Replacement **Description** Condition **Action** Cond/Ind Priority L'Expec Quantity Cost (£) Wet Dash Fair No Action Required 20 57 3,116 В m2

Photo 1



Photo 2 Position

Element: Windows

Description

Timber sash and case single glazed

14 No. (2m2) 2 No. (6m2) CODE:2

Condition

Fair but requires redecoration Repairs required to rerope sashes; renew parting beads and refix/renew ironmongery. Windows at Ground floor flat stuck shut.

Action

Action

Refer to decoration Repair parting beads;rerope sashes and refix/renew ironmongery. Ease windows on Ground floor

Note: Provisional sum included

Cond/Ind Priority L'Expec Quantity

B 4 10 40 m2

Year 1 Repair Cost (£)

3,500

Replacement

Cost (£)

16,405

Element : Doors CODE : 2

Description

Timber panelled within frame

Condition

Fair No Action Required

Cond/Ind Priority

L'Expec Quantity
16 1

Replacement Cost (£)
No. 984

Element: External joinery

CODE:2

Description

Description

Condition Fair

Action

Cond/Ind Priority

L'Expec

Quantity

2

Cost (£) 400

Replacement

Timber frame at main door

No Action Required

В

В

21

3

m2

Year 1

Repair Cost (£)

Replacement

Element: Decoration

CODE:2

Condition

Fair but with some flaking to

quoins

Action

No Action Required

Cond/Ind Priority L'Expec

Quantity 124 m2 Cost (£) 1,695

Year 1

Repair Cost (£)

Re-decoration All timber and wall finishes **BUILDING**: Block 05 **UPRN: FLOOR**: Elevations

ROOM: Elevation 002 No: 003/5/E/002 USE:

Element: External walls CODE:2

Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) Wet Dash No Action Required В 20 88 4,812 Fair m2

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

Element: Windows

Timber sash and case single

glazed

6 No. (1m2)

Description

Condition

Fair but requires redecoration All windows stuck shut.

CODE:2

Action

Refer to decoration Ease windows

Cond/Ind Priority L'Expec В

Quantity 10 6

m2

Replacement Cost (£) 2,460

Year 1

Repair Cost (£)

480

Element: Doors CODE:2

Replacement Cond/Ind Priority Cost (£) **Description** Condition Action L'Expec Quantity Timber glazed Fair No Action Required В 16 1 No. 984

Element : Decoration CODE : 2

Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No Action Required В 3 100 m2 1,367

All timber and wall finishes

Year 1
Repair Cost (£)

Element : Cills CODE : 2

Replacement

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Concrete cillsFairNo Action RequiredB255m2,500

BUILDING: Block 05 **UPRN: FLOOR**: Elevations

ROOM: Elevation 003 No: 003/5/E/003 USE:

Element: External walls CODE:2

Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) Wet Dash No Action Required В 20 66 3,609 Fair m2

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

Element: External walls CODE:2

Description Window surrounds :cills,lintols

and jambs

Condition

Fair

Action No Action Required Cond/Ind Priority L'Expec 35 В

Quantity 48 m2 Cost (£) 8,530

Year 1

Repair Cost (£)

Replacement

Element: Windows CODE:2

Description

Timber sash and case single

glazed

Condition Action

Fair but requires redecoration Refer to decoration Cond/Ind Priority L'Expec Quantity 10 В

20 m2 Replacement Cost (£) 8,202

Year 1

Repair Cost (£)

250

10 No. (2m2)

Repairs required to rerope sashes; renew parting beads and refix/renew ironmongery.

Repair parting beads; rerope sashes and refix/renew ironmongery.

CODE:2 **Element:** Doors Replacement **Description** Condition Cond/Ind Priority L'Expec Quantity Cost (£) Action Timber glazed Fair No Action Required В 16 No. 984 Year 1 Repair Cost (£) CODE:2 **Element:** Doors Replacement Cond/Ind Priority Cost (£) **Description** Condition Action L'Expec Quantity Timber louvred doors Fair No Action Required В 16 No. 3,937 Year 1 Repair Cost (£) **Element**: Decoration CODE:2 Replacement Condition **Description Action** Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration m2 1,613 No Action Required В 3 118 Fair All timber and wall finishes Year 1 Repair Cost (£) **BUILDING:** Block 05 **UPRN: FLOOR**: Elevations

ROOM: Elevation 004 No: 003/5/E/004 USE:

Element: External walls CODE:2

Replacement **Description** Condition **Action** Cond/Ind Priority L'Expec Quantity Cost (£) Wet Dash No Action Required В 20 156 8,530 Fair m2

> Year 1 Repair Cost (£)

Photo 1



Position Photo 2

Element: External walls CODE:2

Window surrounds :cills,lintols

and jambs

Description

Condition Fair

Action No Action Required Cond/Ind Priority L'Expec Quantity В 35

27 m2

Year 1 Repair Cost (£)

Replacement

Cost (£)

4,798

Element: Windows CODE:2

Description 3 No.Timber sash and case single glazed (6m2)

Condition Fair but requires redecoration Action Refer to decoration Cond/Ind Priority L'Expec В

10 11

Quantity m2 Replacement Cost (£)

Year 1

4,511

Repair Cost (£)

3 No. Timber casement single glazed (5m2)

Element : Doors Description Timber glazed	CODE:2 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 16	Quantity	y No.	Replacement Cost (£) 984
Q		·					Year 1 Repair Cost (£)
Element : Decoration Description	CODE : 2 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	v	Replacement Cost (£)
Re-decoration All timber and wall finishes	Fair	No Action Required	В	3	156	m2	2,132
All ulliber and wall lillisties							Year 1 Repair Cost (£)

STRUCTURE

BUILDING: Block 05 UPRN: FLOOR: Level 3 - Outwith flat

ROOM: Stairwell No: 003/5/0/009 USE:

Element : Stairs CODE : 4

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Stone stairs Fair No action required B 35 45 m2 15,379

Year 1 Repair Cost (£)

BUILDING: Block 05	UPRN:		FLOOR: Structure			
ROOM: Structure	No : 003/5	5/St/St	USE:			
Element : Floors	CODE:4					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Timber floor	Fair	No action required	В	35	m2	
						Year 1 Repair Cost (£
Element : Stairs	CODE :4					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Stone stair	Fair	No action required	В	35	m2	
						Year 1 Repair Cost (£
Element : Walls	CODE :4					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Stone walls	Fair	No action required	В	35	m2	
						Year 1 Repair Cost (£

ROOMS

BUILDING: Block 05 ROOM: Circulation Area	UPRN : No : 003		FLOOR : Level 3 - Canongate USE :	Street level G	round	
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priori	y L'Expec 32	Quantity 7 m2	Replacement Cost (£) 239 Year 1 Repair Cost (£
Element : Walls Description Plasterboard walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priori B	y L'Expec 32	Quantity 20 m2	Replacement Cost (£) 683 Year 1 Repair Cost (£
Element : Floors Description Carpet floor finish	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priori	y L'Expec 7	Quantity 2 m2	Replacement Cost (£) 82 Year 1 Repair Cost (£
Element : Decoration Description Re-decoration Emulsion to ceiling and walls;	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priori	y L'Expec 2	Quantity 37 m2	Replacement Cost (£) 303 Year 1 Repair Cost (£



BUILDING: Block 05 ROOM: Store	UPRN : F		OOR : Level 3 - Canongate St	reet level Gr	ound	
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec	Quantity 2 m2	Replacement Cost (£)
r lasterboard celling	i ali	No Action Required	Б	32	2 1112	Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7 m2	Cost (£) 239
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush	Fair	No Action Required	В	22	1 No	492
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Timber strip flooring	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 2 m2	Cost (£) 164
						Year 1 Repair Cost (£

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityRe-decorationFairNo Action RequiredB211r

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

Cost (£)

90

m2

BUILDING: Block 05 ROOM: Living Room	UPRN: No: 003/5/0/003		OOR : Level 3 - Canongate St USE :	ound		
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 44 m2	Replacement Cost (£) 649
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 61 m2	Cost (£) 2,084
Plasterboard walls	ı an	No Action Nequired	D	<i>32</i>	01 1112	Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Lining board to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 3 m2	Cost (£) 123
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Danlacament
Description Timber panelling to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 10	Quantity 3 m2	Replacement Cost (£) 205
						Year 1 Repair Cost (£

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority Cost (£) **Description** Action L'Expec Quantity Softwood timber flush No Action Required В 22 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Timber strip flooring Fair No Action Required 22 3,609 В 44 m2 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Fair 926 Re-decoration No Action Required В 2 116 m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1 Repair Cost (£)

BUILDING: Block 05 ROOM: Bedroom 1	UPRN : No : 003/5/0		*LOOR : Level 3 - Canongate USE :	round		
Element : Ceilings	CODE:5					
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priorit	y L'Expec 32	Quantity 9 m2	Replacement Cost (£) 307
						Year 1 Repair Cost (£
Element : Walls	CODE :5					Danlasamant
Description	Condition	Action	Cond/Ind Priorit	•	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	27 m2	922
						Year 1 Repair Cost (£)
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priorit	y L'Expec	Quantity	Cost (£)
Softwood timber flush	Fair	No Action Required	В	22	1 No	492
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Denlessment
Description	Condition	Action	Cond/Ind Priori	y L'Expec	Quantity	Replacement Cost (£)
Timber strip flooring	Fair	No Action Required	В	22	9 m2	738
						Year 1 Repair Cost (£)

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB242m2344

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

		FLOOR: Level 3 - Canongate Street level Ground				
No : 003/5/0	/005	USE:				
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 19 m.	Cost (£)	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 32 m.	Cost (£)	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Fair	No Action Required	В	22	1 No	492	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 19 m.	Cost (£)	
					Year 1 Repair Cost (£	
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required Action No Action Required	CODE :5 Condition Action Required B CODE :5 Condition Action Required B	CODE :5 Condition Action No Action Required B E	CODE :5 Condition Action No Action Required B 32 19 m: CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 32 32 m: CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 32 32 m: CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 22 1 No	

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityRe-decorationFairNo Action RequiredB258m2

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

Cost (£)

475

BUILDING : Block 05 ROOM : Bathroom	UPRN : No : 003/5/		FLOOR : Level 3 - Canongate Stuse :	treet level Gr	ound	
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 4 m2	Cost (£) 136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	6 m2	205
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Lining board to walls Pre-finished board	Fair	No Action Required	В	15	3 m2	123
The finished board						Year 1 Repair Cost (£
Element : Doors	CODE:5					Donloomont
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Replacement Cost (£) 492
						Year 1 Repair Cost (£

Element : Floors CODE : 5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Quarry tiled floorFairNo Action RequiredB273m2123

Year 1
Repair Cost (£)

Replacement

Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 12 m2 98 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 05 **UPRN:** FLOOR: Level 3 - Canongate Street level Ground ROOM: Store No: 003/5/0/007 USE: CODE:5 **Element**: Ceilings Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Plaster on hard ceiling (stairwell No Action Required В 31 3 Fair m2 102 above) Year 1 Repair Cost (£) CODE:5 Element: Walls Replacement Cond/Ind Priority L'Expec Cost (£) Condition Action **Description** Quantity 31 341 Plaster on hard to walls Fair No Action Required В 10 m2 Year 1 Repair Cost (£) CODE:5 **Element:** Doors Replacement Condition **Description Action** Cond/Ind Priority Cost (£) L'Expec Quantity No Action Required В 22 Softwood timber flush Fair 492 No Year 1 Repair Cost (£) CODE:5 **Element:** Floors Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) **Action** Quantity Timber strip flooring No Action Required В 10 2 Fair m2 164 Year 1 Repair Cost (£)

Element: Decoration CODE:5

Description Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes Condition Poor

Action Redecorate Cond/Ind Priority L'Expec С 4

Replace/In 15

Quantity m2 Cost (£) 123

Replacement

Year 1 Repair Cost (£)

BUILDING: Block 05	UPRN:	FL	OOR: Level 3 - Canongate St			
ROOM : Toilet	No : 003/5/0/008		USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 6 m	Cost (£) 2 205
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 20 m	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Lining board to walls and ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 15	Quantity 6 m	Cost (£)
Pre-finished board						Year 1 Repair Cost (£
Element : Doors	CODE:5					Danlacament
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 N	Replacement Cost (£) 0 492
						Year 1 Repair Cost (£

Element : Floors CODE : 5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl tile floor finishFairNo Action RequiredB76m2246

Year 1

Replacement

Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 28 m2 229 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 05	UPRN:	FLOOR : L	_evel 3 - Outwith flat			
ROOM: Stairwell	No : 003/5/0/00	09 USE :				
Element : Ceilings	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Lath & plaster ceiling	Fair, although nearing end of economic lifespan	Make good plaster finish	B 4	5	12 m2	656
						Year 1 Repair Cost (£ 100
Element : Ceilings	CODE:5					Danisaamant
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard ceiling	Fair	No Action Required	В	15	10 m2	341
						Year 1 Repair Cost (£
Element : Ceilings	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard ceiling	Fair, although minor damage to	Make good damaged	B 4	15	14 m2	478
	plasterboard in isolated areas.	plasterboard finish				Year 1 Repair Cost (£ 150
Element : Walls	CODE:5					Panlacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair, with damaged plaster in	Make good plaster finish	В 4	20	248 m2	8,476
	isolated areas					Year 1 Repair Cost (£

Element : Floors CODE : 5

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Composite - Linatol Fair No Action Required В 12 46 m2 5,030

Year 1 Repair Cost (£)

Element: Decoration **CODE**:5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Poor Redecorate С 4 Replace/In 294 2,411 m2

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1

Repair Cost (£)

	Replacement
Quantity 7 m2	Cost (£)
	Year 1 Repair Cost (
	Replacement
Quantity 36 m ²	Cost (£)
	Year 1 Repair Cost (
	Replacement
Quantity 1 No	Cost (£)
	Year 1 Repair Cost (
	Danlasamani
Quantity 7 m2	Replacement Cost (£) m2 574
	Year 1 Repair Cost (
	-

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityRe-decorationFairNo Action RequiredB245rEmulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1 Repair Cost (£)

Replacement

Cost (£)

90

m2

BUILDING: Block 05 UPRN: FLOOR: Level 3 - Outwith flat

ROOM: Store **No**: 003/5/0/011 **USE**:

Element : Walls CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Brick/stone walls Fair No Action Required B 32 6 m2 492

Repair Cost (£)

Year 1

Year 1

Repair Cost (£)

Replacement

Element : Doors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Softwood timber louvred doors Fair No Action Required B 22 1 m2 341

Year 1 Repair Cost (£)

Element : Floors CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Unpainted Concrete Fair No Action Required B 40 1 m2 68

BUILDING: Block 05 **UPRN**: **FLOOR**: Level 3 - Outwith flat

ROOM: Store **No**: 003/5/0/012 **USE**:

Element : Walls CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Brick/stone walls Fair No Action Required B 32 8 m2 656

Year 1 Repair Cost (£)

Replacement

Year 1

Element : Doors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Softwood timber louvred doors Fair No Action Required B 22 2 m2 683

Softwood tilliber louvied doors if all No Action Required B 22 2 miz 663

Repair Cost (£)

Element : Floors CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Unpainted Concrete Fair No Action Required B 40 2 m2 164

Year 1 Repair Cost (£) BUILDING: Block 05 UPRN: FLOOR: Level 3 - Outwith flat

ROOM: Store **No**: 003/5/0/013 **USE**:

Element : Walls CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Brick/stone walls Fair No Action Required B 32 6 m2 492

Year 1 Repair Cost (£)

Replacement

Year 1

Repair Cost (£)

Element : Doors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Softwood timber louvred doors Fair No Action Required B 22 1 m2 341

Year 1 Repair Cost (£)

Element : Floors **CODE :** 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Unpainted Concrete Fair No Action Required B 40 1 m2 68

BUILDING : Block 05	UPRN :			el 3 - Outwith flat			
ROOM: Vestibule	No : 003/5/0/	014	USE :				
Element : Ceilings Description	CODE : 5 Condition	Action	C	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required		В	20	2 m2	68
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Danlassmant
Description	Condition	Action	c	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair, although damaged in	Make good damaged		В 4	20	5 m2	170
	isolated areas	plasterboard finish					Year 1 Repair Cost (£ 50
Element : Walls	CODE:5						Danissament
Description	Condition	Action	C	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required		В	20	3 m2	102
							Year 1 Repair Cost (£)
Element : Floors	CODE:5						Danlasamant
Description	Condition	Action	C	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Composite - Linatol	Fair	No Action Required		В	12	2 m2	218
							Year 1 Repair Cost (£

Element: Decoration CODE:5

Description Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes Condition Poor

Action Redecorate Cond/Ind Priority L'Expec С 4

Quantity Replace/In 14

Cost (£) m2 114

> Year 1 Repair Cost (£)

Replacement

BUILDING: Block 05	UPRN:		FLOOR: Le				
ROOM: Circulation Area 1	No : 003/5/1/0	001	USE :				
Element : Ceilings	CODE:5	Action		Candlind Driester	I I France -	Overstitus	Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	4	Cond/Ind Priority B	L'Expec 32	Quantity 2 m2	Cost (£) 68
i lasterboard colling	i uii	140 Action Required	4	J	0 <u>2</u>	2 1112	
							Year 1 Repair Cost (£)
Element : Walls	CODE:5						Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster on hard to walls	Fair	No Action Required	k	В	31	3 m2	102
							Year 1 Repair Cost (£)
Element : Walls	CODE:5						Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	t	В	32	6 m2	205
							Year 1 Repair Cost (£)
Element : Floors	CODE:5						Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Carpet floor finish	Fair	No Action Required	k	В	7	2 m2	82
							Year 1 Repair Cost (£)

Element: Decoration

CODE:5

Description Re-decoration Condition Fair

Action No Action Required Cond/Ind Priority L'Expec В

2

Quantity 11 m2 Replacement Cost (£)

90

Year 1 Repair Cost (£)

UPRN:	· L	OOR: Level 4 - First floor lev			
No : 003/5	5/1/002	USE:			
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 2 m2	Cost (£) 68
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 8 m2	Cost (£) 273
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 7	Quantity 2 m2	Cost (£)
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition	Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action No Action Required CODE:5 Condition Action No Action Required	CODE :5 Condition Action Required B CODE :5 Condition Action Required B	CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair Action Cond/Ind Priority L'Expec Fair CODE :5 Condition Action Required CODE :5 Condition Action Fair Action Cond/Ind Priority L'Expec Fair CODE :5 Condition Action No Action Required B Cond/Ind Priority L'Expec 22 CODE :5 Condition Action Cond/Ind Priority L'Expec L'Expec	CODE : 5 Condition Fair Action No Action Required CODE : 5 Condition Fair Action Cond/Ind Priority B CODE : 5 Condition Fair CODE : 5 Condition Action No Action Required CODE : 5 Condition Action Fair CODE : 5 Condition Action Fair Action Cond/Ind Priority L'Expec Quantity B CODE : 5 Condition Action Fair Action Cond/Ind Priority L'Expec Quantity 1 No CODE : 5 Condition Action Cond/Ind Priority L'Expec Quantity 1 No CODE : 5 Condition Action Cond/Ind Priority L'Expec Quantity

Element: Decoration

CODE:5

Description Re-decoration Condition Fair

Action

No Action Required

Cond/Ind Priority L'Expec В

2

Quantity 10 m2 Replacement Cost (£)

82

Year 1

Repair Cost (£)

BUILDING: Block 05 FLOOR: Level 4 - First floor level Flat 55/1 **UPRN:** ROOM: Circulation Area 2 No: 003/5/1/003 USE: **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Plasterboard ceiling No Action Required В 32 7 Fair m2 239 Year 1 Repair Cost (£) **Element:** Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required 31 Plaster on hard to walls Fair В 14 m2 478 Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No Action Required Plasterboard walls Fair В 32 14 m2 478 Year 1 Repair Cost (£) CODE:5 **Element:** Floors Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) Carpet floor finish Fair No Action Required В 7 2 82 m2 Year 1 Repair Cost (£)

CODE:5

Description Re-decoration Condition Fair

Action No Action Required Cond/Ind Priority L'Expec В 2

35

Quantity m2 Replacement Cost (£)

287

BUILDING: Block 05	UPRN:		OOR: Level 4 - First floor leve	el Flat 55/1		
ROOM: Living Room	No : 003/	5/1/004	USE :			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 19 m ²	Cost (£) 2 649
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 13 m2	Cost (£)
		·				Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Lath & plaster to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 20 m ²	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£)
						Year 1 Repair Cost (£

Element : Floors CODE:5 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) Carpet floor finish Fair No Action Required В 7 19 m2 779 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No Action Required В 2 52 m2 426 Year 1 Repair Cost (£)

BUILDING: Block 05 ROOM: Bedroom 1	UPRN : No : 003/5		OOR: Level 4 - First floor leve	el Flat 55/1		
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 11 m2	Replacement Cost (£) 375
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 20 m2	Cost (£) 683
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Lath & plaster to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 10 m2	Cost (£) 546
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Dowlessment
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Replacement Cost (£) 492
						Year 1 Repair Cost (£

Element : Floors CODE:5 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) Carpet floor finish Fair No Action Required В 7 11 m2 451 Year 1 Repair Cost (£) CODE:5 **Element**: Decoration Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No action required В 2 43 m2 352 Year 1 Repair Cost (£)

No: 003/5/1/ CODE:5 Condition Fair	Action No Action Required	USE : Cond/Ind Priority	L'Expec			
Condition		Cond/Ind Priority	l 'Evnos			Danila and 1
		Cond/Ind Priority	I 'Evnos			Replacement
		В	32	Quantity 2	r m2	Cost (£) 68
						Year 1 Repair Cost (£
CODE:5						Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 11	m2	Cost (£) 375
						Year 1 Repair Cost (£
CODE:5						Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1	, No	Cost (£) 492
						Year 1 Repair Cost (£
CODE:5						Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 7	-	m2	Cost (£)
						Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair	Condition Fair CODE:5 Condition Fair Action No Action Required Action No Action Required CODE:5 Condition Action No Action Required Action Action Action	Condition Fair No Action Required CODE:5 Condition Fair Action Cond/Ind Priority B Condition Fair CODE:5 Condition Action Required B CODE:5 Condition Cond/Ind Priority CODE:5 Condition Action Cond/Ind Priority	Condition Fair CODE:5 Condition Action No Action Required B Cond/Ind Priority L'Expec 22 CODE:5 Condition Action Cond/Ind Priority L'Expec 22 CODE:5	Condition Fair CODE:5 Condition Action No Action Required B Cond/Ind Priority L'Expec Quantity 1 L'Expec Quantity 1 CODE:5 Condition Cond/Ind Priority L'Expec Quantity 1 CODE:5 Condition Action Cond/Ind Priority L'Expec Quantity 1	Condition Fair Action No Action Required Cond/Ind Priority B Action Cond/Ind Priority B CODE:5 Condition Fair Cond/Ind Priority B Cond/Ind Priority L'Expec Quantity 1 No Action Required B Cond/Ind Priority 22 1 No Cond/Ind Priority L'Expec Quantity 1 No Cond/Ind Priority L'Expec Quantity 1 No Cond/Ind Priority L'Expec Quantity L'Expec Quantity

Element : Decoration **CODE :** 5

DescriptionRe-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

ConditionActionFairNo Action Required

Cond/Ind Priority B

L'Expec Qua Replace/In 15

Quantity 15 m2 Replacement Cost (£)
123

UPRN : No : 003/5.		FLOOR: Level 4 - First floor I USE:	evel Flat 55/1		
CODE:5					
Condition Fair	Action No Action Required	Cond/Ind Priori B	ty L'Expec	Quantity 4 m2	Replacement Cost (£) 136
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priori B	ty L'Expec 32	Quantity 2 m2	Cost (£)
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition	Action	Cond/Ind Priori	ty L'Expec	Quantity	Cost (£)
Fair	No Action Required	В	5	3 m2	164
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required		•	Quantity	Cost (£) 410
		_			Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair Action No Action Required CODE:5 Condition Action No Action Required	CODE : 5 Condition Action Cond/Ind Priori Fair No Action Required B CODE : 5 Condition Action Cond/Ind Priori Fair No Action Required B CODE : 5 Condition Action Required B CODE : 5 Condition Action Cond/Ind Priori Fair No Action Required B	CODE : 5 Condition Action Required B L'Expec Fair No Action Required B Cond/Ind Priority L'Expec Fair No Action Required B Zeptec S Condition Action Required B Zeptec S Condition No Action Required B Zeptec S Condition Action Required B S S S S Condition Action Required B Zeptec S S Condition No Action Required B Zeptec S S Condition Action Required B Zeptec S S Condition Action Required Cond/Ind Priority L'Expec S S Condition Action Required Cond/Ind Priority L'Expec CODE : 5	CODE :5 Condition Action No Action Required B

Element: Doors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Softwood timber flush No Action Required В 22 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 7 m2 123 3 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Re-decoration Fair 10 No Action Required В 2 m2 82 Year 1

Repair Cost (£)

BUILDING: Block 05 ROOM: Bedroom 2	UPRN : No : 003/5		LOOR: Level 4 - First floor leve	el Flat 55/1		
Element : Ceilings	CODE : 5	Antinu	Candled Brianita	LICana	Occupation	Replacement
Description Plasterboard ceiling	Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 13 m2	Cost (£) 444
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	10 m2	341
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Lath & plaster to walls	Fair	No Action Required	В	5	20 m2	1,093
						Year 1 Repair Cost (£)
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush	Fair	No Action Required	В	22	1 No	492
						Year 1 Repair Cost (£)

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Replacement

Year 1

Carpet floor finish Fair No Action Required B 7 13 m2 533

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 45 m2 369 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 05 ROOM: Kitchen	UPRN : No : 003/		OOR: Level 4 - First floor leve	el Flat 55/1		
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 10 m2	Cost (£) 341
J		·				Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Lath & plaster to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 13 m2	Cost (£) 710
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 5 m2	Cost (£) 170
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Danlacament
Description Plaster on hard to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 31	Quantity 2 m2	Replacement Cost (£) 68
						Year 1 Repair Cost (£

Element: Walls CODE:5 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) Lining board to walls No Action Required 12 2 82 Fair В m2 Year 1 Repair Cost (£) **Element:** Doors CODE:5 Replacement **Description** Cond/Ind Priority L'Expec Condition Action Quantity Cost (£) No Action Required 492 Softwood timber flush Fair В 22 No Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement Cond/Ind Priority **Description** Condition L'Expec Quantity Cost (£) Action Vinyl sheet finish (non-slip) Fair No Action Required В 7 10 m2 410 Year 1 Repair Cost (£) **Element:** Decoration CODE:5 Replacement L'Expec **Description** Condition **Action** Cond/Ind Priority Quantity Cost (£) No Action Required В 2 30 246 Re-decoration Fair m2 Year 1 Repair Cost (£)

BUILDING: Block 05	UPRN:	FLO	OR: Level 5 - Second floor I	evel Flat 55	5/2	
ROOM: Circulation Area 1	No : 003/	5/2/001 U	SE:			
Element : Ceilings	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	32	2 m2	68
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster on hard to walls	Fair	No Action Required	В	31	3 m2	102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	6 m2	205
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Carpet floor finish	Fair	No Action Required	В	7	2 m2	82
						Year 1 Repair Cost (£

CODE:5

Description Re-decoration Condition Fair

Action No Action Required Cond/Ind Priority L'Expec В

2

Quantity 11 m2 Replacement Cost (£)

90

BUILDING: Block 05	UPRN:	F	LOOR: Level 5 - Second floor	level Flat 55	5/2	
ROOM: WC	No : 003/5	5/2/002	USE:			
Element : Ceilings	CODE :5					Replacement
Description	Condition	Action	Cond/Ind Priority	•	Quantity	Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	32	2 m2	68
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	8 m2	273
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush	Fair	No Action Required	В	22	1 No	492
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	В	7	2 m2	82
						Year 1 Repair Cost (£

CODE:5

Description Re-decoration Condition Fair

Action

No Action Required

Cond/Ind Priority L'Expec В

2

Quantity 10 m2 Replacement Cost (£)

82

Year 1

Repair Cost (£)

BUILDING: Block 05 **UPRN:** FLOOR: Level 5 - Second floor level Flat 55/2 ROOM: Circulation Area 2 USE: No: 003/5/2/003 **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Plasterboard ceiling No Action Required В 32 7 Fair m2 239 Year 1 Repair Cost (£) **Element:** Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required 31 Plaster on hard to walls Fair В 14 m2 478 Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No Action Required Plasterboard walls Fair В 32 14 m2 478 Year 1 Repair Cost (£) CODE:5 **Element:** Floors Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) Carpet floor finish Fair No Action Required В 7 2 82 m2 Year 1 Repair Cost (£)

CODE:5

Description Re-decoration Condition Fair

Action No Action Required Cond/Ind Priority L'Expec В 2

35

Quantity m2 Replacement Cost (£)

287

BUILDING: Block 05	UPRN:	FI	OOR: Level 5 - Second floor	level Flat 55	5/2		
ROOM: Living Room	No : 003/	/5/2/004	USE:				
Element : Ceilings	CODE:5						Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 19	/ m2	Cost (£) 649
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 13	/ m2	Cost (£) 444
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Lath & plaster to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 20	/ m2	Cost (£) 1,093
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1	/ No	Cost (£) 492
							Year 1 Repair Cost (£

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Replacement

Year 1

Carpet floor finish Fair No Action Required B 7 19 m2 779

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 52 m2 426 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 05	UPRN:	FL	OOR: Level 5 - Second floor	level Flat 55	5/2	
ROOM: Bedroom 1	No : 003/	/5/2/005	USE:			
Element : Ceilings	CODE : 5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 11 m2	Cost (£) 375
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 20 m2	Cost (£) 683
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Lath & plaster to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 10 m2	Cost (£) 546
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Element : Floors CODE:5 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) Carpet floor finish Fair No Action Required В 7 11 m2 451 Year 1 Repair Cost (£) CODE:5 **Element**: Decoration Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No action required В 2 43 m2 352 Year 1 Repair Cost (£)

UPRN :	F	LOOR: Level 5 - Second floor	level Flat 55	5/2	
No : 003/	/5/2/006	USE:			
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 2 m2	Cost (£) 68
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 11 m2	Cost (£) 375
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 7	Quantity 2 m2	Cost (£)
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE :5 Condition Action No Action Required B L'Expec Fair Action No Action Required B L'Expec Condition Action No Action Required B L'Expec Fair No Action Required B L'Expec Tair No Action Required B L'Expec Soundition Action Required B L'Expec Condition Action Required B L'Expec	CODE :5 Condition Action No Action Required B

Element: Decoration CODE:5

Description Re-decoration

Emulsion to ceiling and walls; gloss/varnish to timber finishes

Condition Fair

Action No Action Required Cond/Ind Priority В

L'Expec Replace/In 15

Quantity m2 Replacement Cost (£) 123

UPRN:	FLOOR: Level 5 - Second floor	level Flat 55	5/2	
No : 003/5/2/007	USE:			
E :5				Replacement
Action No Action Required	Cond/Ind Priority	L'Expec 32	Quantity 4 m2	Cost (£) 136
				Year 1 Repair Cost (£
E :5				Replacement
Action No Action Required	Cond/Ind Priority	L'Expec 32	Quantity 2 m2	Cost (£) 68
				Year 1 Repair Cost (£
E :5				Replacement
Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
No Action Required	В	5	3 m2	164
				Year 1 Repair Cost (£
E :5				Replacement
	0 1/1 1 Dulante	l 'Eynec	Quantity	
Action No Action Required		15	10 m2	Cost (£) 410
	Action No Action Required	Action Cond/Ind Priority No Action Required B	Action Cond/Ind Priority L'Expec No Action Required B 5 E:5	Action Cond/Ind Priority L'Expec Quantity No Action Required B 5 3 m2 E:5

Element: Doors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Softwood timber flush No Action Required В 22 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 7 m2 123 3 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Re-decoration Fair 10 No Action Required В 2 m2 82 Year 1

Repair Cost (£)

BUILDING: Block 05	UPRN:	FL	OOR: Level 5 - Second floor			
ROOM: Bedroom 2	No : 003/	/5/2/008	USE:			
Element : Ceilings	CODE : 5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 13 m2	Cost (£) 444
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 10 m2	Cost (£) 341
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Lath & plaster to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 20 m2	Cost (£) 1,093
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Replacement

Year 1

Carpet floor finish Fair No Action Required B 7 13 m2 533

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 45 m2 369 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

No: 003/5/2/009 CODE:5 condition fair	Action No Action Required	USE:	Cond/Ind Priority B	L'Expec 32	Quantit 10	/ m2	Replacement Cost (£)
ondition fair			•	-			Cost (£)
air			•	-			Cost (£)
						1112	341
							Year 1 Repair Cost (£
CODE:5							Replacement
ondition air	Action No Action Required		Cond/Ind Priority B	L'Expec 5	Quantit 13	/ m2	Cost (£) 710
							Year 1 Repair Cost (£
CODE:5							Replacement
ondition air	Action No Action Required		Cond/Ind Priority B	L'Expec 32	Quantit 5	/ m2	Cost (£) 170
							Year 1 Repair Cost (£
CODE:5							Danlagement
ondition fair	Action No Action Required		Cond/Ind Priority	L'Expec 31	Quantity 2	/ m2	Replacement Cost (£) 68
							Year 1 Repair Cost (£
	CODE:5 condition CODE:5 condition	CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5	CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5	CODE:5	Action No Action Required B 5 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 Action Cond/Ind Priority L'Expec 32 CODE:5 CODE:5 CODE:5 CODE:5 CODE:5	CODE:5 CODE:5	CODE:5 CODE:5 CODE:5 CODE:5 CODE:5 Action Required B Cond/Ind Priority L'Expec Quantity

Element: Walls CODE:5 Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) Lining board to walls No Action Required 12 2 82 Fair В m2 Year 1 Repair Cost (£) **Element:** Doors CODE:5 Replacement **Description** Cond/Ind Priority Condition Action L'Expec Quantity Cost (£) No Action Required 492 Softwood timber flush Fair В 22 No Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Quantity Cost (£) Action Vinyl sheet finish (non-slip) Fair No Action Required В 7 10 m2 410 Year 1 Repair Cost (£) **Element:** Decoration CODE:5 Replacement L'Expec **Description** Condition Action **Cond/Ind Priority** Cost (£) Quantity Fair No Action Required В 2 30 Re-decoration m2 246 Emulsion to ceiling and walls: gloss/varnish to timber finishes Year 1 Repair Cost (£)

BUILDING: Block 05 FLOOR: Level 6 - Third floor level Flat 55/3 **UPRN:** ROOM: Circulation Area 1 No: 003/5/3/001 USE: **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Plasterboard ceiling No Action Required В 32 2 Fair m2 68 Year 1 Repair Cost (£) **Element:** Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required 31 3 Plaster on hard to walls Fair В m2 102 Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No Action Required Plasterboard walls Fair В 32 6 m2 205 Year 1 Repair Cost (£) CODE:5 **Element:** Floors Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) Carpet floor finish Fair No Action Required В 7 2 82 m2 Year 1 Repair Cost (£)

CODE:5

Description Re-decoration Condition Fair

Action No Action Required Cond/Ind Priority L'Expec В

2

Quantity 11 m2 Replacement Cost (£)

90

UPRN:		OOR: Level 6 - Third floor lev			
No : 003/5	5/3/002	USE:			
CODE:5	Antino	Canalina de Britanita	I I Farman	0	Replacement
Fair	No Action Required	B	32	Quantity 2 m2	Cost (£) 68
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 8 m2	Cost (£) 273
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 7	Quantity 2 m2	Cost (£)
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required	CODE : 5 Condition Action Required B CODE : 5 Condition Action Required B	CODE :5 Condition Fair Action No Action Required B CODE :5 Condition Fair Action Cond/Ind Priority L'Expec Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority L'Expec Fair CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required Cond/Ind Priority L'Expec 22 CODE :5 Condition Action Cond/Ind Priority L'Expec L'Expec	CODE : 5 Condition Fair Action Cond/Ind Priority B CODE : 5 Condition Action Fair Cond/Ind Priority L'Expec Quantity 8 m2 CODE : 5 Condition Action Fair No Action Required B Cond/Ind Priority L'Expec Quantity 1 No CODE : 5 Condition Action Cond/Ind Priority L'Expec Quantity 1 No CODE : 5 Condition Action Cond/Ind Priority L'Expec Quantity L'Expec Quantity L'Expec Quantity L'Expec Quantity L'Expec CODE : 5 Condition CODE : 5 Condition Action Cond/Ind Priority L'Expec Quantity L'Expec Quantity L'Expec Quantity L'Expec Quantity L'Expec CODE : 5 Condition L'Expec Quantity L'Expec Quantity L'Expec

CODE:5

Description Re-decoration Condition Fair

Action

No Action Required

Cond/Ind Priority L'Expec В

2

Quantity 10 m2 Replacement Cost (£)

82

Year 1

Repair Cost (£)

BUILDING: Block 05 FLOOR: Level 6 - Third floor level Flat 55/3 **UPRN:** ROOM: Circulation Area 2 No: 003/5/3/003 USE: **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Plasterboard ceiling No Action Required В 32 7 Fair m2 239 Year 1 Repair Cost (£) **Element:** Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required 31 Plaster on hard to walls Fair В 14 m2 478 Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No Action Required Plasterboard walls Fair В 32 14 m2 478 Year 1 Repair Cost (£) CODE:5 **Element:** Floors Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) Carpet floor finish Fair No Action Required В 7 2 82 m2 Year 1 Repair Cost (£) **Element**: Decoration

CODE:5

Description Re-decoration Condition Fair

Action No Action Required Cond/Ind Priority L'Expec В 2

35

Quantity m2 Replacement Cost (£)

287

BUILDING: Block 05 ROOM: Living Room	UPRN : No : 003/5		LOOR: Level 6 - Third floor lev	rel Flat 55/3		
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 19 m2	Cost (£) 649
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	13 m2	444
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Lath & plaster to walls	Fair	No Action Required	В	5	20 m2	1,093
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush	Fair	No Action Required	В	22	1 No	492
						Year 1 Repair Cost (£)

Element : Floors CODE:5 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) Carpet floor finish Fair No Action Required В 7 19 m2 779 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No Action Required В 2 52 m2 426 Year 1 Repair Cost (£)

UPRN:			el Flat 55/3		
No : 003/	5/3/005	USE :			
CODE:5	Antinu	Condition de Paris aritan	l IF	Overstitus	Replacement
Fair	No Action Required	B	32	11 m2	Cost (£) 375
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 20 m2	Cost (£) 683
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 10 m2	Cost (£) 546
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair Action No Action Required	CODE :5 Condition Action Required B CODE :5 Condition Action Required B	CODE : 5 Condition Action No Action Required B L'Expec 32 CODE : 5 Condition Action Required B Action No Action Required B Action No Action Required B Action No Action Required B Action Required B Action No Action Required B Action Salar S	CODE :5 Condition Action Required B

Element : Floors CODE:5 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) Carpet floor finish Fair No Action Required В 7 11 m2 451 Year 1 Repair Cost (£) CODE:5 **Element**: Decoration Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No action required В 2 43 m2 352 Year 1 Repair Cost (£)

UPRN: F		FLOOR: Level 6 - Third floor level Flat 55/3				
No : 003/5	5/3/006	USE:				
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 2 m2	Cost (£) 68	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 11 m2	Cost (£) 375	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 7	Quantity 2 m2	Cost (£)	
					Year 1 Repair Cost (£	
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE : 5 Condition Action No Action Required B L'Expec Fair Action No Action Required B L'Expec Condition Action No Action Required B L'Expec Fair No Action Required B L'Expec Tair No Action Required B L'Expec Scondition Action Required B L'Expec CODE : 5 Condition Action Required B L'Expec Condition Action Required B L'Expec CODE : 5 Condition Action Required B L'Expec	CODE : 5 Condition Action Required B	

Element : Decoration **CODE :** 5

DescriptionRe-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

ConditionActionFairNo Action Required

Cond/Ind Priority B

L'Expec Qua Replace/In 15

Quantity 15 m2 Replacement Cost (£)
123

UPRN : No : 003/5		LOOR: Level 6 - Third floor levuse:	vel Flat 55/3		
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 4 m2	Cost (£) 136
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 2 m2	Cost (£)
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition	Action		-	Quantity	Cost (£)
Fair	No Action Required	В	5	3 m2	164
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Fair	No Action Required	В	15	10 m2	410
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair Action No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Required B	CODE :5 Condition Action No Action Required B L'Expec Fair Action Cond/Ind Priority L'Expec Fair No Action Required B Action Cond/Ind Priority L'Expec Fair No Action Required B S 32 CODE :5 Condition Action Required B L'Expec Fair No Action Required B S 5 Condition Action Required B L'Expec Fair No Action Required B L'Expec Fair No Action Required B L'Expec	CODE : 5 Condition Action No Action Required B

Element: Doors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Softwood timber flush No Action Required В 22 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 7 m2 123 3 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Re-decoration Fair 10 No Action Required В 2 m2 82 Year 1

BUILDING: Block 05	UPRN:		FLOOR: Level 6 - Third floor level Flat 55/3			
ROOM: Bedroom 2	No : 003/	/5/3/008	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 13 m2	Cost (£) 444
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 10 m2	Cost (£) 341
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Lath & plaster to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 20 m2	Cost (£) 1,093
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Replacement

Year 1

Carpet floor finish Fair No Action Required B 7 13 m2 533

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 45 m2 369 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

		FLOOR: Level 6 - Third floor level Flat 55/3			
No : 003/5/	/3/009	USE:			
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 10 m2	Cost (£) 341
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 13 m2	Cost (£) 710
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 5 m2	Cost (£) 170
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 31	Quantity 2 m2	Cost (£)
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required Action No Action Required	CODE : 5 Condition Action Cond/Ind Priority Fair No Action Required B CODE : 5 Condition Action Cond/Ind Priority B	CODE :5 Condition Action No Action Required B L'Expec Fair Action No Action Required B L'Expec Condition Action Required B L'Expec Fair No Action Required B L'Expec Fair No Action Required B S CODE :5 Condition Action Required B L'Expec Fair No Action Required B S CODE :5 Condition Action Required B L'Expec Scondition Action Required B L'Expec	CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair Action No Action Required Cond/Ind Priority E'Expec Quantity 10 m2 CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair Action No Action Required Cond/Ind Priority E'Expec Quantity 13 m2 CODE :5 Condition Action No Action Required B Cond/Ind Priority E'Expec Quantity 5 m2 CODE :5 Condition Action Cond/Ind Priority E'Expec Quantity 5 m2

Element: Walls CODE:5 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) Lining board to walls No Action Required 12 2 82 Fair В m2 Year 1 Repair Cost (£) **Element:** Doors CODE:5 Replacement **Description** Cond/Ind Priority L'Expec Condition Action Quantity Cost (£) No Action Required 492 Softwood timber flush Fair В 22 No Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement Cond/Ind Priority **Description** Condition L'Expec Quantity Cost (£) Action Vinyl sheet finish (non-slip) Fair No Action Required В 7 10 m2 410 Year 1 Repair Cost (£) **Element:** Decoration CODE:5 Replacement L'Expec **Description** Condition **Action** Cond/Ind Priority Quantity Cost (£) No Action Required В 2 30 246 Re-decoration Fair m2 Year 1 Repair Cost (£)

BUILDING: Block 05	UPRN:	FL	OOR: Level 7 - Fourth floor le	evel Flat 55/	4	
ROOM: Circulation Area	No : 003/5	5/4/001	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 2 m2	Cost (£) 68
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster on hard to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 31	Quantity 3 m2	Cost (£) 102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 6 m2	Cost (£) 205
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 7	Quantity 2 m2	Cost (£)
						Year 1 Repair Cost (£

Element: Decoration

CODE:5

Description Re-decoration Condition Fair

Action No Action Required Cond/Ind Priority L'Expec В

2

Quantity 11 m2 Replacement Cost (£)

90

UPRN: F		FLOOR: Level 7 - Fourth floor level Flat 55/4			
No : 003	3/5/4/002	USE:			
CODE :5					Replacement
			•	•	Cost (£) 68
Fall	No Action Required	D	32	2 1112	
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Fair	No Action Required	В	32	8 m2	273
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Fair	No Action Required	В	22	1 No	492
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Fair	No Action Required	В	7	2 m2	82
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action No Action Required CODE:5 Condition Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE:5 Condition Action Required B	CODE : 5 Condition Action No Action Required B 32 2 m2 CODE : 5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 32 8 m2 CODE : 5 Condition Action Priority B 32 8 m2 CODE : 5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 22 1 No CODE : 5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 22 1 No

Element: Decoration

CODE:5

Description Re-decoration Condition Fair

Action

No Action Required

Cond/Ind Priority L'Expec В

2

Quantity 10 m2 Replacement Cost (£)

82

Year 1

BUILDING: Block 05	UPRN: F		FLOOR: Level 7 - Fourth floor level Flat 55/4			
ROOM: Circulation Area	No : 003	/5/4/003	JSE :			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 5 m2	Cost (£) 170
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster on hard to walls	Fair	No Action Required	В	31	2 m2	341
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	14 m2	478
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Carpet floor finish	Fair	No Action Required	В	7	5 m2	205
						Year 1 Repair Cost (£

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB233m2270

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

UPRN:			vel Flat 55/	4	
No : 003/	5/4/004	USE :			
CODE :5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 18 m2	Cost (£) 615
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 13 m2	Cost (£) 444
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 20 m2	Cost (£) 1,093
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair Action No Action Required	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action Required B	CODE :5 Condition Action No Action Required B E Expec Fair Action No Action Required B E S S S S S S S S S S S S S S S S S S	CODE :5 Condition Action Required B L'Expec Quantity Fair No Action Required B Zond/Ind Priority L'Expec Quantity CODE :5 Condition Action Required B Zond/Ind Priority L'Expec Quantity Fair No Action Required B Zond/Ind Priority L'Expec Quantity Fair No Action Required B Zond/Ind Priority L'Expec Quantity Fair No Action Required B Zond/Ind Priority L'Expec Quantity Fair No Action Required B Zond/Ind Priority L'Expec Quantity CODE :5 Condition Action Required B Zond/Ind Priority L'Expec Quantity CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Replacement

Year 1

Carpet floor finish Fair No Action Required B 7 19 m2 779

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 52 m2 426 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 05 ROOM: Bedroom 1	UPRN: No: 003/5/4/005		OOR: Level 7 - Fourth floor le	vel Flat 55/4	4	
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 13 m2	Cost (£) 444
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	22 m2	751 Year 1 Repair Cost (£)
Element : Walls	CODE:5					Replacement
Description Lath & plaster to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 10 m2	Cost (£)
						Year 1 Repair Cost (£)
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£)
						Year 1 Repair Cost (£)

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Replacement

Year 1

Carpet floor finish Fair No Action Required B 7 13 m2 533

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No action required B 2 47 m2 385 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 05 ROOM: Store	UPRN : No : 003/5/4/006		OOR: Level 7 - Fourth floor le	vel Flat 55/	4		
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 1 m2	Replacement Cost (£) 34 Year 1 Repair Cost (£	
Element : Walls Description Plasterboard walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7 m2	Replacement Cost (£) 239 Year 1 Repair Cost (£)	
Element : Doors Description Softwood timber flush	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Replacement Cost (£) 492 Year 1 Repair Cost (£)	
Element : Floors Description Carpet floor finish	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 7	Quantity 1 m2	Replacement Cost (£) 41 Year 1 Repair Cost (£)	

Element : Decoration **CODE :** 5

DescriptionRe-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Condition Fair **Action**No Action Required

Cond/Ind Priority
B

L'Expec Qu Replace/In 8

Quantity 8 m2

Cost (£) 65

Year 1 Repair Cost (£)

Replacement

UPRN : No : 003/5/4/007		FLOOR: Level 7 - Fourth floor level Flat 55/4 USE:					
CODE:5							Denlessmant
Condition Fair	Action No Action Required	Cond/l ı B	nd Priority	L'Expec 32	Quantit 4	y m2	Replacement Cost (£) 136
							Year 1 Repair Cost (£
CODE:5							Replacement
Condition Fair	Action No Action Required	Cond/l ı B	nd Priority	L'Expec 32	Quantit 2	: y m2	Cost (£)
							Year 1 Repair Cost (£
CODE:5							Replacement
Condition	Action		nd Priority	L'Expec		•	Cost (£)
Fair	No Action Required	В		5	3	m2	164
							Year 1 Repair Cost (£
CODE:5							Danlasamant
Condition	Action	Cond/I	nd Priority	L'Expec	Quantit	:y	Replacement Cost (£)
Fair	No Action Required	В	-	15	3	m2	123
							Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair No Action No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition Action No Action Required CODE:5 Condition Action No Action Required	CODE : 5 Condition Action Required B CODE : 5 Condition Action Cond/In Fair No Action Required B	CODE :5 Condition Action Required B CODE :5 Condition Action Cond/Ind Priority B CODE :5 Condition Action Cond/Ind Priority B	CODE :5 Condition Action No Action Required B L'Expec Fair Action No Action Required B Action Cond/Ind Priority L'Expec Fair No Action Required B Action No Action Required B Action No Action Required B Action Required B Action Sequired B Action No Action Required B Action No Action Required B L'Expec S S Condition Action Required B L'Expec S S Condition No Action Required B L'Expec S S Condition Action Required B L'Expec S S Condition Action Cond/Ind Priority L'Expec Condition Action Cond/Ind Priority L'Expec L'Expec Condition Action Cond/Ind Priority L'Expec Condition Action Required Cond/Ind Priority L'Expec Condition Action Cond/Ind Priority L'Expec Condition Condit	CODE :5 Condition Action No Action Required B S 32 4 CODE :5 Condition Action No Action Required B S 32 2 CODE :5 Condition Action No Action Required B S 32 2 CODE :5 Condition Action No Action Required B S 32 32 CODE :5 Condition Action Required B S 5 3	CODE : 5 Condition Action No Action Required B

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority Cost (£) **Description** Action L'Expec Quantity Softwood timber flush No Action Required В 22 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority Cost (£) Action L'Expec Quantity Vinyl sheet finish (non-slip) No Action Required В m2 123 Fair 7 3 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Fair 10 Re-decoration No Action Required В 2 m2 82 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1

BUILDING: Block 05 ROOM: Bedroom 2	UPRN : No : 003/5/4/008		LOOR: Level 7 - Fourth floor le			
Element : Ceilings Description	CODE : 5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	32	8 m2	273
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	8 m2	273
						Year 1 Repair Cost (£)
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Lath & plaster to walls	Fair	No Action Required	В	5	12 m2	656
						Year 1 Repair Cost (£)
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£)

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Replacement

Year 1

Carpet floor finish Fair No Action Required B 7 13 m2 533

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 30 m2 246 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 05 ROOM: Kitchen	UPRN:		OOR: Level 7 - Fourth floor le	4		
	No : 003.	/5/4/009	USE :			
Element : Ceilings Description	CODE : 5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	32	11 m2	375
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Lath & plaster to walls	Fair	No Action Required	В	5	13 m2	710
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	5 m2	170
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Danlacament
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	В	31	2 m2	68
						Year 1 Repair Cost (£

Element: Walls CODE:5 Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) Lining board to walls No Action Required 12 2 82 Fair В m2 Year 1 Repair Cost (£) **Element:** Doors CODE:5 Replacement **Description** Cond/Ind Priority Condition Action L'Expec Quantity Cost (£) No Action Required 492 Softwood timber flush Fair В 22 No Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Quantity Cost (£) Action Vinyl sheet finish (non-slip) Fair No Action Required В 7 10 m2 410 Year 1 Repair Cost (£) **Element:** Decoration CODE:5 Replacement L'Expec **Description** Condition Action Cond/Ind Priority Cost (£) Quantity Fair No Action Required В 2 30 Re-decoration m2 246 Emulsion to ceiling and walls: gloss/varnish to timber finishes Year 1 Repair Cost (£)

FIXTURES & FITTINGS

BUILDING: Block 05 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Bedroom 1 **No**: 003/5/0/004 **USE**:

Element : Built in cupboards **CODE :** 6

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)
Timber buit in cupboards Fair No action required B 22 1 No 820

Year 1

BUILDING: Block 05 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Bedroom 2 **No**: 003/5/0/005 **USE**:

Element : Built in cupboards **CODE :** 6

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)
Timber buit in cupboards Fair No action required B 22 2 No 1,640

BUILDING: Block 05 UPRN: FLOOR: Level 3 - Outwith flat

ROOM: Stairwell **No**: 003/5/0/009 **USE**:

Element : Built in cupboards **CODE :** 6

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Boiler tank cupboard Fair No action required B 20 1 No 820

Year 1

BUILDING: Block 05 UPRN: FLOOR: Level 4 - First floor level Flat 55/1

ROOM: Kitchen **No**: 003/5/1/009 **USE**:

Element : Worktops CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Laminate / chipboard worktop Fair No action required B 12 3 m2 205

Repair Cost (£)

Year 1

Replacement

Element : Built in cupboards CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber buit in cupboards Fair No action required B 12 5 No 4,101

BUILDING: Block 05 UPRN: FLOOR: Level 5 - Second floor level Flat 55/2

ROOM: Kitchen **No**: 003/5/2/009 **USE**:

Element : Worktops CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Laminate / chipboard worktop Fair No action required B 12 3 m2 205

Repair Cost (£)

Year 1

Element : Built in cupboards CODE : 6

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber buit in cupboards Fair No action required B 12 5 No 4,101

BUILDING: Block 05 UPRN: FLOOR: Level 6 - Third floor level Flat 55/3

ROOM: Kitchen **No**: 003/5/3/009 **USE**:

Element: Worktops CODE: 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Laminate / chipboard worktop Fair No action required B 12 3 m2 205

Repair Cost (£)

Year 1

Replacement

Element : Built in cupboards CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber buit in cupboards Fair No action required B 12 5 No 4,101

BUILDING: Block 05 UPRN: FLOOR: Level 7 - Fourth floor level Flat 55/4

ROOM: Kitchen **No**: 003/5/4/009 **USE**:

Element: Worktops CODE: 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Laminate / chipboard worktop Fair No action required B 12 3 m2 205

Repair Cost (£)

Year 1

Element : Built in cupboards CODE : 6

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber buit in cupboards Fair No action required B 12 5 No 4,101

SANITARY

BUILDING: Block 05 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Living Room **No**: 003/5/0/003 **USE**:

Element : Sinks CODE : 7

Replacement Condition Condition Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic sink Fair No action required B 12 1 No 500

BUILDING: Block 05 **UPRN:** FLOOR: Level 3 - Canongate Street level Ground **ROOM**: Bathroom No: 003/5/0/006 USE: Element: WC CODE:7 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Ceramic WC cistern and bowl Fair No action required В 22 1 No 328 Year 1 Repair Cost (£) **Element:** Sinks CODE:7 Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) Ceramic sink No action required В 12 328 Fair No Year 1 Repair Cost (£) **Element:** Baths CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Ceramic bath&shower Fair No action required 22 656 В No Year 1 Repair Cost (£)

BUILDING: Block 05 **UPRN:** FLOOR: Level 3 - Canongate Street level Ground **ROOM**: Toilet No: 003/5/0/008 USE: Element: WC CODE:7 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Ceramic WC cistern and bowl Fair No action required В 22 1 No 328 Year 1 Repair Cost (£) **Element**: Basins CODE:7 Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) Ceramic WHB No action required 22 328 Fair В No Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Shower heads/mixer valve 17 No action required 1,148 Fair В No Year 1

Repair Cost (£)

BUILDING: Block 05 UPRN: FLOOR: Level 4 - First floor level Flat 55/1

ROOM: WC **No**: 003/5/1/002 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 22 1 No 328

Repair Cost (£)

Year 1

Replacement

Element : Sinks CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic sink Fair No action required B 12 1 No 328

BUILDING: Block 05 **UPRN:** FLOOR: Level 4 - First floor level Flat 55/1 **ROOM**: Bathroom No: 003/5/1/007 USE: Element: WC CODE:7 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Ceramic WC cistern and bowl Fair No action required В 22 1 No 328 Year 1 Repair Cost (£) **Element:** Sinks CODE:7 Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) Ceramic sink No action required В 12 No 328 Fair Year 1 Repair Cost (£)

Element : Baths CODE :7

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Ceramic bathFairNo action requiredB221No656

Year 1 Repair Cost (£)

Replacement

BUILDING: Block 05 UPRN: FLOOR: Level 4 - First floor level Flat 55/1

ROOM: Kitchen **No:** 003/5/1/009 USE:

Element : Sinks CODE:7

Replacement Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity

Stainless steel sink - single No action required 12 1 No 328 Fair В

drainer Year 1 Repair Cost (£) BUILDING: Block 05 UPRN: FLOOR: Level 5 - Second floor level Flat 55/2

ROOM: WC **No**: 003/5/2/002 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 22 1 No 328

Repair Cost (£)

Year 1

Replacement

Element : Sinks CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic sink Fair No action required B 12 1 No 328

BUILDING: Block 05 **UPRN:** FLOOR: Level 5 - Second floor level Flat 55/2 ROOM: Bathroom 1 No: 003/5/2/007 USE: Element: WC CODE:7 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Ceramic WC cistern and bowl Fair No action required В 22 1 No 328 Year 1 Repair Cost (£) **Element:** Sinks CODE:7 Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) Ceramic sink No action required В 12 No 328 Fair Year 1 Repair Cost (£)

Element : Baths CODE : 7

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Ceramic bathFairNo action requiredB221No656

Year 1 Repair Cost (£)

Replacement

BUILDING: Block 05 FLOOR: Level 5 - Second floor level Flat 55/2 **UPRN**:

ROOM: Kitchen No: 003/5/2/009 USE:

Element : Sinks CODE:7

Replacement Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity

Stainless steel sink - single No action required 12 1 No 328 Fair В

drainer Year 1 Repair Cost (£) BUILDING: Block 05 UPRN: FLOOR: Level 6 - Third floor level Flat 55/3

ROOM: WC **No**: 003/5/3/002 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 22 1 No 328

Repair Cost (£)

Year 1

Replacement

Element : Sinks CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic sink Fair No action required B 12 1 No 328

BUILDING: Block 05 **UPRN:** FLOOR: Level 6 - Third floor level Flat 55/3 **ROOM**: Bathroom No: 003/5/3/007 USE: Element: WC CODE:7 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity

Ceramic WC cistern and bowl Fair No action required B 22 1 No 328

Year 1 Repair Cost (£)

Element : Sinks CODE : 7

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic sink Fair No action required B 12 1 No 328

Year 1 Repair Cost (£)

Replacement

Element : Baths **CODE :** 7

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Ceramic bathFairNo action requiredB221No656

BUILDING: Block 05 UPRN: FLOOR: Level 6 - Third floor level Flat 55/3

ROOM: Kitchen **No**: 003/5/3/009 **USE**:

Element : Sinks CODE : 7

Replacement

Description

Condition

Action

Cond/Ind Priority L'Expec Quantity

Cost (£)

Stainless steel sink - single Fair No action required B 12 1 No 328 drainer

BUILDING: Block 05 **UPRN:** FLOOR: Level 7 - Fourth floor level Flat 55/4 **ROOM**: Bathroom No: 003/5/4/007 USE: Element: WC CODE:7 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Ceramic WC cistern and bowl Fair No action required В 22 1 No 328 Year 1 Repair Cost (£) **Element:** Sinks CODE:7 Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) Ceramic sink No action required В 12 No 328 Fair Year 1 Repair Cost (£) **Element:** Baths CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Ceramic bath 22 Fair No action required В 656 No

Year 1

Repair Cost (£)

BUILDING: Block 05 FLOOR: Level 7 - Fourth floor level Flat 55/4 **UPRN:**

ROOM: Kitchen No: 003/5/4/009 USE:

Element : Sinks CODE:7

Replacement Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity

Stainless steel sink - single No action required 12 No 328 Fair В 1

drainer Year 1 Repair Cost (£)

FIRE MATTERS

BUILDING: Block 05 UPRN: FLOOR: Level 4 - First floor level Flat 55/1

ROOM: Circulation Area 1 No: 003/5/1/001 USE:

Element : Fire Risk Assessment **CODE :** 9

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Softwood timber flush Fair No Action Required B 22 2 No 2,000

1 HR Fire doors with smoke seals and intumescent strips(one

with door closer)

BUILDING: Block 05 UPRN: FLOOR: Level 5 - Second floor level Flat 55/2

ROOM: Circulation Area 1 No: 003/5/2/001 USE:

Element: Fire Risk Assessment **CODE**:9

door closers

DescriptionConditionActionCond/Ind PriorityL'ExpecSoftwood timber flush
1 HR Fire doors with smoke
seals and intumescent strips andFairNo Action RequiredB22

Year 1 Repair Cost (£)

Quantity

No

2

Replacement

Cost (£)

2,000

BUILDING: Block 05 UPRN: FLOOR: Level 6 - Third floor level Flat 55/3

ROOM: Circulation Area 1 No: 003/5/3/001 USE:

Element: Fire Risk Assessment **CODE**:9

Description
Softwood timber flush
1 HR Fire doors with smoke
seals and intumescent strips and

door closers

Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)
Fair No Action Required B 22 2 No 2,000

BUILDING: Block 05 UPRN: FLOOR: Level 7 - Fourth floor level Flat 55/4

ROOM: Circulation Area **No**: 003/5/4/001 **USE**:

Element: Fire Risk Assessment **CODE**:9

Description Co
Softwood timber flush
1 HR Fire doors with smoke
seals and intumescent strips and

door closers

Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)
Fair No Action Required B 22 2 No 2,000

Year 1

MECHANICAL SERVICES

BUILDING: Block 05 **UPRN:** FLOOR: M&E

ROOM: M&E No: 003/5/M&E/ USE:

Element: Gas Heating System **CODE: 13**

Description

Heating was provided from two Potterton Suprima 100 gas fired boilers; this supplied a district heating system to all the residences. Hot water from system was pumped round the residences to a number of convection radiators, by a Grundfos pumping setup.

Condition The heating and its associated equipment were in fair condition and the controls for the heating system are located within the basement residence of Addison Smith, this is a remote location from the actual heating equipment.

Action

confirm this.

Continue maintenance Flat 55/2 pipework to be however Flat 55/2 has evidence of examined and It is recommended leakage at the bathroom pipework that the controls are repositioned as access to the controls may not always be available. The boilers in use are of fair condition for their age however the building has been modernised and the system is now supplying more equipment than when it was first installed. It is recommended that consideration be given to upgrading the system to a more

> efficient system; a further detailed survey would be required to

L'Expec Cond/Ind Priority Quantity В 15

70.000 Year 1

Repair Cost (£)

Replacement

Cost (£)

Photo 1



Photo 2

Position

Condition Cond/Ind Priority L'Expec Cost (£) **Description** Action Quantity There was Greenwood extractors The condition of these were fair Continue Maintenance В 15 1,500 in use within the toilets. Within with no defects noted. the kitchen a domestic cooker Year 1 extractor was installed. Repair Cost (£) **CODE: 13 Element:** Domestic Hot Water Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Hot water was provided by the The condition of this was fair Continue Maintenance В 15 15,000 boilers to a calorfier, the water with no defects noted. was pumped throughout the bld Year 1 by Grundfos pumps. Repair Cost (£)

Replacement

Element : Extraction System

CODE: 13

ELECTRICAL SERVICES

BUILDING: Block 05 **UPRN:** FLOOR: M&E

ROOM: M&E No: 003/5/M&E/ USE:

Element: Mains Distribution **CODE: 14**

Description Power distribution was via Dorman Smith Load Limiter DB's located in each residence. Wiring

was contained within the walls.

Condition

All were in a fair condition with no Continue Maintenance defects noted.

Action

L'Expec Cond/Ind Priority В

20

Quantity

Replacement Cost (£)

100,000

Year 1 Repair Cost (£)

Element: Light Fittings Internal

Description

In the main this was a mix of tungsten, CFL and 2D fittings. There was no sign of automatic controls. Within the stairwell T8 lighting was in use. These were controlled by time delay switches. **CODE: 14**

Condition

The condition of the system was Continue maintenance fair however it was noted that none of them operated and all stairwell lights were constantly lit. It is recommended that an

Action

be required.

It is recommended that the lighting controls are rectified. ongoing maintenance plan is introduced for the replacement of all tungsten lights with CFL lighting; this would help towards reducing the annual electricity costs. This survey did not look at system compliance, a further lighting compliance survey would

Cond/Ind Priority L'Expec В

20

Quantity

Replacement Cost (£)

50.000

Year 1

Repair Cost (£)

Photo 1



Photo 2 Position

Element: Light Fittings Internal CODE: 14

Description

This consisted of non-maintained self contained fittings.

Condition

The condition of the system was fair with no defects noted. Continue maintenance This survey did not loo

Action

Continue maintenance This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind Priority L'Expec Quantity

20 8,000 **Year 1**

Element: Light Fittings External

Description

This consisted of a number of SON bulkhead fittings located around the building, these are controlled by timers.

CODE:14

Condition

The condition of the lighting and its associated equipment was fair with no defects noted.

Action

Continue Maintenance
This survey did not look at
system compliance, a further in
depth compliance survey would
be required.

Cond/Ind Priority L'Expec B 20

L'Expec Quantity 20

Replacement Cost (£) 8,000

Replacement

Repair Cost (£)

Cost (£)

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) The condition of the system was 100 Each residence has been Continue Maintenance. В 20 supplied with battery operated fair however it was stated that It is recommended that the Gent stand alone smoke detectors. detectors may have been Year 1 detectors and sirens are checked There are Gent detectors and disconnected at the time of for operation. Repair Cost (£) Sirens installed within the refurbishment although it was This survey did not look at stated that the sirens still sound system compliance, a further in residences. depth compliance survey would when the main building alarm is be required. tested. **CODE**:14 **Element:** Security Systems Replacement Description Condition **Action** Cond/Ind Priority L'Expec Cost (£) Quantity There is a secure door entry 20 10,000 The condition of this was fair with Continue maintenance В installed. no defects noted. Year 1 Repair Cost (£)

Replacement

Element: Fire Alarms

CODE: 14

ROOFS

BUILDING: Block 06 UPRN: FLOOR: Roofs

ROOM: Roof 001 **No**: 003/6/R/001 **USE**:

Element : Covering CODE : 1

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Natural slate No action required В 45 15 1,845 Fair m2

> Year 1 Repair Cost (£)



Photo 2 Position

Element : Covering CODE : 1

DescriptionConditionActionNatural slateFair although verge patching unevenOverhaul and renew sections of roof

Fair although sections require reslating Replace re-bed st

Fair with several slipped slates

roof
Replace lose slates, re-point and re-bed skews,copes etc

Cond/IndPriorityL'ExpecQuantityB310102m2

Year 1 Repair Cost (£) 5,000

Replacement

Cost (£)

16,942

Element: Structure CODE:1 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) No action required 35 m2 1,230 Timber trusses Fair В 15 Year 1 Repair Cost (£) **Element:** Structure CODE:1 Replacement **Description** Cond/Ind Priority Condition Action L'Expec Quantity Cost (£) Timber joists and rafters No action required 35 Fair В 102 m2 8,366 Year 1 Repair Cost (£) **Element**: Flashings CODE:1 Replacement **Description** Condition Cond/Ind Priority L'Expec Quantity Cost (£) Action 25 Lead (inc. in roof) Fair No action required В 45 1,879 m Year 1 Repair Cost (£) **Element**: Flashings CODE:1 Replacement **Description** Condition **Action** Cond/Ind Priority L'Expec Quantity Cost (£) С Cement fillet at skews Repair defective skew flashing 3 5 18 1,353 Poor m Year 1 Repair Cost (£) 400

Element : Parapets CODE : 1

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Remove, re-point and re-bed cope C
Replace/In 4 m
600

Year 1
Repair Cost (£)

Element : Parapets CODE : 1

Replacement Condition **Description** Cond/Ind Priority Cost (£) **Action** L'Expec Quantity Lead on cope No action required В 35 7 1,052 Fair m

Year 1 Repair Cost (£)

Element : Rainwater goods CODE : 1

Replacement **Description** Condition Cond/Ind Priority L'Expec Quantity Cost (£) Action Cast iron/downpipes 20 85 Fair No action required В 5,810 m

Year 1 Repair Cost (£)

Element: Chimney stacks/flues **CODE**:1

Replacement Condition Action Cond/Ind Priority L'Expec **Description** Quantity Cost (£) Stone/brick chimneys 30 Fair No action required В 3 No. 7,341

otone/brick chimneys Fair No action required B 30 3 No. 7,341

Year 1
Repair Cost (£)

Element: Decoration **CODE**:1

DescriptionGloss paint to CI gutters and downpipes etc.

Condition Fair **Action**No action required

Cond/Ind Priority L'Expec
B 3

Quantity 85 m2 Cost (£) 697

Replacement

WALLS

BUILDING: Block 06 UPRN: FLOOR: Elevations

ROOM: Elevation 001 **No**: 003/6/E/001 **USE**:

Element : External walls CODE : 2

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Wet Dash Fair No Action Required В 20 117 6,398 m2

Year 1

Repair Cost (£)

Photo 1



Photo 2 Position

Element : External walls CODE : 2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Stone block Fair No Action Required 35 25 4,443 В m2

Element: Windows CODE:2 Replacement Condition Cond/Ind Priority Cost (£) **Description** Action L'Expec Quantity 22 No. Timber sash and case Fair but requires repainting В 15 m2 18,045 Refer to decoration 44 (2m2)Year 1 Repair Cost (£) **Element**: Decoration CODE:2 Replacement Condition **Description Action** Cond/Ind Priority L'Expec Cost (£) Quantity Masonary paint to walls Poor D 3 Replace/In 161 2,201 Redecorate m2 Gloss paint to timber windows Year 1 Repair Cost (£) CODE:2 Element: Cills Replacement **Description** Cond/Ind Priority L'Expec Cost (£) Condition **Action** Quantity No Action Required В 25 22 11,000 Concrete cills Fair m Year 1 Repair Cost (£)

BUILDING: Block 06 UPRN: FLOOR: Elevations

ROOM: Elevation 002 **No**: 003/6/E/002 **USE**:

Element : External walls CODE : 2

Replacement Condition Action Cost (£) **Description** Cond/Ind Priority L'Expec Quantity Wet Dash Fair No Action Required В 20 117 m2 6,398

> Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element: Windows CODE: 2

Description3 No. Timber sash and case (2m2)

1 No. Timber sash and case

(1m2)

Condition

Fair but requires repainting 2 No cills require replacement

Action

Refer to decoration 2 Replace 2 No. cills

Note: Provisional sum included

Cond/Ind Priority L'Expec Quantity

B 3 15 7 m2

Replacement Cost (£) 2,870

Element: Wall fixture & fittings CODE:2 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) Metal grille No Action Required 68 Fair В 10 No Year 1 Repair Cost (£) **Element**: Decoration CODE:2 Replacement Cond/Ind Priority L'Expec **Description** Condition Action Quantity Cost (£) С Replace/In 7 95 Re-decoration Poor Redecorate 3 m2 Paint windows Year 1 Repair Cost (£) CODE:2 **Element**: Decoration Replacement Cond/Ind Priority Cost (£) **Description** Condition Action L'Expec Quantity Re-decoration Fair No Action Required В 3 97 1,326 m2 Masonary paint to walls Year 1 Repair Cost (£) **Element:** Cills CODE:2 Replacement Condition Cond/Ind Priority **Description** L'Expec Quantity Cost (£) **Action** Concrete cills Fair No Action Required В 25 5 2,500 m Year 1 Repair Cost (£)

BUILDING: Block 06 **UPRN: FLOOR**: Elevations

ROOM: Elevation 003 No: 003/6/E/003 USE:

Element: External walls CODE:2

Replacement Condition **Description Action** Cond/Ind Priority L'Expec Quantity Cost (£) Stone wall, painted No Action Required В 35 33 m2 5,864 Fair

> Year 1 Repair Cost (£)

Position Photo 2



Element: Windows CODE:2

Description Condition

6 No. Timber sash and case

(2m2)

Action Fair but requires repainting Refer to decoration

Cond/Ind Priority В

L'Expec 15 12

Quantity m2

4,921

Cost (£)

Year 1

Repair Cost (£)

Replacement

Element: Decoration CODE:2

Description Re-decoration Masonary paint to walls Condition Poor

Action Redecorate Cond/Ind Priority С 3

L'Expec Replace/In 45

Quantity m2 Replacement Cost (£)

Year 1

615

Repair Cost (£)

Gloss paint to timber windows

Element : Cills CODE : 2

Replacement

Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

No Action Required
B
25
12
m
6,000

BUILDING: Block 06 **UPRN: FLOOR**: Elevations

ROOM: Elevation 004 No: 003/6/E/004 USE:

Element: External walls CODE:2

Replacement Condition **Description Action** Cond/Ind Priority L'Expec Quantity Cost (£) Stone wall, painted No Action Required В 35 Fair 50 m2 8,886

> Year 1 Repair Cost (£)

Photo 1

m2)



Photo 2 **Position**

Element: Windows CODE:2

Condition **Description** 3 No. Timber sash and case (2

Fair but requires repainting

Action Refer to decoration Cond/Ind Priority L'Expec Quantity В 15 6

Cost (£) 2,460

Replacement

Year 1

Repair Cost (£)

Element: Decoration CODE:2

Condition Description Cond/Ind Priority L'Expec **Action** Re-decoration Poor Redecorate С 3 Masonary paint to walls

806 Replace/In 59 m2

Quantity

m2

Year 1 Repair Cost (£)

Replacement

Cost (£)

Gloss paint to timber windows

Element : Cills CODE : 2

Replacement

Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

No Action Required
B
25
6
m
3,000

ROOM: Elevation 005 **No**: 003/6/E/005 **USE**:

Element : External walls CODE : 2

Replacement Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Stone wall, painted Fair No Action Required В 35 21 m2 3,732

> Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element : Decoration **CODE :** 2

DescriptionRe-decoration
Masonary paint to walls

Condition Poor Action Redecorate Cond/Ind Priority L'Expec
C 4 Replace/I

L'ExpecQuantityCost (£)Replace/In21m2287

Year 1 Repair Cost (£)

Replacement

ROOM: Elevation 006 **No**: 003/6/E/006 **USE**:

Element : External walls CODE : 2

Replacement Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Stone wall, painted Fair No Action Required В 35 44 m2 7,819

> Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element : Decoration **CODE :** 2

DescriptionRe-decoration
Masonary paint to walls

Condition Poor Action Redecorate Cond/Ind Priority L'Expec
C 4 Replace/In

L'ExpecQuantityCost (£)Replace/In44m2601

Year 1 Repair Cost (£)

Replacement

ROOM: Elevation 007 **No**: 003/6/E/007 **USE**:

Element : External walls CODE : 2

Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) Wet Dash Fair No Action Required В 20 33 m2 1,804

> Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element: Windows CODE: 2

3 No. Timber sash and case

(2m2)

Description

Condition

Fair but requires repainting

Action

Refer to decoration

Cond/Ind Priority L'Expec

В

15 6

Quantity 6 m2

Cost (£) 2,460

Replacement

Year 1

Repair Cost (£)

Element : Doors CODE : 2

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber glazed Fair No Action Required B 10 1 No. 984

Element: External joinery CODE:2 Replacement Condition Action Cond/Ind Priority **Description** L'Expec Quantity Cost (£) Timber louvre No Action Required В 15 m2 54 Fair Year 1 Repair Cost (£) **Element**: Decoration CODE:2 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Re-decoration Fair No Action Required В 3 42 574 m2 Masonary paint to walls Gloss paint to timber windows Year 1 and door Repair Cost (£) CODE:2 **Element:** Cills Replacement **Description** Cond/Ind Priority L'Expec Cost (£) Condition **Action** Quantity Fair No Action Required В 25 3 1,500

m

Year 1

Repair Cost (£)

Concrete cills

ROOM: Elevation 008 **No**: 003/6/E/008 **USE**:

Element : External walls CODE : 2

Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) Wet Dash Fair No Action Required В 20 24 m2 1,312

> Year 1 Repair Cost (£)

Photo 1

(2m2)



Photo 2 Position

Element : External walls CODE : 2

Replacement **Description** Condition Cond/Ind Priority L'Expec Action Quantity Cost (£) 35 Stone wall, painted Fair No Action Required В 45 m2 7,997

> Year 1 Repair Cost (£)

Element: Windows CODE: 2

Replacement Condition **Description** Cond/Ind Priority L'Expec **Action** Quantity Cost (£) 4 No. Timber sash and case 15 Fair No Action Required В 8 3,281 m2

Element: Doors CODE:2 Replacement Condition Cond/Ind Priority Cost (£) **Description** Action L'Expec Quantity Timber flush doors No Action Required В 10 2 No. 1,968 Fair Year 1 Repair Cost (£) **Element**: Decoration CODE:2 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Re-decoration Fair No Action Required В 3 57 m2 779 Masonary paint to walls Gloss paint to timber windows Year 1 and doors Repair Cost (£) CODE:2 **Element:** Cills Replacement **Description** Cond/Ind Priority L'Expec Cost (£) Condition **Action** Quantity Fair No Action Required В 25 9 4,500 Concrete cills and lintols m Year 1

Repair Cost (£)

ROOM: Elevation 009 **No**: 003/6/E/009 **USE**:

Element : External walls CODE : 2

Replacement Condition **Description Action** Cond/Ind Priority L'Expec Quantity Cost (£) Stone wall, painted No Action Required В 35 Fair 14 m2 2,488

Year 1
Renair Cost (

Repair Cost (£)

Photo 1



Photo 2 Position

Element: Windows CODE: 2

Description3 No. Timber sash and case

single glazed (2m2)

Condition

Fair but requires repainting

Action

Refer to decoration

Cond/Ind Priority

В

ity L'Expec

Quantity 6 m2

Replacement Cost (£) 2,460

Year 1

Repair Cost (£)

Element : Decoration CODE : 2

DescriptionRe-decoration
Masonary paint to walls

Condition Poor

Action Redecorate Cond/Ind Priority
C 3

L'Expec Qu Replace/In 20

Quantity In 20

m2

Replacement Cost (£) 273

Year 1

Repair Cost (£)



STRUCTURE

BUILDING: Block 06 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Main Office **No**: 003/6/0/001 **USE**:

Element : Stairs CODE : 4

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete stair Fair No action required B 32 2 m2 683

Year 1

Repair Cost (£)

BUILDING: Block 06 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Stairwell and entrance No: 003/6/0/009 USE:

Element : Stairs CODE : 4

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete stair Fair No action required B 40 24 m2 8,202

BUILDING: Block 06	UPRN:		FLOOR: Structure					
ROOM: Structure	No : 003/6	/St/St	USE:					
Element : Floors	CODE:4					Replacement		
Description	Condition	Action	Cond/Ind Prior	ity L'Expec	Quantity	Cost (£)		
Timber floors	Fair	No action required	В	35	m2			
						Year 1 Repair Cost (£		
Element : Stairs	CODE:4					Replacement		
Description	Condition	Action	Cond/Ind Prior	ity L'Expec	Quantity	Cost (£)		
Stone stair	Fair	No action required	В	35	m2			
						Year 1 Repair Cost (£)		
Element : Walls	CODE:4					Replacement		
Description	Condition	Action	Cond/Ind Prior	ity L'Expec	Quantity	Cost (£)		
Stone walls	Fair	No action required	В	35	m2			
						Year 1 Repair Cost (£)		

ROOMS

BUILDING: Block 06 **UPRN:** FLOOR: Level 3 - Canongate Street level Ground

ROOM: Main Office No: 003/6/0/001 USE:

Element: Ceilings CODE:5

Description Condition **Action** Cond/Ind Priority L'Expec Cost (£) Quantity Suspended grid system with Fair, although there are damaged Replace damaged ceiling tiles В 4 15 29 m2 991

Replacement

Repair Cost (£)

Repair Cost (£)

Repair Cost (£)

Year 1

50

fibreboard tiles tiles in isolated areas

Element: Walls CODE:5

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

No Action Required В 20 Plaster on hard to walls Fair 21 m2 717

Year 1

Element: Walls CODE:5

Replacement **Description** Condition Cond/Ind Priority L'Expec Quantity Cost (£) Action Plasterboard walls

No Action Required Fair В 20 9 m2 307 Year 1 Element : Floors CODE : 5

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 5 29 m2 1,189

> Year 1 Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFair, although slightly marked in No Action RequiredNo Action RequiredB158m2475

Re-decoration Fair, although slightly marked in No Action Required B 1 58 m2 475 Decorative paper to walls; areas

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 06	UPRN:	FLOOR : I	FLOOR: Level 3 - Canongate Street level Ground				
ROOM: Office 1	No : 003/6/0/00	02 USE :	USE :				
Element : Ceilings	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Suspended grid system with fibreboard tiles	Fair, although one damaged tile	Replace damaged ceiling tile	B 4	15	12 m2	410	
Tibrosodia tilos						Year 1 Repair Cost (£ 40	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plaster on hard to walls	Fair	No Action Required	В	20	22 m2	751	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plasterboard walls	Fair	No Action Required	В	20	10 m2	341	
						Year 1 Repair Cost (£	
Element : Floors	CODE:5					Replacement	
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 12 m2	Cost (£) 492	
						Year 1 Repair Cost (£	

Element : Decoration **CODE :** 5

gloss/varnish to timber finishes

Replacement Condition Cond/Ind Priority L'Expec Description Action Quantity Cost (£) Re-decoration Fair, although slightly marked in No Action Required В 34 m2 278 Decorative paper to walls; areas

BUILDING: Block 06 ROOM: Office 2	UPRN : No : 003/6/		LOOR : Level 3 - Cand USE :	ongate Str	eet level Gr	ound		
Element : Ceilings	CODE:5							Replacement
Description	Condition Fair	Action	Cond/Ind	Priority 4	L'Expec	Quantit	-	Cost (£)
Suspended grid system with fibreboard tiles	Fair	No Action Required	В	4	15	15	m2	512
								Year 1 Repair Cost (£
Element : Walls	CODE : 5							Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantit	:y	Cost (£)
Plaster on hard to walls	Fair	No Action Required	В		20	8	m2	273
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantit	:y	Cost (£)
Plasterboard walls	Fair	No Action Required	В		20	27	m2	922
								Year 1 Repair Cost (£
Element : Floors	CODE:5							Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind B	Priority	L'Expec 5	Quantit 15	: y m2	Cost (£) 615
								Year 1 Repair Cost (£

Element : Decoration **CODE :** 5

gloss/varnish to timber finishes

Replacement Condition Cond/Ind Priority L'Expec Description Action Quantity Cost (£) Re-decoration Fair, although slightly marked in No Action Required В 35 m2 287 Decorative paper to walls; areas

BUILDING: Block 06 ROOM: Ladies Toilet	UPRN : No : 003/6/0/00		FLOOR: Level 3 - Canongate Street level Ground USE:					
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 30	Quantity 8	/ m2	Replacement Cost (£) 273
								Year 1 Repair Cost (
Element : Walls	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity		Cost (£)
Plaster on hard to walls	Fair, although slightly marked in areas	No Action Required		В	20	12	m2	410
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 10	/ m2	Cost (£) 341
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description Lining board to walls	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 4	/ m2	Cost (£) 164
								Year 1 Repair Cost (£

Element: Doors CODE:5

Element: Decoration

Condition Cond/Ind Priority Cost (£) **Description** Action L'Expec Quantity

Softwood timber flush No Action Required В 20 No 656 Fair

Repair Cost (£)

Replacement

Replacement

Replacement

Year 1

Element: Floors CODE:5

CODE:5

Description Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity

Vinyl sheet finish (non-slip) No Action Required В 328 Fair 5 8 m2

Year 1 Repair Cost (£)

Condition Action Cond/Ind Priority Description L'Expec Quantity Cost (£) Poor Redecorate С 4 m2 147

Replace/In 30 Re-decoration

Emulsion to ceiling and walls;

gloss/varnish to timber finishes Year 1 Repair Cost (£)

		FLOOR: Level 3 - Canongate Street level Ground				
No : 003.	/6/0/005	USE:				
CODE :5					Replacement	
Condition Fair	Action No Action Required	B	30	Quantity 4 m2	Cost (£) 136	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Fair	No Action Required	В	32	25 m2	854	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Fair	No Action Required	В	32	2 m2	68	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492	
					Year 1 Repair Cost (£	
	CODE :5 Condition Fair CODE :5 Condition Fair CODE :5 Condition Fair CODE :5 Condition	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE :5 Condition Action No Action Required B B 30 CODE :5 Condition Action Cond/Ind Priority L'Expec Fair No Action Required B 32 CODE :5 Condition Action Cond/Ind Priority L'Expec 32 CODE :5 Condition Action Cond/Ind Priority L'Expec 32 CODE :5 Condition Action Required B 32	CODE :5 Condition Fair Action No Action Required B Cond/Ind Priority B CODE :5 Condition Fair Action No Action Required B Cond/Ind Priority B CODE :5 Condition Action No Action Required B Cond/Ind Priority B CODE :5 Condition Action No Action Required B Cond/Ind Priority B Cond/Ind Priority L'Expec Quantity Expec Condition Action Required B Cond/Ind Priority B CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity	

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 4 m2 164

Replacement

Repair Cost (£)

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 33 m2 270

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

BUILDING: Block 06 ROOM: Gents Toilet	UPRN : No : 003/6/0/00		FLOOR: Level 3 - Canongate Street level Ground USE:				
Element : Ceilings Description	CODE:5 Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required		В	30	6 m	• •
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster on hard to walls	Fair, although slightly marked in areas	No Action Required		В	20	7 m	2 239
	areas						Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required		В	20	1 m	2 34
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Lining board to walls	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 20	Quantity 6 m	Cost (£)
							Year 1 Repair Cost (£

Element : Doors CODE : 5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Softwood timber flushFairNo Action RequiredB201No656

Year 1
Repair Cost (£)

Replacement

Replacement

Year 1

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 8 m2 328

Repair Cost (£)

Element : Decoration CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Description Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Poor Redecorate C 4 Replace/In 18 m2 147

Emulsion to ceiling and walls:

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 06	UPRN: F		FLOOR: Level 3 - Canongate Street level Ground				
ROOM: Store	No : 003/	6/0/007	USE:				
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plasterboard walls	Fair	No Action Required	В	32	3 m2	102	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Stone walls	Fair	No Action Required	В	50	4 m2	328	
						Year 1 Repair Cost (£	
Element : Doors	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Softwood timber flush	Fair	No Action Required	В	10	1 No	492	
						Year 1 Repair Cost (£	
Element : Floors	CODE:5					Replacement	
Description Unpainted Concrete	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 40	Quantity 1 m2	Cost (£)	
						Year 1 Repair Cost (£	

BUILDING: Block 06	UPRN:		FLOOR: Level 3 - Canongate Street level Ground				
ROOM: Store	No : 003/6	5/0/008	USE:				
Element : Walls Description Brick / stone walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 50	Quantity 10 m2	Replacement Cost (£) 820	
Enerty eterio mano	. G.	Tio / totion / toquilloa	_			Year 1 Repair Cost (£	
Element : Doors	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367	
						Year 1 Repair Cost (£	
Element : Floors	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Unpainted concrete/slabs	Fair	No Action Required	В	40	3 m2	205	
						Year 1 Repair Cost (£	

BUILDING: Block 06 **UPRN:** FLOOR: Level 3 - Canongate Street level Ground **ROOM**: Stairwell and entrance No: 003/6/0/009 USE: **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Plasterboard ceiling Fair, with hairline cracking in No Action Required В 30 14 478 m2 isolated areas Year 1 Repair Cost (£) **Element : Ceilings** CODE:5 Replacement **Description** Cond/Ind Priority L'Expec Cost (£) Condition Action Quantity 15 512 Plaster ceiling Fair No Action Required В 20 m2 Year 1 Repair Cost (£) CODE:5 Element: Walls Replacement Condition **Action** Cond/Ind Priority L'Expec Cost (£) Description Quantity В 10,663 Plaster on hard to walls 30 312 Fair No Action Required m2 Year 1 Repair Cost (£) CODE:5 **Element:** Doors Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) **Action** Quantity No Action Required 20 1,367 1 hour fire door set Fair В No Year 1 Repair Cost (£)

Element: Floors CODE:5 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) Composite - Linatol Fair No Action Required В 12 30 m2 3,281 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Vinyl sheet finish (non-slip) No Action Required В 10 410 Fair 5 m2 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Fair Re-decoration No Action Required В 2 357 m2 2,928 Emulsion to ceiling and walls;

Year 1

Repair Cost (£)

gloss/varnish to timber finishes

BUILDING: Block 06 ROOM: Store	UPRN : No : 003/6		FLOOR: Level 3 - Canongat USE:	e Street level G	round	
Element : Walls Description Brick / stone walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Prio B	ity L'Expec 32	Quantity 4 m2	Replacement Cost (£) 328
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Prior	ity L'Expec	Quantity	Cost (£)
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Unpainted Concrete	Condition Fair	Action No Action Required	Cond/Ind Prio B	tity L'Expec	Quantity 1 m2	Cost (£) 68
						Year 1 Repair Cost (£

BUILDING: Block 06 ROOM: Boiler room	UPRN : No : 003/6/0/011		OOR : Level 3 - Canongate St USE :	reet level Gr	ound	
Element : Ceilings	CODE : 5	Action	Canadilla d Baisarita	I I E	Overtite	Replacement
Description Compressed board ceiling	Fair	No Action Required	Cond/Ind Priority B	L'Expec 10	Quantity 6 m2	Cost (£) 328
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Brick walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 50	Quantity 25 m2	Cost (£) 2,050
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
1 hour fire door set	Fair	No Action Required	В	20	1 No	1,367
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Unpainted concrete	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 40	Quantity 6 m2	Cost (£) 410
						Year 1 Repair Cost (£

		FLOOR: Level 3 - Canongate Street level Ground				
No : 003/	/6/0/012	USE:				
CODE :5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 30	Quantity 5 m2	Cost (£) 170	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Fair	No Action Required	В	35	5 m2	170	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Fair	No Action Required	В	30	7 m2	239	
					Year 1 Repair Cost (£	
CODE:5					Replacement	
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 1 No	Cost (£) 492	
					Year 1 Repair Cost (£	
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required Action No Action Required	CODE :5 Condition Action Required B CODE :5 Condition Action Cond/Ind Priority B	CODE :5 Condition Action No Action Required B L'Expec Fair No Action Required B Cond/Ind Priority L'Expec Condition Action Required B Cond/Ind Priority L'Expec Fair No Action Required B Zience 35 Condition Action Required B Zience 30 CODE :5 Condition Action Required B Zience 30 CODE :5 Condition Action Required B Zience 30 CODE :5 Condition Action Required Cond/Ind Priority L'Expec CODE :5 Condition Action Cond/Ind Priority L'Expec	CODE :5 Condition Fair Action No Action Required Cond/Ind Priority B CODE :5 Condition Fair Action No Action Required Cond/Ind Priority B CODE :5 Condition Fair Action No Action Required B CODE :5 Condition Fair Action No Action Required B Cond/Ind Priority E'Expec Quantity 5 m2 CODE :5 Condition Fair Action No Action Required B Cond/Ind Priority L'Expec Quantity 7 m2 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity 7 m2	

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 5 4 m2 164

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 19 m2 155

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

BUILDING: Block 06	UPRN:	Ī	FLOOR: Level 3 - Canongate S	Street level G	round	
ROOM: Plant room	No : 003/6	5/0/013	USE:			
Element : Ceilings	CODE:5					Donloomont
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster ceiling	Fair	No Action Required	В	20	3 m2	102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Brick walls and plaster	Fair	No Action Required	В	35	16 m2	1,312
						Year 1 Repair Cost (£)
Element : Floors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Unpainted concrete	Fair	No Action Required	В	40	3 m2	410
						Year 1 Repair Cost (£)

BUILDING: Block 06	UPRN:		FLOOR: Level 3 - Canongate Street level Ground			
ROOM: Circulation Area	No : 003	3/6/0/014	USE:			
Element : Ceilings	CODE:5	Antinu	Conditod Brigarita	LIEuro	O	Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Cost (£) 307
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	3 m2	102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster on hard to walls	Fair	No Action Required	В	30	27 m2	2,214
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 2 No	Cost (£) 2,734
						Year 1 Repair Cost (£

Element: Floors CODE:5 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) Composite - Linatol No Action Required В 12 12 m2 1,312 Fair To stairs and landings Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement Condition **Description** Cond/Ind Priority Cost (£) **Action** L'Expec Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 5 2 82 m2 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No Action Required 2 61 500 В m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1 Repair Cost (£)

BUILDING: Block 06	UPRN:		FLOOR: Level 4 - First floor level Flat 2				
ROOM: Circulation Area 1	No : 003/6/1/0	001	USE:				
Element : Ceilings	CODE:5						Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard ceiling	Fair	No Action Required		В	32	3 m2	102
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required		В	32	10 m2	341
							Year 1 Repair Cost (£
Element : Floors	CODE:5						Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Carpet floor finish	Fair	No Action Required		В	7	3 m2	123
							Year 1 Repair Cost (£
Element : Decoration	CODE:5						Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Re-decoration	Fair	No Action Required		В	2	17 m2	139
Emulsion to ceiling and walls; gloss/varnish to timber finishes							Year 1 Repair Cost (£

BUILDING: Block 06 **UPRN:** FLOOR: Level 4 - First floor level Flat 2 ROOM: Circulation Area 2 USE: No: 003/6/1/002 **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Plasterboard ceiling No Action Required В 32 3 Fair 102 m2 Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required 32 Plasterboard walls Fair В 10 m2 341 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish No Action Required Fair В 7 3 m2 123 Year 1 Repair Cost (£) CODE:5 **Element:** Decoration Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) Fair No Action Required В 2 17 139 Re-decoration m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1 Repair Cost (£)

BUILDING: Block 06	UPRN:		FLOOR: Level 4 - First floor level Flat 2			
ROOM: Living Room	No : 003/	6/1/003	USE:			
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 20 r	Replacement Cost (£) n2 683
Plasterboard ceiling	raii	No Action Required	Б	32	20 1	Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster on hard to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 31	Quantity 28 r	Cost (£) n2 956
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 31	Quantity 30 r	Cost (£) n2 1,025
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1	Cost (£) No 492
						Year 1 Repair Cost (£

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 20 m2 820

> Year 1 Repair Cost (£)

Element : Decoration **CODE :** 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No Action Required В 2 78 m2 639

Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1

BUILDING : Block 06 ROOM : Bedroom	UPRN : No : 003/6		LOOR: Level 4 - First floor leve	el Flat 2		
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 10 m2	Replacement Cost (£) 341
Tractorocard coming	. a	, to , tollon , toquilou	_	92		Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster on hard to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 31	Quantity 25 m2	Cost (£) 854
						Year 1 Repair Cost (£)
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 8 m2	Cost (£) 273
						Year 1 Repair Cost (£)
Element : Doors	CODE:5					Danlasamant
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Replacement Cost (£) 492
						Year 1 Repair Cost (£)

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 10 m2 410

Year 1 Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB243m2352

Re-decoration Fair No Action Required B 2 43 m2 352 Emulsion to ceiling and walls;

BUILDING: Block 06 ROOM: Bathroom	UPRN : No : 003/6		FLOOR: Level 4 - First floor level Flat 2 USE:			
Element : Ceilings Description	CODE:5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	32	5 m2	170 Year 1 Repair Cost (£)
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 10 m2	Cost (£) 341
						Year 1 Repair Cost (£)
Element : Walls	CODE:5					Replacement
Description Lath & plaster to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 4 m2	Cost (£) 218
						Year 1 Repair Cost (£)
Element : Walls	CODE:5					Danlacement
Description Lining board to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 37	Quantity 4 m2	Replacement Cost (£) 328
						Year 1 Repair Cost (£

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority Cost (£) **Description** Action L'Expec Quantity Softwood timber flush No Action Required В 22 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority Cost (£) Action L'Expec Quantity Vinyl sheet finish (non-slip) No Action Required В 246 Fair 7 6 m2 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Fair 21 Re-decoration No Action Required В 2 m2 172 Emulsion to ceiling and walls;

Year 1

Repair Cost (£)

gloss/varnish to timber finishes

BUILDING: Block 06 ROOM: Kitchen	UPRN : No : 003/6		OOR: Level 4 - First floor leve	el Flat 2		
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Cost (£) 307
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action	Cond/Ind Priority B	L'Expec 32	Quantity 23 m2	Cost (£) 786
	гаш	No Action Required	Б	32	25 1112	Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Lining board to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Donlacoment
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Replacement Cost (£) 492
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Replacement

Year 1

Vinyl sheet finish Fair No Action Required B 7 9 m2 369

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 32 m2 262 Emulsion to ceiling and walls;

BUILDING: Block 06	UPRN:	FL	OOR: Level 4 - First floor leve	el Flat 1		
ROOM: Circulation Area 1	No : 003/6	/1/007	USE:			
Element : Ceilings	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	32	3 m2	102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	10 m2	341
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	•	Quantity	Cost (£)
Carpet floor finish	Fair	No Action Required	В	7	3 m2	123
						Year 1 Repair Cost (£
Element : Decoration	CODE:5					Ponlocoment
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration	Fair	No Action Required	В	2	17 m2	139
Emulsion to ceiling and walls; gloss/varnish to timber finishes						Year 1 Repair Cost (£

BUILDING: Block 06 **UPRN:** FLOOR: Level 4 - First floor level Flat 1 ROOM: Circulation Area 2 USE: No: 003/6/1/008 **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Plasterboard ceiling No Action Required В 32 3 Fair 102 m2 Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required 32 Plasterboard walls Fair В 10 m2 341 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish No Action Required Fair В 7 3 m2 123 Year 1 Repair Cost (£) CODE:5 **Element:** Decoration Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) Fair No Action Required В 2 17 139 Re-decoration m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1 Repair Cost (£)

BUILDING: Block 06	UPRN:		FLOOR: Level 4 - First floor level Flat 1			
ROOM: Living Room	No : 003	/6/1/009	USE:			
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	-	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	32	20 m2	683
						Year 1 Repair Cost (£)
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	-	Quantity	Cost (£)
Plaster on hard to walls	Fair	No Action Required	В	31	28 m2	956
						Year 1 Repair Cost (£)
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	31	30 m2	1,025
						Year 1 Repair Cost (£)
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£)

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 20 m2 820

> Year 1 Repair Cost (£)

Element : Decoration **CODE :** 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No Action Required В 2 78 m2 639

Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1

BUILDING: Block 06 ROOM: Kitchen	UPRN : No : 003/6/1/010		OOR: Level 4 - First floor leve	el Flat 1		
Element : Ceilings	CODE :5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Cost (£) 307
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action	Cond/Ind Priority	L'Expec 32	Quantity	Cost (£) 786
Plasterboard walls	ган	No Action Required	В	32	23 m2	Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Lining board to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Danlasamant
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Replacement Cost (£) 492
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB79m2369

Year 1

Repair Cost (£)

Replacement

Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 32 m2 262 Emulsion to ceiling and walls;

BUILDING: Block 06 ROOM: Bathroom	UPRN : No : 003/6		FLOOR: Level 4 - First floor level Flat 1 USE:			
Element : Ceilings Description Plasterboard ceiling	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 8 m2	Replacement Cost (£) 273
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	10 m2	341 Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Lath & plaster to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 4 m2	Cost (£) 218
						Year 1 Repair Cost (£)
Element : Walls	CODE:5					Danlasamant
Description Lining board to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 37	Quantity 8 m2	Replacement Cost (£) 328
						Year 1 Repair Cost (£)

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority Cost (£) **Description** Action L'Expec Quantity Softwood timber flush No Action Required В 22 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority Cost (£) Action L'Expec Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 246 7 6 m2 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Fair 24 196 Re-decoration No Action Required В 2 m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1

BUILDING : Block 06 ROOM : Bedroom	UPRN : No : 003/6		FLOOR: Level 4 - First floor level Flat 1 USE:			
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec	Quantity 10 m2	Replacement Cost (£) 341
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster on hard to walls	Fair	No Action Required	В	31	25 m2	854 Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 8 m2	Cost (£) 273
						Year 1 Repair Cost (£
Element : Doors	CODE:5					
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Replacement Cost (£) 492
						Year 1 Repair Cost (£

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 10 m2 410

Year 1 Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB243m2352

Re-decoration Fair No Action Required B 2 43 m2 352 Emulsion to ceiling and walls;

BUILDING: Block 06 **UPRN:** FLOOR: Level 5 - Second floor level Flat 4 ROOM: Circulation Area 1 USE: No: 003/6/2/001 **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Plasterboard ceiling No Action Required В 32 3 Fair m2 102 Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required 32 Plasterboard walls Fair В 10 m2 341 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish No Action Required Fair В 7 3 m2 123 Year 1 Repair Cost (£) CODE:5 **Element:** Decoration Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) Fair No Action Required В 2 17 139 Re-decoration m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1 Repair Cost (£) **BUILDING:** Block 06 **UPRN:** FLOOR: Level 5 - Second floor level Flat 4 ROOM: Circulation Area 2 USE: No: 003/6/2/002 **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Plasterboard ceiling No Action Required В 32 3 Fair m2 102 Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required 32 Plasterboard walls Fair В 10 m2 341 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish No Action Required Fair В 7 3 m2 123 Year 1 Repair Cost (£) CODE:5 **Element:** Decoration Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) Fair No Action Required В 2 17 139 Re-decoration m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1 Repair Cost (£)

BUILDING: Block 06	UPRN:		FLOOR: Level 5 - Second floor level Flat 4				
ROOM: Living Room	No : 003/	6/2/003	USE:				
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	•	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	32	20	m2	683 Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plaster on hard to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 31	Quantity 28	y m2	Cost (£) 956
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 31	Quantity 30	/ m2	Cost (£) 1,025
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1	/ No	Cost (£) 492
							Year 1 Repair Cost (£

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 20 m2 820

> Year 1 Repair Cost (£)

Element : Decoration **CODE :** 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No Action Required В 2 78 m2 639

Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1

BUILDING : Block 06 ROOM : Bedroom	UPRN : No : 003/6.		OOR: Level 5 - Second floor I USE:	evel Flat 4		
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 10 m2	Replacement Cost (£) 341
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster on hard to walls	Fair	No Action Required	В	31	25 m2	854 Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 8 m2	Cost (£) 273
						Year 1 Repair Cost (£)
Element : Doors	CODE:5					Dankaanant
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Replacement Cost (£) 492
						Year 1 Repair Cost (£)

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 10 m2 410

Year 1 Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB243m2352

Re-decoration Fair No Action Required B 2 43 m2 352 Emulsion to ceiling and walls;

BUILDING: Block 06 ROOM: Bathroom	UPRN : No : 003/6/		FLOOR: Level 5 - Second floor level Flat 4 USE:			
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 8 m2	Replacement Cost (£) 273 Year 1 Repair Cost (£
Element : Walls Description Plasterboard walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 10 m2	Replacement Cost (£) 341 Year 1 Repair Cost (£)
Element : Walls Description Lath & plaster to walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 4 m2	Replacement Cost (£) 218 Year 1 Repair Cost (£)
Element : Walls Description Lining board to walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 37	Quantity 8 m2	Replacement Cost (£) 328 Year 1 Repair Cost (£)

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority Cost (£) **Description** Action L'Expec Quantity Softwood timber flush No Action Required В 22 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority Cost (£) Action L'Expec Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 246 7 6 m2 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Fair 24 196 Re-decoration No Action Required В 2 m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1

BUILDING: Block 06 ROOM: Kitchen	UPRN : No : 003/6/2/006		*LOOR : Level 5 - Second floo USE :			
Element : Ceilings	CODE:5					
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec	Quantity 9 m2	Replacement Cost (£) 307
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priorit	y L'Expec 32	Quantity 23 m2	Cost (£) 786
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Lining board to walls	Condition Fair	Action No Action Required	Cond/Ind Priorit	y L'Expec 12	Quantity 2 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priorit	y L'Expec 22	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB79m2369

Year 1

Repair Cost (£)

Replacement

Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 32 m2 262 Emulsion to ceiling and walls;

BUILDING: Block 06 **UPRN:** FLOOR: Level 5 - Second floor level Flat 3 ROOM: Circulation Area 1 USE: No: 003/6/2/007 **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Plasterboard ceiling No Action Required В 32 3 Fair m2 102 Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required 32 Plasterboard walls Fair В 10 m2 341 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish No Action Required Fair В 7 3 m2 123 Year 1 Repair Cost (£) CODE:5 **Element:** Decoration Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) Fair No Action Required В 2 17 139 Re-decoration m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1 Repair Cost (£) **BUILDING:** Block 06 **UPRN:** FLOOR: Level 5 - Second floor level Flat 3 ROOM: Circulation Area 2 USE: No: 003/6/2/008 **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Plasterboard ceiling No Action Required В 32 3 Fair m2 102 Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required 32 Plasterboard walls Fair В 10 m2 341 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish No Action Required Fair В 7 3 m2 123 Year 1 Repair Cost (£) CODE:5 **Element:** Decoration Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) Fair No Action Required В 2 17 139 Re-decoration m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1 Repair Cost (£)

BUILDING: Block 06	UPRN:		FLOOR: Level 5 - Second floor level Flat 3			
ROOM: Living Room	No : 003/	6/2/009	USE :			
Element : Ceilings Description	CODE:5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	32	20 m	• •
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster on hard to walls	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
	Fair	No Action Required	В	31	28 m	2 956
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	31	30 m	2 1,025
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Softwood timber flush	Fair	No Action Required	В	22	1 N	o 492
						Year 1 Repair Cost (£

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 20 m2 820

> Year 1 Repair Cost (£)

Element : Decoration **CODE :** 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No Action Required В 2 78 m2 639

Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1

BUILDING: Block 06 ROOM: Kitchen	UPRN : No : 003/6/2/010		FLOOR: Level 5 - Second floor level Flat 3 USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Cost (£) 307
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 23 m2	Cost (£) 786
	Fall	No Action Required	В	32	25 1112	Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Lining board to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Donlacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Replacement Cost (£) 492
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB79m2369

Year 1

Repair Cost (£)

Replacement

Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 32 m2 262 Emulsion to ceiling and walls;

No : 003	/6/2/011	USE:				
						Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 8	y m2	Cost (£) 273
						Year 1 Repair Cost (£
CODE:5						Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantit y	y m2	Cost (£) 341
						Year 1 Repair Cost (£
CODE:5						Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 4	y m2	Cost (£) 218
						Year 1 Repair Cost (£
CODE:5						Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 37	Quantity 8	y m2	Cost (£) 328
						Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition	CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Fair No Action Required CODE:5 Condition Action Action No Action Required	Fair No Action Required B CODE:5 Condition Action Cond/Ind Priority Fair No Action Required B CODE:5 Condition Action Cond/Ind Priority Fair No Action Required B CODE:5 Condition Action Cond/Ind Priority Fair Action Cond/Ind Priority	Fair No Action Required B 32 CODE:5 Condition Action Cond/Ind Priority L'Expec Fair No Action Required B 32 CODE:5 Condition Action Cond/Ind Priority L'Expec Fair No Action Required B 5 CODE:5 Condition Action Required B 5	Fair No Action Required B 32 8 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 32 10 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 5 4 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 5 4	CODE:5 Condition Action Required B 32 8 m2 CODE:5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 32 10 m2 CODE:5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 5 4 m2 CODE:5 Condition Action Cond/Ind Priority L'Expec Quantity 5 4 m2

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority Cost (£) **Description** Action L'Expec Quantity Softwood timber flush No Action Required В 22 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority Cost (£) Action L'Expec Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 246 7 6 m2 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Fair 24 196 Re-decoration No Action Required В 2 m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1

Repair Cost (£)

BUILDING : Block 06 ROOM : Bedroom	UPRN : No : 003/6/2/012		FLOOR: Level 5 - Second floor level Flat 3 USE:				
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 10 m2	Replacement Cost (£) 341	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition Fair	Action	Cond/Ind Priority	L'Expec 31	Quantity	Cost (£) 854	
Plaster on hard to walls	raii	No Action Required	В	31	25 m2	Year 1 Repair Cost (£	
Element : Walls	CODE:5					Danlacament	
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 8 m2	Replacement Cost (£) 273	
						Year 1 Repair Cost (£	
Element : Doors	CODE:5					Danisaanani	
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Replacement Cost (£) 492	
						Year 1 Repair Cost (£	

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 10 m2 410

Year 1 Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB243m2352

Re-decoration Fair No Action Required B 2 43 m2 352 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 06 **UPRN:** FLOOR: Level 6 - Third floor level Flat 6 ROOM: Circulation Area 1 USE: No: 003/6/3/001 **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Plasterboard ceiling No Action Required В 32 3 Fair 102 m2 Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required 32 Plasterboard walls Fair В 10 m2 341 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish No Action Required Fair В 7 3 m2 123 Year 1 Repair Cost (£) CODE:5 **Element:** Decoration Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) Fair No Action Required В 2 17 139 Re-decoration m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1 Repair Cost (£) **BUILDING:** Block 06 **UPRN:** FLOOR: Level 6 - Third floor level Flat 6 ROOM: Circulation Area 2 USE: No: 003/6/3/002 **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Plasterboard ceiling No Action Required В 32 3 Fair 102 m2 Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required 32 Plasterboard walls Fair В 10 m2 341 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish No Action Required Fair В 7 3 m2 123 Year 1 Repair Cost (£) CODE:5 **Element:** Decoration Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) Fair No Action Required В 2 17 139 Re-decoration m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1 Repair Cost (£)

BUILDING: Block 06	UPRN:	FL	OOR: Level 6 - Third floor leve	el Flat 6		
ROOM: Living Room	No : 003/	6/3/003	USE :			
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	32	20 m2	683
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster on hard to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 31	Quantity 28 m2	Cost (£) 956
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	31	30 m2	1,025
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 20 m2 820

> Year 1 Repair Cost (£)

Element : Decoration **CODE :** 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No Action Required В 2 78 m2 639

Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1

Repair Cost (£)

BUILDING : Block 06 ROOM : Bedroom	UPRN : No : 003/6/3/004		FLOOR: Level 6 - Third floor level Flat 6 USE:				
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 10 m2	Replacement Cost (£) 341	
r lasterboard celling	i ali	No Action Required	Ь	32	10 1112	Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description Plaster on hard to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 31	Quantity 25 m2	Cost (£) 854	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 8 m2	Cost (£) 273	
						Year 1 Repair Cost (£)	
Element : Doors	CODE:5					Replacement	
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492	
						Year 1 Repair Cost (£	

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 10 m2 410

Year 1 Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB243m2352

Re-decoration Fair No Action Required B 2 43 m2 352 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 06 ROOM: Bathroom	UPRN : No : 003/6/3/005		FLOOR: Level 6 - Third floor level Flat 6 USE:				
Element : Ceilings Description Plasterboard ceiling	CODE :5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 8 m2	Replacement Cost (£) 273 Year 1 Repair Cost (£	
Element : Walls Description Plasterboard walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 10 m2	Replacement Cost (£) 341 Year 1 Repair Cost (£)	
Element : Walls Description Lath & plaster to walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 4 m2	Replacement Cost (£) 218 Year 1 Repair Cost (£)	
Element : Walls Description Lining board to walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 37	Quantity 8 m2	Replacement Cost (£) 328 Year 1 Repair Cost (£)	

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority Cost (£) **Description** Action L'Expec Quantity Softwood timber flush No Action Required В 22 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority Cost (£) Action L'Expec Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 246 7 6 m2 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Fair 24 196 Re-decoration No Action Required В 2 m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1

Repair Cost (£)

BUILDING: Block 06 ROOM: Kitchen	UPRN : No : 003/6/3/006		FLOOR: Level 6 - Third floor level Flat 6 USE:				
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)	
Plasterboard ceiling	Fair	No Action Required	В	32	9 m2	307	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plasterboard walls	Fair	No Action Required	В	32	23 m2	786	
						Year 1 Repair Cost (£)	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Lining board to walls	Fair	No Action Required	В	12	2 m2	82	
						Year 1 Repair Cost (£)	
Element : Doors	CODE:5					Replacement	
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492	
						Year 1 Repair Cost (£)	

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB79m2369

Year 1

Repair Cost (£)

Replacement

Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 32 m2 262 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 06 **UPRN:** FLOOR: Level 6 - Third floor level Flat 5 ROOM: Circulation Area 1 USE: No: 003/6/3/007 **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Plasterboard ceiling No Action Required В 32 3 Fair 102 m2 Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required 32 Plasterboard walls Fair В 10 m2 341 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish No Action Required Fair В 7 3 m2 123 Year 1 Repair Cost (£) CODE:5 **Element:** Decoration Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) Fair No Action Required В 2 17 139 Re-decoration m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1 Repair Cost (£) **BUILDING:** Block 06 **UPRN:** FLOOR: Level 6 - Third floor level Flat 5 ROOM: Circulation Area 2 USE: No: 003/6/3/008 **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Plasterboard ceiling No Action Required В 32 3 Fair 102 m2 Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) No Action Required 32 Plasterboard walls Fair В 10 m2 341 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish No Action Required Fair В 7 3 m2 123 Year 1 Repair Cost (£) CODE:5 **Element:** Decoration Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) Fair No Action Required В 2 17 139 Re-decoration m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1 Repair Cost (£)

BUILDING: Block 06 ROOM: Living Room	UPRN : No : 003/6/3/009		FLOOR: Level 6 - Third floor level Flat 5 USE:				
Element : Ceilings	CODE:5					Replacement	
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 20 m2	Cost (£) 683	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	•	Quantity	Cost (£)	
Plaster on hard to walls	Fair	No Action Required	В	31	28 m2	956	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plasterboard walls	Fair	No Action Required	В	31	30 m2	1,025	
						Year 1 Repair Cost (£)	
Element : Doors	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Softwood timber flush	Fair	No Action Required	В	22	1 No	492	
						Year 1 Repair Cost (£)	

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 20 m2 820

> Year 1 Repair Cost (£)

Element : Decoration **CODE :** 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No Action Required В 2 78 m2 639

Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1

Repair Cost (£)

		FLOOR: Level 6 - Third floor level Flat 5			
No : 003/6	/3/010	USE :			
CODE :5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Cost (£) 307
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 23 m2	Cost (£) 786
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 12	Quantity 2 m2	Cost (£)
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Required B	CODE : 5 Condition Action No Action Required B L'Expec Fair Action No Action Required B L'Expec Condition Action No Action Required B Z 32 CODE : 5 Condition Action No Action Required B Z 22 CODE : 5 Condition Action No Action Required B Z 32 CODE : 5 Condition Action No Action Required B Z 12 CODE : 5 Condition Action No Action Required B Z 12	CODE :5 Condition Action No Action Required B

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB79m2369

Year 1

Repair Cost (£)

Replacement

Replacement

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Fair No Action Required B 2 32 m2 262 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 06 ROOM: Bathroom	UPRN : No : 003/6/3/011		FLOOR: Level 6 - Third floor level Flat 5 USE:				
Element : Ceilings Description Plasterboard ceiling	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 8 m2	Replacement Cost (£) 273 Year 1 Repair Cost (£)	
Element : Walls Description Plasterboard walls	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 10 m2	Replacement Cost (£) 341 Year 1 Repair Cost (£)	
Element : Walls Description Lath & plaster to walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 4 m2	Replacement Cost (£) 218 Year 1 Repair Cost (£)	
Element : Walls Description Lining board to walls	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 37	Quantity 8 m2	Replacement Cost (£) 328 Year 1 Repair Cost (£)	

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority Cost (£) **Description** Action L'Expec Quantity Softwood timber flush No Action Required В 22 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority Cost (£) Action L'Expec Quantity Vinyl sheet finish (non-slip) Fair No Action Required В 246 7 6 m2 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Fair 24 196 Re-decoration No Action Required В 2 m2 Emulsion to ceiling and walls; gloss/varnish to timber finishes Year 1

Repair Cost (£)

BUILDING : Block 06 ROOM : Bedroom	UPRN : No : 003/6/3/012		FLOOR: Level 6 - Third floor level Flat 5 USE:				
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 10 m2	Replacement Cost (£) 341 Year 1	
Element : Walls Description Plaster on hard to walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 31	Quantity 25 m2	Repair Cost (£ Replacement Cost (£) 854 Year 1 Repair Cost (£	
Element : Walls Description Plasterboard walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 8 m2	Replacement Cost (£) 273 Year 1 Repair Cost (£	
Element : Doors Description Softwood timber flush	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Replacement Cost (£) 492 Year 1 Repair Cost (£)	

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 10 m2 410

Year 1 Repair Cost (£)

Replacement

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB243m2352

Re-decoration Fair No Action Required B 2 43 m2 352 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

FIXTURES & FITTINGS

BUILDING: Block 06 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Main Office **No**: 003/6/0/001 **USE**:

Element : Worktops CODE : 6

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Laminate / chipboard worktop Fair No action required B 10 1 m2 68

Repair Cost (£)

Year 1

Replacement

Repair Cost (£)

Element : Built in cupboards CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber base unit Fair No action required B 20 1 No 820

Year 1 Repair Cost (£)

Element : Built in cupboards CODE : 6

Replacement **Description** Condition Cond/Ind Priority L'Expec Quantity Cost (£) **Action** 20 Timber buit in cupboards Fair No action required В 3 No 2,460

Year 1

BUILDING: Block 06 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Store **No**: 003/6/0/005 **USE**:

Element: Shelving **CODE**:6

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber shelving Fair No action required B 10 7 m 191

BUILDING: Block 06 UPRN: FLOOR: Level 4 - First floor level Flat 2

ROOM: Kitchen **No**: 003/6/1/006 **USE**:

Element : Worktops CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Laminate / chipboard worktop Fair No action required B 5 2 m2 136

Repair Cost (£)

Year 1

Replacement

Element : Built in cupboards CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber buit in cupboards Fair No action required B 5 7 No 5,741

BUILDING: Block 06 UPRN: FLOOR: Level 4 - First floor level Flat 1

ROOM: Kitchen **No**: 003/6/1/010 **USE**:

Element : Worktops CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Laminate / chipboard worktop Fair No action required B 12 2 m2 136

Repair Cost (£)

Year 1

Replacement

Element : Built in cupboards CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber buit in cupboards Fair No action required B 22 5 No 4,101

BUILDING: Block 06 UPRN: FLOOR: Level 5 - Second floor level Flat 4

ROOM: Kitchen **No**: 003/6/2/006 **USE**:

Element: Worktops CODE:6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Laminate / chipboard worktop Fair No action required B 12 2 m2 136

Repair Cost (£)

Year 1

Year 1

Replacement

Repair Cost (£)

Element : Built in cupboards CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber buit in cupboards Fair No action required B 22 5 No 4,101

BUILDING: Block 06 UPRN: FLOOR: Level 5 - Second floor level Flat 3

ROOM: Kitchen **No**: 003/6/2/010 **USE**:

Element : Worktops CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Laminate / chipboard worktop Fair No action required B 12 2 m2 136

Repair Cost (£)

Year 1

Replacement

Element : Built in cupboards CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber buit in cupboards Fair No action required B 22 5 No 4,101

BUILDING: Block 06 UPRN: FLOOR: Level 6 - Third floor level Flat 6

ROOM: Kitchen **No**: 003/6/3/006 **USE**:

Element: Worktops **CODE**:6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Laminate / chipboard worktop Fair No action required B 12 2 m2 136

Repair Cost (£)

Year 1

Element : Built in cupboards CODE : 6

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber buit in cupboards Fair No action required B 22 5 No 4,101

BUILDING: Block 06 UPRN: FLOOR: Level 6 - Third floor level Flat 5

ROOM: Kitchen **No**: 003/6/3/010 **USE**:

Element : Worktops CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Laminate / chipboard worktop Fair No action required B 12 2 m2 136

Repair Cost (£)

Year 1

Replacement

Element : Built in cupboards CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber buit in cupboards Fair No action required B 22 5 No 4,101

SANITARY

BUILDING: Block 06 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Ladies Toilet

No: 003/6/0/004

USE:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 20 2 No 656

Repair Cost (£)

Year 1

Replacement

Repair Cost (£)

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 20 2 No 656

Year 1
Repair Cost (£)

Element : Cubicles CODE : 7

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Melamine toilet cubicle 20 1,640 Fair No action required В 2 No

Year 1

BUILDING: Block 06	UPRN:		FLOOR: Level 3 - Canongate Street level Ground				
ROOM: Gents Toilet	No : 003/6	6/0/006	USE:				
Element : Internal Drainage Description Upvc soil vent pipe	CODE:7 Condition Fair	Action No action required	Cond/Ind Priority B	L'Expec 30	Quantity 3	, m	Replacement Cost (£) 123
							Year 1 Repair Cost (£
Element : WC	CODE:7						Replacement
Description Ceramic WC cistern and bowl	Condition Fair	Action No action required	Cond/Ind Priority B	L'Expec 20	Quantity 2	, No	Cost (£) 656
							Year 1 Repair Cost (£
Element : Basins	CODE:7						Replacement
Description Ceramic WHB	Condition Fair	Action No action required	Cond/Ind Priority B	L'Expec 20	Quantity 2	, No	Cost (£) 656
							Year 1 Repair Cost (£
Element : Cubicles	CODE:7						Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity		Cost (£)
Melamine toilet cubicle	Fair	No action required	В	20	2	No	1,640
							Year 1 Repair Cost (£

Element : Urinals CODE : 7

Pescription Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic urinals Fair No action required B 20 2 No 984

BUILDING: Block 06 **UPRN:** FLOOR: Level 3 - Canongate Street level Ground **ROOM:** Staff Toilet **No:** 003/6/0/012 USE: Element: WC CODE:7 Replacement Condition Action Cond/Ind Priority Cost (£) **Description** L'Expec Quantity Ceramic WC cistern and bowl Fair No action required В 20 1 328 No Year 1 Repair Cost (£) **Element**: Basins CODE:7 Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) Ceramic WHB No action required 20 328 Fair В No Year 1 Repair Cost (£) **Element : Showers** CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Shower cabinet with prefinished No action required 15 1,148 Fair В No board walls and glazed doors Year 1 Repair Cost (£)

BUILDING: Block 06 **UPRN:** FLOOR: Level 4 - First floor level Flat 2

ROOM: Bathroom **No:** 003/6/1/005 USE:

Element: WC CODE:7

Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity

No Ceramic WC cistern (hidden)and No action required В 22 1 328 Fair

bowl Year 1 Repair Cost (£)

Element: Sinks CODE:7

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic sink 12 328 Fair No action required В 1 No

Year 1

Repair Cost (£)

Replacement

Element: Baths CODE:7

Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£)

Ceramic bath No action required В 22 No 656 Fair 1

ROOM: Kitchen **No**: 003/6/1/006 **USE**:

Element : Sinks CODE : 7

Replacement

Description

Condition

Action

Cond/Ind Priority L'Expec Quantity

Cost (£)

Stainless steel sink - single Fair No action required B 12 1 No 328 drainer

ROOM: Kitchen **No:** 003/6/1/010 USE:

Element : Sinks CODE:7

Replacement Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity

Stainless steel sink - single No action required 12 1 No 328 Fair В

drainer Year 1 Repair Cost (£)

ROOM: Bathroom **No**: 003/6/1/011 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern (hidden)and Fair No action required B 22 1 No 328

bowl
Year 1
Repair Cost (£)

Element : Sinks CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic sink Fair No action required B 12 1 No 328

Year 1 Repair Cost (£)

Element : Baths CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic bath Fair No action required B 22 1 No 656

Year 1 Repair Cost (£)

Replacement

ROOM: Bathroom

No: 003/6/2/005

USE:

Element: WC CODE:7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern (hidden)and Fair No action required B 22 1 No 328

bowl

Repair Cost (£)

Year 1

Replacement

Replacement

Element : Sinks CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic sink Fair No action required B 12 1 No 328

Year 1

Repair Cost (£)

Element : Baths CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic bath Fair No action required B 22 1 No 656

ROOM: Kitchen No: 003/6/2/006 USE:

Element : Sinks CODE:7

Replacement Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Fair

Stainless steel sink - single

drainer

No action required 12 No 328 В 1

ROOM: Kitchen **No**: 003/6/2/010 **USE**:

Element : Sinks CODE : 7

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Stainless steel sink - single Fair No action required B 12 1 No 328

drainer
Year 1
Repair Cost (£)

ROOM: Bathroom **No:** 003/6/2/011 USE:

Element: WC CODE:7

Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity

Ceramic WC cistern (hidden)and No action required В 22 1 No 328 Fair

bowl Year 1 Repair Cost (£)

Element: Sinks CODE:7

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic sink 12 328 Fair No action required В 1 No

Year 1

Repair Cost (£)

Replacement

Element: Baths CODE:7

Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) Ceramic bath В 22 No 656 Fair 1

No action required

ROOM: Bathroom

No: 003/6/3/005

USE:

Element: WC CODE:7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern (hidden)and Fair No action required B 22 1 No 328

bowl
Year 1
Repair Cost (£)

Element : Sinks CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic sink Fair No action required B 12 1 No 328

Year 1 Repair Cost (£)

Element : Baths CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic bath Fair No action required B 22 1 No 656

Year 1 Repair Cost (£)

Replacement

ROOM: Kitchen **No**: 003/6/3/006 **USE**:

Element : Sinks CODE : 7

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Stainless steel sink - single Fair No action required B 12 1 No 328

drainer

Year 1
Repair Cost (£)

ROOM: Kitchen **No:** 003/6/3/010 USE:

Element : Sinks CODE:7

Replacement Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity

Stainless steel sink - single No action required 12 1 No 328 Fair В

drainer Year 1 Repair Cost (£)

ROOM: Bathroom **No**: 003/6/3/011 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern (hidden)and Fair No action required B 22 1 No 328

bowl
Year 1
Repair Cost (£)

Element : Sinks CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic sink Fair No action required B 12 1 No 328

Year 1 Repair Cost (£)

Element : Baths CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic bath Fair No action required B 22 1 No 656

Year 1 Repair Cost (£)

Replacement

FIRE MATTERS

BUILDING: Block 06 **UPRN:** FLOOR: Level 4 - First floor level Flat 2

ROOM: Circulation Area 1 **No:** 003/6/1/001 USE:

Element : Fire Risk Assessment CODE:9

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Timber one hour door with smoke Fair No Action Required В 22 492 No

seals and intumescent strips and

door closer

Year 1 Softwood timber flush Repair Cost (£)

ROOM: Circulation Area 2 No: 003/6/1/002 USE:

Element: Fire Risk Assessment **CODE**:9

Replacement Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Front door Fair No Action Required B 22 1 No 492

Timber one hour door with smoke seals and intumescent strips and

door closer

Softwood timber flush

uired B 22 1 No 492 **Year 1**

Repair Cost (£)

ROOM: Circulation Area 1 No: 003/6/1/007 USE:

Element: Fire Risk Assessment **CODE**:9

Pescription Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Front door Fair No Action Required B 22 1 No 492

Timber one hour door with smoke seals and intumescent strips and

door closer

Softwood timber flush

Year 1

Repair Cost (£)

ROOM: Circulation Area 2 No: 003/6/1/008 USE:

Element: Fire Risk Assessment **CODE**:9

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber one hour door with smoke Fair No Action Required B 22 1 No 492

seals and intumescent strips and

door closer

Softwood timber flush

ROOM: Circulation Area 1 No: 003/6/2/001 USE:

Element: Fire Risk Assessment **CODE**:9

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber one hour door with smoke Fair No Action Required B 22 1 No 492

seals and intumescent strips and

door closer

Softwood timber flush

ROOM: Circulation Area 2 No: 003/6/2/002 USE:

Element : Fire Risk Assessment **CODE :** 9

Pescription Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Front door Fair No Action Required B 22 1 No 492

Timber one hour door with smoke seals and intumescent strips and

door closer

Softwood timber flush

ROOM: Circulation Area 1 No: 003/6/2/007 USE:

Element: Fire Risk Assessment **CODE**:9

Replacement Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Front door Fair No Action Required B 22 1 No 492

Timber one hour door with smoke seals and intumescent strips and

door closer

Softwood timber flush

ROOM: Circulation Area 2 No: 003/6/2/008 USE:

Element: Fire Risk Assessment **CODE**:9

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber one hour door with smoke Fair No Action Required B 22 1 No 492

seals and intumescent strips and

door closer

Softwood timber flush

ROOM: Circulation Area 1 No: 003/6/3/001 USE:

Element: Fire Risk Assessment **CODE**:9

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber one hour door with smoke Fair No Action Required B 22 1 No 492

seals and intumescent strips and

door closer

Softwood timber flush

ROOM: Circulation Area 2 No: 003/6/3/002 USE:

Element: Fire Risk Assessment **CODE**:9

Replacement Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Front door Fair No Action Required B 22 1 No 492

Timber one hour door with smoke seals and intumescent strips and

door closer

Softwood timber flush

ROOM: Circulation Area 1 No: 003/6/3/007 USE:

Element: Fire Risk Assessment **CODE**:9

Pescription Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Front door Fair No Action Required B 22 1 No 492

Timber one hour door with smoke seals and intumescent strips and

door closer

Softwood timber flush

On Required B 22 I NO 492

Year 1

Repair Cost (£)

ROOM: Circulation Area 2 No: 003/6/3/008 USE:

Element: Fire Risk Assessment **CODE**:9

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber one hour door with smoke Fair No Action Required B 22 1 No 492

seals and intumescent strips and

door closer

Softwood timber flush

MECHANICAL SERVICES

BUILDING: Block 06 FLOOR: M&E **UPRN:**

ROOM: M&E No: 003/6/M&E/ USE:

Element: Gas Heating System **CODE: 13**

Description

Heating was provided from a district heating system. Hot water from system was pumped round the residences to a number of convection radiators, by a Wilo pumping setup.

Condition

The heating and its associated equipment were in fair condition however in Flat 57/2 it was stated that the Living room Radiator has never worked.

Action

Continue maintenance It is recommended that the heating system is examined. The boilers in use are of fair condition for their age however the building has been modernised and the system is now supplying more equipment than when it was first installed. It is recommended that consideration be given to upgrading the system to a more efficient system; a further detailed survey would be required to confirm this.

Cond/Ind Priority

В

L'Expec

15

Quantity

Replacement Cost (£)

70,000

Year 1



Photo 2 **Position** Repair Cost (£)

Condition Cond/Ind Priority L'Expec Cost (£) **Description** Action Quantity There was Greenwood extractors The condition of these were fair Continue Maintenance В 15 1,500 in use within the toilets. Within with no defects noted. the kitchen a domestic cooker Year 1 extractor was installed. Repair Cost (£) **CODE: 13 Element:** Domestic Hot Water Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Hot water was provided by the The condition of this was fair Continue Maintenance В 15 15,000 boilers to a calorfier, the water with no defects noted. was pumped throughout the bld Year 1 by Grundfos pumps. Repair Cost (£)

Replacement

Element : Extraction System

CODE: 13

ELECTRICAL SERVICES

BUILDING: Block 06 UPRN: FLOOR: M&E

ROOM: M&E No: 003/6/M&E/ USE:

Element: Mains Distribution **CODE: 14**

Description Power distribution was via Dorman Smith Load Limiter DB's located in each residence. Wiring

was contained within the walls.

Condition All were in a fair condition with no Continue Maintenance

defects noted.

Action

Cond/Ind Priority В

В

L'Expec 20

Quantity

Replacement Cost (£)

100,000

Year 1

Repair Cost (£)

Element: Light Fittings Internal

Description

In the main this was a mix of tungsten, CFL and 2D fittings. There was no sign of automatic controls. Within the stairwell T8 lighting was in use. These were controlled by time delay switches. **CODE: 14**

Condition

The condition of the system was Continue maintenance fair however it was noted that none of them operated and all stairwell lights were constantly lit. It is recommended that an

Action

It is recommended that the lighting controls are rectified. ongoing maintenance plan is introduced for the replacement of all tungsten lights with CFL lighting; this would help towards reducing the annual electricity costs. This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind Priority L'Expec Quantity

20

Cost (£) 50.000

Year 1

Repair Cost (£)

Replacement

Element : Light Fittings Internal	CODE : 14					Replacement
Description This consisted of non-maintained	Condition The condition of the system was	Action Continue maintenance	Cond/Ind Priority	L'Expec 20	Quantity	Cost (£) 8,000
self contained fittings.	fair with no defects noted.	This survey did not look at system compliance, a further lighting compliance survey would be required.				Year 1 Repair Cost (£
Element : Light Fittings External	CODE:14					Replacement
Description This consisted of a number of	Condition The condition of the lighting and	Action Continue Maintenance	Cond/Ind Priority	L'Expec 20	Quantity	Cost (£) 8,000
SON bulkhead fittings located around the building, these are controlled by timers.	its associated equipment was fair with no defects noted.	This survey did not look at system compliance, a further in depth compliance survey would be required.				Year 1 Repair Cost (£
Element : Fire Alarms	CODE:14					Doulocoment
Description Each residence has been	Condition The condition of the system was	Action Continue Maintenance.	Cond/Ind Priority	L'Expec 20	Quantity	Replacement Cost (£) 100
supplied with battery operated stand alone smoke detectors. There are Gent detectors and Sirens installed within the	fair however it was stated that detectors may have been disconnected at the time of refurbishment although it was stated that the sirens still sound	It is recommended that the Gent detectors and sirens are checked for operation. This survey did not look at system compliance, a further in depth compliance survey would	l			Year 1 Repair Cost (£

Element : Security Systems

CODE:14

Description

There is a secure door entry installed.

Condition

no defects noted.

Action

The condition of this was fair with Continue maintenance

Cond/Ind Priority L'Expec В

20

Quantity

Replacement Cost (£) 10,000

ROOFS

BUILDING: Block 07 UPRN: FLOOR: Roof

ROOM: Roof **No**: 003/7/R/001 **USE**:

Element : Covering CODE : 1

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Sheet metal finish Fair No action required В 17 495 m2 67,671

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position



Element : Structure CODE : 1

Replacement Description Condition **Action** Cond/Ind Priority L'Expec Quantity Cost (£) Fair No action required 47 495 40,602 Timber trusses В m2

Element: Rainwater goods **CODE**:1

DescriptionMetal box gutters and PVC-u downpipes

Condition Fair **Action**No action required

Cond/Ind Priority L'Expec Quantity
B 22 36 r

1,476 **Year 1**

Cost (£)

m

Replacement

WALLS

BUILDING: Block 07 **UPRN: FLOOR**: Elevations

ROOM: Elevation No: 003/7/E/001 USE:

Element: External walls CODE:2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Render finish (wet-dash) Fair No Action Required В 32 38 2,077 m2

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

Element: Windows CODE:2

Description Timber softwood casement

double-glazed windows

Condition

Fair

Action

No Action Required

Cond/Ind Priority В

L'Expec 27

Quantity 6

m2

2,952

Cost (£)

Year 1

Repair Cost (£)

Replacement

Photo 1

Concrete cills



Fair

Photo 2



Position

37

В

8

m

4,000

Year 1

Repair Cost (£)

Element : Decoration	CODE:2					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Painterwork to timber finishes	Fair	No Action Required	В	2	6 m2	82
						Year 1 Repair Cost (£
Element : Decoration	CODE:2					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Masonry paint	Fair	No Action Required	В	2	38 m2	519
						Year 1 Repair Cost (£)
Element : Cills	CODE:2					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)

No Action Required

BUILDING: Block 07 UPRN: FLOOR: Elevations

ROOM: Elevation No: 003/7/E/002 USE:

Element : External walls CODE : 2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Render finish (wet-dash) Fair No Action Required В 32 49 m2 2,679

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

Element: Windows CODE: 2

DescriptionTimber softwood casement double-glazed windows

Condition Fair **Action**No Action Required

Cond/Ind Priority L'Expec B 27

Expec Quantity7 4 m2

Replacement Cost (£)
1,968

Photo 1



Photo 2 Position

Element : Doors CODE : 2

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)
Timber Louvred door Fair No Action Required B 17 1 m2 328

Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element: Decoration **CODE**:2

Replacement Description Condition **Action** Cond/Ind Priority L'Expec Quantity Cost (£) Painterwork to timber finishes Fair В 2 82 No Action Required 6 m2

Element : Cills CODE : 2

Pescription Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete cills Fair No Action Required B 37 6 m 3,000

BUILDING: Block 07 UPRN: FLOOR: Elevations

ROOM: Elevation No: 003/7/E/003 USE:

Element : External walls CODE : 2

Replacement Condition Cost (£) **Description** Action Cond/Ind Priority L'Expec Quantity Render finish (wet-dash) No Action Required В 32 12 656 Fair m2

> Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element: Windows CODE: 2

DescriptionTimber softwood casement double-glazed windows

ConditionFair

ActionNo Action Required

Cond/Ind Priority L'Expec B 27

'Expec Quantity 7 1 m2

492

Cost (£)

Year 1 Repair Cost (£)

Replacement

Element : Decoration **CODE :** 2

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Painterwork to timber finishesFairNo Action RequiredB21m213

Year 1 Repair Cost (£)

Replacement

Element : Decoration CODE : 2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Masonry paint Fair No Action Required B 2 12 m2 164

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Cills CODE : 2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete cills Fair No Action Required B 37 1 m 500

BUILDING: Block 07 UPRN: FLOOR: Elevations

ROOM: Elevation No: 003/7/E/004 USE:

Element : External walls CODE : 2

Replacement Condition Action Cond/Ind Priority Cost (£) **Description** L'Expec Quantity Render finish (wet-dash) Fair No Action Required В 32 15 m2 820

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

Element : Doors CODE : 2

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Softwood timber/glazed patio doorFairNo Action RequiredB151No.4,000

Year 1 Repair Cost (£)

Replacement

Element : Doors CODE : 2

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Softwood timber flush/glazed door Fair No Action Required B 17 1 No. 984



Photo 2 Position

Element : Decoration **CODE :** 2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Repair Cost (£)

Year 1

Year 1

Painterwork to timber finishes Fair No Action Required B 2 8 m2 109

Element: Decoration **CODE**:2

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Masonry paint Fair No Action Required B 2 15 m2 205

BUILDING: Block 07 UPRN: FLOOR: Elevations

ROOM: Elevation No: 003/7/E/005 USE:

Element : External walls CODE : 2

Replacement Condition Action Cond/Ind Priority **Description** L'Expec Quantity Cost (£) Render finish (wet-dash) Fair No Action Required В 32 36 1,968 m2

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position



Element : Windows CODE : 2

DescriptionTimber softwood casement double-glazed windows

Condition Fair

ActionNo Action Required

Cond/Ind Priority

L'Expec 27 **Quantity** 4 m2

Replacement Cost (£) 1,968

Year 1 Repair Cost (£)

Element : Doors CODE : 2

Description CSoftwood timber patio doors

Condition Fair

ActionNo Action Required

Cond/Ind Priority

L'Expec 17

Quantity 4 No.

Replacement Cost (£)

4,000



Photo 2 Position

Element : Decoration	CODE:2					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Masonry paint	Fair	No Action Required	В	2	36 m2	492
						Year 1 Repair Cost (£)
Element : Decoration	CODE:2					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Painterwork to timber finishes	Fair	No Action Required	В	2	12 m2	164
						Year 1 Repair Cost (£)
Element : Cills	CODE:2					Ponlacoment
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete cills	Fair	No Action Required	В	37	4 m	2,000
						Year 1 Repair Cost (£)

BUILDING: Block 07 **UPRN: FLOOR**: Elevations

ROOM: Elevation No: 003/7/E/006 USE:

Element: External walls CODE:2

Replacement Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Render finish (wet-dash) Fair No Action Required В 32 33 m2 1,804

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position



Element: Windows CODE:2

Description Timber softwood casement

double-glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

В

27

L'Expec

Quantity m2 2

Replacement Cost (£) 984

Year 1

Description



Photo 2 **Position**

Element : Doors	CODE:2

Description	
Timber softwood	patio doors

Condition Fair

Action	
No Action Req	uirec

L'Expec 27

Quantity m2

6

6,000 Year 1 Repair Cost (£)

Replacement

Replacement

Cost (£)

Element: Decoration CODE:2

Description Painterwork to timber finishes Condition Fair

Action

No Action Required

Cond/Ind Priority В

L'Expec 2 14

Quantity Cost (£) m2 191

Year 1

Repair Cost (£)

Element: Decoration CODE:2

Description Masonry paint Condition Fair

Action

No Action Required

Cond/Ind Priority В

L'Expec 2

Quantity 33 m2 Replacement Cost (£) 451

Year 1

Element : Cills CODE : 2

Pescription Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete cills Fair No Action Required B 37 2 m 1,000

BUILDING: Block 07 UPRN: FLOOR: Elevations

ROOM: Elevation No: 003/7/E/007 USE:

Element : External walls CODE : 2

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Stone pointed finish Fair No Action Required B 27 44 m2 1,203

Repair Cost (£)

Year 1

Element : External walls CODE : 2

Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) Render finish (wet-dash) No Action Required 32 m2 2,406 Fair В 44

Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element: Windows CODE: 2

Replacement Condition **Description** Cond/Ind Priority L'Expec Cost (£) **Action** Quantity Timber softwood casement 27 13 Fair No Action Required В 6,398 m2 double-glazed windows

Element: External joinery CODE:2 Replacement Condition Cond/Ind Priority Quantity **Description** Action L'Expec Cost (£) T & G Timber Cladding No Action Required 22 2 109 Fair В m2 Year 1 Repair Cost (£) **Element**: Decoration CODE:2 Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) No Action Required 15 205 Painterwork to timber finishes Fair В 2 m2 Year 1 Repair Cost (£) **Element**: Decoration CODE:2 Replacement **Description** Condition Cond/Ind Priority L'Expec Quantity Cost (£) Action Masonry paint Fair No Action Required В 2 44 m2 601 Year 1 Repair Cost (£) Element: Cills CODE:2 Replacement

L'Expec **Description** Condition **Action** Cond/Ind Priority Quantity No Action Required В 37 17 Stone cills Fair m

Year 1 Repair Cost (£)

Cost (£)

8,500

BUILDING: Block 07 UPRN: FLOOR: Elevations

ROOM: Elevation No: 003/7/E/008 USE:

Element : External walls CODE : 2

Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Render finish (wet-dash) Fair No Action Required В 32 27 m2 1,476

> Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element : Windows CODE : 2

DescriptionTimber softwood casement double-glazed windows

Condition Fair **Action**No Action Required

Cond/Ind Priority L'E

L'Expec Quantity 27 4 m2

Replacement Cost (£) 1,968

Element: Decoration



CODE:2

Photo 2 Position

Element: External joinery	CODE:2						Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quan	tity	Cost (£)
T & G Timber Cladding	Fair	No Action Required	В	22	2	m2	109
							Year 1 Repair Cost (£)

Element: Decoration	CODE:2						Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quant	ity	Cost (£)
Painterwork to timber finishes	Fair	No Action Required	В	2	6	m2	82
							Year 1

	Repair Co	st (£)

						Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Masonry Paint	Fair	No Action Required	В	2	27 m2	369	

Wasoniy i ant	i ali	No Action Required	Ь	2	21	1112	303
							Year 1 Repair Cost (£)

Element : Cills CODE : 2

Replacement Concrete cills

Condition

Condition

Action

Cond/Ind Priority

L'Expec Quantity

Cost (£)

No Action Required

B

37

3

m

1,500

BUILDING: Block 07 **UPRN: FLOOR**: Elevations

ROOM: Elevation No: 003/7/E/009 USE:

Element: External walls CODE:2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Render finish (wet-dash) Fair No Action Required В 32 56 m2 3,062

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

Element: Windows CODE:2

Description Timber softwood casement double-glazed windows

Condition Fair

Action No Action Required Cond/Ind Priority L'Expec Quantity 27 В 3

m2 1,476 Year 1

Repair Cost (£)

Replacement

Cost (£)



Photo 2 **Position**

Element: Doors CODE:2

Fair

Condition Description

Softwood timber patio doors

Action

No Action Required

Cond/Ind Priority В

L'Expec 17

Quantity 10 No. Replacement Cost (£) 5,000

Year 1

Repair Cost (£)

Photo 1





Position

Element: Decoration CODE:2

Description Painterwork to timber finishes Fair

Condition

Action No Action Required Cond/Ind Priority В

L'Expec 2

Quantity 13 m2

Replacement Cost (£) 177

Year 1

Element : Decoration

Description

Condition

CODE:2

Masonry Paint

Action

Cond/Ind Priority

L'Expec

Quantity

Cost (£)

Replacement

Fair No Action Required В 2 56 m2 765

Year 1

Repair Cost (£)

Element: Cills CODE:2

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Concrete cills Fair No Action Required В 37 3 m 1,500

BUILDING: Block 07 UPRN: FLOOR: Elevations

ROOM: Elevation No: 003/7/E/010 USE:

Element : External walls CODE : 2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Render finish (wet-dash) Fair No Action Required В 32 12 m2 656

> Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element : Windows CODE : 2

DescriptionTimber softwood casement double-glazed windows

ConditionFair

ActionNo Action Required

Cond/Ind Priority L'Expec Quantity
B
27
4

1,968 **Year 1**

m2

Cost (£)

Repair Cost (£)

Replacement



Photo 2 Position

Element : Doors CODE : 2

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Softwood timber flush/glazed door Fair No Action Required B 17 1 No. 984

Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element: Decoration **CODE**:2

Replacement Description Condition **Action** Cond/Ind Priority L'Expec Quantity Cost (£) Painterwork to timber finishes Fair В 2 82 No Action Required 6 m2

Element: Decoration **CODE**:2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Masonry Paint Fair No Action Required B 2 12 m2 164

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Cills CODE : 2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete cills Fair No Action Required B 37 1 m 500

STRUCTURE

BUILDING: Block 07 UPRN: FLOOR: Level 1 - Calton Road Street Level

ROOM: Circulation Area/Stairwell

No: 003/7/-2/001

USE:

Element : Stairs CODE : 4

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete stair Fair No action required B 57 52 m2 17,772

BUILDING: Block 07 UPRN: FLOOR: Level 1 - Calton Road Street Level

ROOM: Circulation Area/Stairwell No: 003/7/-2/024 USE:

Element : Stairs CODE : 4

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete stair Fair No action required B 57 52 m2 17,772

BUILDING: Block 07 FLOOR: Structure **UPRN: ROOM**: Structure No: 003/7/St/St USE: **Element :** Floors CODE:4 Replacement Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Concrete floor Fair No action required В 57 400 m2 65,620 Year 1 Repair Cost (£) **Element : Walls** CODE:4 Replacement

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Brick/block & renderFairNo action requiredB571m2150

ROOMS

BUILDING: Block 07 **UPRN:** FLOOR: Level 2 - Basement Level **ROOM**: Circulation Area No: 003/7/-1/001 USE: **Element:** Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Plasterboard ceiling No Action Required В Fair 32 19 m2 649 Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) 32 Plaster walls Fair No Action Required В 58 m2 2,378 Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority Cost (£) **Action** L'Expec Quantity 7 779 Carpet floor finish Fair No Action Required В 19 m2 Year 1 Repair Cost (£) **Element:** Decoration CODE:5 Replacement **Description** Condition **Action Cond/Ind Priority** L'Expec Cost (£) Quantity Emulsion to ceiling and walls; Fair No Action Required В 2 77 m2 631 gloss/varnish to timber finishes

Year 1

BUILDING: Block 07	UPRN:		OOR : Level 2 - Basement Le			
ROOM: Bedroom 716	No : 003/	7/-1/002	USE:			
Element : Ceilings	CODE :5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 15 m	Cost (£) 2 512
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 30 m	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	В	22	1 No	o 1,367
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Carpet floor finishFairNo Action RequiredB715m2615

'
Year 1

Replacement

Repair Cost (£)

Replacement

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 2 54 m2 442 gloss/varnish to timber finishes

BUILDING: Block 07	UPRN:		LOOR : Level 2 - Basement Le			
ROOM: Toilet 716	No : 003/7	7/-1/003	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 3 m2	Cost (£) 102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7 m2	Cost (£) 287
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 2 m2	Cost (£) 82
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Cost (£) 307
						Year 1 Repair Cost (£

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority L'Expec Cost (£) **Description** Action Quantity Softwood timber flush No Action Required В 22 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Vinyl sheet finish (non-slip) Fair No Action Required В m2 123 7 3 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Emulsion to ceiling and walls; Fair 114 No Action Required В 2 14 m2 gloss/varnish to timber finishes Year 1

BUILDING: Block 07	UPRN:		OOR : Level 2 - Basement Le			
ROOM: Bedroom 715	No : 003/	/7/-1/004	USE:			
Element : Ceilings	CODE :5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 12 n	Cost (£) n2 410
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 27 n	Cost (£) 1,107
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	8 n	n2 273
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	В	22	1 N	lo 1,367
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Year 1

Carpet floor finish Fair No Action Required B 7 12 m2 492

Element : Decoration CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Poor Replace D 4 Replace/In 52 m2 426 gloss/varnish to timber finishes

BUILDING: Block 07 ROOM: Toilet 715	UPRN :		FLOOR: Level 2 - Basement Le			
	No : 003/	/7/-1/005	USE:			
Element : Ceilings	CODE :5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 4 m2	Cost (£) 136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7 m2	Cost (£) 287
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Cost (£) 307
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB74m2164

Year 1

Replacement

Replacement

Repair Cost (£)

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 2 13 m2 106 gloss/varnish to timber finishes

BUILDING: Block 07	UPRN:	FL	FLOOR: Level 2 - Basement Level				
ROOM: Bedroom 714	No : 003/	7/-1/006	USE:				
Element : Ceilings	CODE :5						Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 12	m2	Cost (£) 410
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 27	m2	Cost (£) 1,107
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description	Condition	Action	Cond/Ind Priority	-	Quantity		Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	8	m2	273
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity		Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	В	22	1	No	1,367
							Year 1 Repair Cost (£

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 12 m2 492

Year 1 Repair Cost (£)

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 2 52 m2 426 gloss/varnish to timber finishes

Year 1 Repair Cost (£)

Replacement

BUILDING: Block 07 ROOM: Toilet 714	UPRN:		LOOR: Level 2 - Basement Le			
	No : 003/7	7/-1/007	USE:			
Element : Ceilings	CODE :5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 3 m2	Cost (£) 102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7 m2	Cost (£) 287
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 2 m2	Cost (£) 82
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Cost (£)
						Year 1 Repair Cost (£

Element: Doors CODE:5 Replacement Condition Cond/Ind Priority L'Expec Cost (£) **Description** Action Quantity Softwood timber flush No Action Required В 22 No 492 Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity Vinyl sheet finish (non-slip) Fair No Action Required В m2 123 7 3 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Action Cond/Ind Priority Cost (£) Description L'Expec Quantity Emulsion to ceiling and walls; Fair 114 No Action Required В 2 14 m2 gloss/varnish to timber finishes Year 1

BUILDING: Block 07 **UPRN**: **FLOOR**: Level 2 - Basement Level

ROOM: Boiler Tank Cupboard

No: 003/7/-1/008

USE:

Element : Ceilings CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Profiled metal panels Fair No Action Required B 32 2 m2 136

Repair Cost (£)

Element : Walls CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Block pointed finish (painted) Fair No Action Required B 40 9 m2 246

Year 1

Element : Doors CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber 1 hour fire door set Fair No Action Required B 22 1 No 1,367

Year 1 Repair Cost (£)

Element : Floors CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Unpainted Concrete Fair, although slightly uneven in No Action Required B 37 2 m2 136

areas

Year 1
Repair Cost (£)

Year 1

Replacement

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityEmulsion to walls; gloss/varnish to timber finishesFairNo Action RequiredB49r

Year 1 Repair Cost (£)

Replacement

Cost (£)

73

m2

BUILDING: Block 07	UPRN:	FL	OOR : Level 2 - Basement Le	vel		
ROOM: Bedroom 713	No : 003/	7/-1/009	USE:			
Element : Ceilings	CODE :5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 12 m	Cost (£) 2 410
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 27 m	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action	Cond/Ind Priority B	L'Expec 32	Quantity 8 m	Cost (£)
Plasterboard walls	Fall	No Action Required	Б	32	6 III	Year 1 Repair Cost (£
Element : Doors	CODE :5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	В	22	1 N	o 1,367
						Year 1 Repair Cost (£

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 12 m2 492

Year 1 Repair Cost (£)

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 2 52 m2 426 gloss/varnish to timber finishes

Year 1 Repair Cost (£)

Replacement

BUILDING: Block 07	UPRN:		LOOR: Level 2 - Basement Le			
ROOM: Toilet 713	No : 003/	/7/-1/010	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 3 m2	Cost (£) 102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7 m2	Cost (£) 287
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Cost (£) 307
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 2 m2	Cost (£)
						Year 1 Repair Cost (£
						-

BUILDING: Block 07 ROOM: Bedroom 712	UPRN : No : 003/7		OOR: Level 2 - Basement Le	vel		
Element : Ceilings	CODE:5					
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 12 m2	Replacement Cost (£) 410
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Danlagament
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	В	32	27 m2	1,107
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Panlacoment
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	8 m2	273
						Year 1 Repair Cost (£)
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	В	22	1 No	1,367
						Year 1 Repair Cost (£)

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet sheet finish Fair No Action Required В 7 12 m2 984

Year 1
Repair Cost (£)

Element : Decoration CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 2 52 m2 426

Emulsion to ceiling and walls; Fair No Action Required B 2 52 m2 426 gloss/varnish to timber finishes

Year 1

	Replacement
Quantity 3 m2	Cost (£) 102
	Year 1 Repair Cost (
	Replacement
Quantity 7 m2	Cost (£) 287
	Year 1 Repair Cost (
	Replacement
Quantity 9 m2	Cost (£) 307
	Year 1 Repair Cost (
	Replacement
Quantity 2 m2	Cost (£) 82
	Year 1 Repair Cost (
	-

BUILDING: Block 07 ROOM: Circulation Area	UPRN : No : 003/7/		LOOR : Level 2 - Basement Le USE :	vel		
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 15 m2	Replacement Cost (£) 512 Year 1
Element : Walls Description Plaster walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 42 m2	Replacement Cost (£) 1,722 Year 1 Repair Cost (£
Element : Floors Description Carpet floor finish	CODE :5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 7	Quantity 15 m2	Replacement Cost (£) 615 Year 1 Repair Cost (£
Element : Decoration Description Emulsion to ceiling and walls; gloss/varnish to timber finishes	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 2	Quantity 57 m2	Replacement Cost (£) 467 Year 1 Repair Cost (£)

BUILDING: Block 07	UPRN:		OOR: Level 2 - Basement Le			
ROOM: Bedroom 707	No : 003	/7/-1/014	USE:			
Element : Ceilings	CODE:5	Action	Canallinal Drianites	I I Evman	Over matitude	Replacement
Description Plasterboard ceiling	Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 14 m2	Cost (£) 478
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 21 m2	Cost (£) 861
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 11 m2	Cost (£) 375
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Timber 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£

Element : Floors CODE:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 14 m2 574 Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Emulsion to ceiling, decorative Fair, although slight lifting of No Action Required В 2 46 m2 377 paper to walls; gloss to timber paperwork finishes Year 1 Repair Cost (£)

BUILDING: Block 07			FLOOR: Level 2 - Basement Level			
ROOM: Toilet 707	No : 003/7/	/-1/015	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 4 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£)
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 7 4 m2 164

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 2 13 m2 106 gloss/varnish to timber finishes

BUILDING: Block 07 **UPRN:** FLOOR: Level 2 - Basement Level ROOM: Circulation Area 707 USE: No: 003/7/-1/016 **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Plasterboard ceiling Fair, although slight water No Action Required В 32 4 136 m2 staining to ceiling finish Year 1 Repair Cost (£) CODE:5 Element: Walls Replacement Cond/Ind Priority L'Expec Cost (£) Condition **Action Description** Quantity Plaster walls Fair No Action Required В 32 8 328 m2 Year 1 Repair Cost (£) CODE:5 Element: Walls Replacement Condition **Description Action** Cond/Ind Priority L'Expec Cost (£) Quantity 32 Plasterboard walls No Action Required В 6 205 Fair m2 Year 1 Repair Cost (£) CODE:5 **Element:** Doors Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) **Action** Quantity 22 No Action Required 1,367 Timber 1 hour fire door set Fair В No Year 1 Repair Cost (£)

Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 4 m2 164

Year 1 Repair Cost (£)

Replacement

Replacement

Element: Decoration CODE:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling, decorative Fair No Action Required В 2 18 m2 147

paper to walls; gloss to timber finishes Year 1 Repair Cost (£)

BUILDING: Block 07	UPRN:		FLOOR: Level 2 - Basement Level				
ROOM: Bedroom 708	No : 003/7	/-1/017	USE :				
Element : Ceilings	CODE :5						Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 13	, m2	Cost (£) 444
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	•	Cost (£)
Plaster walls	Fair	No Action Required	В	32	28	m2	1,148
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 6	m2	Cost (£) 205
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	,	Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	В	22	1	No	1,367
							Year 1 Repair Cost (£)

Element: Floors CODE:5 Replacement L'Expec **Description** Condition Action Cond/Ind Priority Cost (£) Quantity Carpet floor finish Fair, although slightly worn and No Action Required В 2 10 m2 410 soiled in areas. Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Cost (£) Quantity Emulsion to ceiling and walls; Fair, although slightly marked in No Action Required В 2 13 m2 106 gloss/varnish to timber finishes areas Year 1

BUILDING: Block 07	UPRN:		FLOOR: Level 2 - Basement Level			
ROOM: Toilet 708	No : 003/	7/-1/018	USE:			
Element : Ceilings	CODE : 5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 4 m2	Cost (£) 136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7 m2	Cost (£) 287
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Cost (£) 307
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 7 4 m2 164

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 2 13 m2 106 gloss/varnish to timber finishes

BUILDING: Block 07	UPRN:		LOOR: Level 2 - Basement Le			
ROOM: Bedroom 709	No : 003/	7/-1/019	USE:			
Element : Ceilings	CODE:5	Antino	One 18 1 D.2 19	115	0	Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 13 m2	Cost (£) 444
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 27 m2	Cost (£) 1,107
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 8 m2	Cost (£) 273
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Timber 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 1,367
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Carpet floor finish Fair No Action Required B 7 13 m2 533

Replacement

Repair Cost (£)

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling, decorative Fair No Action Required B 2 53 m2 434

paper to walls; gloss to timber finishes

Year 1
Repair Cost (£)

BUILDING: Block 07 ROOM: Toilet 709	UPRN : No : 003/7/-1/020		LOOR: Level 2 - Basement Le USE:	vel			
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 3 m2	Replacement Cost (£) 102	
	, 	, to reason to quito a	_	<u>-</u>	·	Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7 m2	Cost (£) 287	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Cost (£) 307	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Dowlessment	
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 2 m2	Replacement Cost (£) 82	
						Year 1 Repair Cost (£	

BUILDING: Block 07	UPRN:	FL	OOR : Level 2 - Basement Le	vel		
ROOM: Bedroom 710	No : 003/	7/-1/021	USE:			
Element : Ceilings	CODE :5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 13 m2	Cost (£) 444
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 27 m2	Cost (£) 1,107
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	8 m2	273
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	В	22	1 No	1,367
						Year 1 Repair Cost (£

Element : Floors **CODE**:5 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair, although slightly worn and Clean carpet В 4 7 13 m2 533 soiled in areas. Year 1 Repair Cost (£) 50 **Element**: Decoration CODE:5 Replacement

Action

Condition

Fair

Description

Emulsion to ceiling and walls;

gloss/varnish to timber finishes

No Action Required B 2 53 m2 434

Year 1
Repair Cost (£)

L'Expec

Quantity

Cost (£)

Cond/Ind Priority

UPRN:		LOOR : Level 2 - Basement Le			
No : 003/7/	/-1/022	USE:			
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 3 m2	Cost (£) 102
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7 m2	Cost (£) 287
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 2 m2	Cost (£) 82
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Cost (£)
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action No Action Required CODE:5 Condition Action Action No Action Required	CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B CODE :5 Condition Action Cond/Ind Priority Fair No Action Required B	CODE :5 Condition Action No Action Required B 32 CODE :5 Condition Action Cond/Ind Priority L'Expec 32 Condition Action Required B 32 CODE :5 Condition Action Required B 32 CODE :5 Condition Action Cond/Ind Priority L'Expec 32 CODE :5 Condition Action Required B 32	CODE : 5 Condition

BUILDING: Block 07 ROOM: Bedroom 711	UPRN : No : 003/7/-1	/023	FLOOR: Level 2 - Basement Level USE:				
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	ı	Cond/Ind Priority B	L'Expec 32	Quantity 13 m2	Replacement Cost (£) 444 Year 1
Element : Walls Description Plaster walls	CODE:5 Condition Fair, slight stain in corner at ceiling	Action No Action Required		Cond/Ind Priority B	L'Expec 32	Quantity 27 m2	Replacement Cost (£) 1,107 Year 1 Repair Cost (£
Element : Walls Description Plasterboard walls	CODE:5 Condition Fair	Action No Action Required	1	Cond/Ind Priority B	L'Expec 32	Quantity 8 m2	Replacement Cost (£) 273 Year 1 Repair Cost (£
Element : Doors Description Timber 1 hour fire door set	CODE:5 Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Replacement Cost (£) 1,367 Year 1 Repair Cost (£

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Carpet floor finish Fair No Action Required B 7 13 m2 533

Year 1

Repair Cost (£)

Replacement

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 2 53 m2 434 gloss/varnish to timber finishes

BUILDING: Block 07 ROOM: Toilet 711	UPRN : No : 003/7/-1/024		LOOR: Level 2 - Basement Le			
Element : Ceilings Description	CODE:5 Condition	Action	Cond/Ind Priority	-	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	32	3 m2	102 Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7 m2	Cost (£) 287
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Cost (£) 307
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 2 m2	Cost (£) 82
						Year 1 Repair Cost (£

BUILDING: Block 07 **UPRN**: **FLOOR**: Level 2 - Basement Level

ROOM: Boiler Tank Cupboard **No**: 003/7/-1/025 **USE**:

Element : Ceilings CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Profiled metal panels Fair No Action Required B 32 2 m2 136

Repair Cost (£)

Element : Walls CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Block pointed finish (painted) Fair No Action Required B 40 9 m2 246

Year 1 Repair Cost (£)

Element : Doors CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber 1 hour fire door set Fair No Action Required B 22 1 No 1,367

Repair Cost (£)

Element : Floors CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Unpainted Concrete Fair, although slightly uneven in No Action Required B 37 2 m2 136

areas

Year 1
Repair Cost (£)

Replacement

Replacement

Year 1

Year 1

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityEmulsion to walls; gloss/varnish to timber finishesFairNo Action RequiredB49r

Year 1 Repair Cost (£)

Replacement

Cost (£)

73

m2

BUILDING: Block 07 UPRN: FLOOR: Level 1 - Calton Road Street Level

ROOM: Circulation Area/Stairwell

No: 003/7/-2/001

USE:

Element : Ceilings CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plasterboard ceiling Fair No Action Required B 32 26 m2 888

Repair Cost (£)

Year 1

Year 1

Element : Walls CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plaster walls Fair No Action Required B 32 160 m2 6,562

Year 1 Repair Cost (£)

Element : Doors CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

1 hour fire door set Fair No Action Required B 22 6 No 8,202

Repair Cost (£)

Element : Floors CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Carpet floor finish, with colour- Fair No Action Required B 7 52 m2 2,500 contrasted step nosings.

Element: Decoration **CODE**:5

Pescription Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; gloss/varnish to timber finishes

Replacement Cond/Ind Priority L'Expec Quantity Cost (£)

No Action Required B 2 286 m2 2,345

BUILDING: Block 07 ROOM: Circulation Area	UPRN : No : 003/7		FLOOR : Lo	evel 1 - Calton Road S	Street Level			
Element : Ceilings	CODE:5							Danlasamant
Description Plasterboard ceiling	Condition Fair	Action No Action Required		Cond/Ind Priority	L'Expec 32	Quantit 19	y m2	Replacement Cost (£) 649
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Danlasamant
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantit	V	Replacement Cost (£)
Plaster walls	Fair	No Action Required		В	32	58	m2	2,378
								Year 1 Repair Cost (£
Element : Floors	CODE:5							Denlacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantit	у	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required		В	7	19	m2	779
·								Year 1 Repair Cost (£
Element : Decoration	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantit	у	Cost (£)
Emulsion to ceiling and walls;	Fair	No Action Required		В	2	77	m2	631
gloss/varnish to timber finishes								Year 1 Repair Cost (£

BUILDING: Block 07				FLOOR: Level 1 - Calton Road Street Level			
ROOM: Bedroom 706	No : 003/	7/-2/003	USE:				
Element : Ceilings	CODE :5						Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 15	/ m2	Cost (£) 512
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 30	/ m2	Cost (£) 1,230
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9	/ m2	Cost (£) 307
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	/	Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	В	22	1	No	1,367
							Year 1 Repair Cost (£

Element : Floors **CODE**:5 **Description** Condition Action Cond/Ind Priority L'Expec Quantity Carpet floor finish Fair, although slightly worn and Clean carpet В 4 7 15 m2 soiled in areas.

Element: Decoration **CODE**:5

DescriptionEmulsion to ceiling and walls; gloss/varnish to timber finishes

ConditionActionCond/Ind PriorityL'ExpecQuantityFairNo Action RequiredB254

Year 1 Repair Cost (£)

Replacement

Cost (£)

442

Replacement

Repair Cost (£)

Cost (£)

Year 1

615

50

m2

BUILDING: Block 07 ROOM: Toilet 706	UPRN : No : 003		LOOR: Level 1 - Calton Road	Street Level		
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 3 m2	Replacement Cost (£) 102 Year 1
Element : Walls Description Pre-finished board	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7 m2	Replacement Cost (£) 287 Year 1 Repair Cost (£
Element : Walls Description Plasterboard walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Replacement Cost (£) 307 Year 1 Repair Cost (£
Element : Walls Description Plaster walls	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 2 m2	Replacement Cost (£) 82 Year 1 Repair Cost (£

BUILDING: Block 07	UPRN:		FLOOR: Level 1 - Calton Road Street Level			
ROOM: Bedroom 705	No : 003/	7/-2/005	USE:			
Element : Ceilings	CODE :5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 12 m	Cost (£) n2 410
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 27 m	Cost (£) 1,107
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	8 m	12 273
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	В	22	1 N	o 1,367
						Year 1 Repair Cost (£

Element : Floors

Condition

Description

Action

Cond/Ind Priority D

L'Expec

Quantity

Replacement Cost (£) 984

Compressed board

Poor, worn and stained.

CODE:5

Replace

4

Replace/In 12

m2

Year 1

Repair Cost (£)

Element: Decoration

CODE:5

Condition

Action

Cond/Ind Priority D

L'Expec 4 Replace/In 52

Quantity m2 Cost (£)

Replacement

426

Repair Cost (£)

Description

Emulsion to ceiling and walls; gloss/varnish to timber finishes Poor

Replace

Year 1

	Replacement
nantity m2	Cost (£)
	Year 1 Repair Cost (£
	Replacement
nantity m2	Cost (£)
	Year 1 Repair Cost (£
	Replacement
nantity m2	Cost (£)
	Year 1 Repair Cost (£
	Replacement
iantity No	Cost (£)
	Year 1 Repair Cost (£
	m2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 7 4 m2 164

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 2 13 m2 106 gloss/varnish to timber finishes

Year 1
Repair Cost (£)

BUILDING: Block 07	UPRN:	FLO	OR: Level 1 - Calton Road S	Street Level		
ROOM: Bedroom 704	No : 003/7/-2/007		USE:			
Element : Ceilings	CODE:5					Replacemer
Description Plasterboard ceiling	Condition Fair, with staining in isolated	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 12 n	Cost (£) n2 410
	areas					Year 1 Repair Cost
Element : Walls	CODE:5					Replacemer
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster walls	Fair	No Action Required	В	32	27 n	n2 1,107
						Year 1 Repair Cost
Element : Walls	CODE:5					Replacemer
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	8 n	n2 273
						Year 1 Repair Cost
Element : Doors	CODE:5					Replacemer
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	В	22	1 N	lo 1,367
						Year 1 Repair Cost

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 12 m2 492

Year 1 Repair Cost (£)

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 2 52 m2 426 gloss/varnish to timber finishes

Year 1 Repair Cost (£)

Replacement

BUILDING: Block 07 ROOM: Toilet 704	UPRN: No: 003/7/-2/008		FLOOR : Level 1 - Calton Road Street Level USE :					
Element : Ceilings	CODE:5						Replacement	
Description Plasterboard ceiling	Condition Fair, although slight damage in isolated area	Action Make good finish		Cond/Ind Priority B 4	L'Expec 32	Quantity 3 m2	Cost (£) 102	
	isolateu area						Year 1 Repair Cost (£ 100	
Element : Walls	CODE:5						Replacement	
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Pre-finished board	Fair	No Action Required	d	В	32	7 m2	287	
							Year 1 Repair Cost (£	
Element : Walls	CODE:5						Replacement	
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plasterboard walls	Fair	No Action Required	t	В	32	9 m2	307	
							Year 1 Repair Cost (£	
Element : Walls	CODE:5						Replacement	
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plaster walls	Fair	No Action Required	d	В	32	2 m2	82	
							Year 1 Repair Cost (£)	

BUILDING: Block 07 ROOM: Bedroom 703	UPRN : No : 003/7/-2		FLOOR : Lo	evel 1 - Calton Road S	Street Level		
Element : Ceilings Description	CODE:5 Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required		В	32	12 m2	410
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster walls	Fair, slight stain in corner at ceiling	No Action Required		В	32	27 m2	1,107
	Cening						Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required		В	32	8 m2	273
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Timber 1 hour fire door set	Fair	No Action Required		В	22	1 No	1,367
							Year 1 Repair Cost (£

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 12 m2 492

Year 1 Repair Cost (£)

Element : Decoration **CODE :** 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 2 52 m2 426 gloss/varnish to timber finishes

Year 1 Repair Cost (£)

Replacement

BUILDING: Block 07 ROOM: Toilet 703	UPRN : No : 003	FI /7/-2/010	LOOR: Level 1 - Calton Road S	Street Level		
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 3 m2	Replacement Cost (£) 102 Year 1 Repair Cost (£
Element : Walls Description Pre-finished board	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7 m2	Replacement Cost (£) 287 Year 1 Repair Cost (£
Element : Walls Description Plaster walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 2 m2	Replacement Cost (£) 82 Year 1 Repair Cost (£
Element : Walls Description Plasterboard walls	CODE:5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Replacement Cost (£) 307 Year 1 Repair Cost (£

BUILDING: Block 07			FLOOR: Level 1 - Calton Road Street Level			
ROOM: Bedroom 702	No : 003	/7/-2/011	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 12 n	Cost (£) n2 410
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 27 n	Cost (£) n2 1,107
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	32	8 n	n2 273
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	В	22	1 N	lo 1,367
						Year 1 Repair Cost (£

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet sheet finish Fair No Action Required В 7 12 m2 984

Year 1
Repair Cost (£)

Element : Decoration CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 2 52 m2 426

Emulsion to ceiling and walls; Fair No Action Required B 2 52 m2 426 gloss/varnish to timber finishes

Year 1

BUILDING: Block 07 ROOM: Toilet 702	UPRN : No : 003/		OOR : Level 1 - Calton Road S	Street Level		
Element : Ceilings Description Plasterboard ceiling	CODE : 5 Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 3 m2	Replacement Cost (£) 102 Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7 m2	Cost (£) 287
Fre-iiiisiieu boaiu		, to / totton / toquilou	_	32		Year 1 Repair Cost (£
Element : Walls	CODE:5					Danlacament
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 2 m2	Replacement Cost (£) 82
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Danisaansaat
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Replacement Cost (£) 307
						Year 1 Repair Cost (£

BUILDING: Block 07	UPRN:		OOR : Level 1 - Calton Road			
ROOM: Living room 718	No : 003/7	7/-2/013	USE :			
Element : Ceilings Description	CODE : 5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	32	15 m	` '
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 28 m	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Ceramic tiles to walls	Condition	Action	Cond/Ind Priority	L'Expec 27	Quantity 3 m	Cost (£)
Ceramic liles to Walls	Fair	No Action Required	В	∠ 1	3 m	2 246 Year 1
						Repair Cost (£

Element : Doors	CODE:5					Donlogomont
Description Timber 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 2 No	Replacement Cost (£) 2,734
		1			_ ,,,	Year 1 Repair Cost (£)
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 7	Quantity 8 m2	Cost (£) 328
						Year 1 Repair Cost (£)
Element : Floors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	В	7	6 m2	246
						Year 1 Repair Cost (£)
Element : Decoration	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Emulsion to ceiling, decorative paper to walls; gloss to timber	Fair, although slight lifting of paperwork	No Action Required	В	2	52 m2	426
finishes	paperwork					Year 1 Repair Cost (£)

BUILDING : Block 07	UPRN : No : 003/7/-2/014		FLOOR: Level 1 - Calton Road Street Level				
ROOM: Toilet 718	No : 003/7	/-2/014	USE :				
Element : Ceilings	CODE:5						Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 4	/ m2	Cost (£) 136
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7	/ m2	Cost (£) 287
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9	/ m2	Cost (£) 307
							Year 1 Repair Cost (£)
Element : Doors	CODE:5						Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1	/ No	Cost (£) 492
							Year 1 Repair Cost (£

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Vinyl sheet finish (non-slip)FairNo Action RequiredB74m2164

Year 1

Replacement

Replacement

Repair Cost (£)

Element: Decoration **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 2 13 m2 106 gloss/varnish to timber finishes

Year 1
Repair Cost (£)

UPRN : No : 003/7/-2/015		FLOOR: Level 1 - Calton Road Street Level			
		USE:			
CODE : 5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 10 m2	Cost (£) 341
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 14 m2	Cost (£) 574
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 11 m2	Cost (£) 375
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required Action No Action Required Action No Action Required	CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required B CODE :5 Condition Fair Action No Action Required B CODE :5 Condition Fair Action No Action Required B CODE :5 Condition Action Fair Action No Action Required B Cond/Ind Priority B	CODE :5 Condition Action No Action Required B L'Expec Fair Action No Action Required B L'Expec Condition Action Required B L'Expec Fair No Action Required B L'Expec Fair No Action Required B S 32 CODE :5 Condition Action Required B L'Expec Fair Action Cond/Ind Priority L'Expec Fair No Action Required B S 32 CODE :5 Condition Action Required B Cond/Ind Priority L'Expec Source Required B S 32	CODE :5 Condition Action No Action Required B

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Carpet floor finishFairNo Action RequiredB710m2410

Year 1 Repair Cost (£)

Replacement

Element : Decoration CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Emulsion to ceiling, decorative Fair No Action Required В 2 35 m2 287

paper to walls; gloss to timber finishes

Year 1
Repair Cost (£)

FLOOR: Level 1 - Calton Road Street Level BUILDING: Block 07 **UPRN: ROOM:** Circulation area 717 USE: No: 003/7/-2/016 **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Plasterboard ceiling Fair, although slight water No Action Required В 32 3 102 m2 staining to ceiling finish Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement Cond/Ind Priority L'Expec Cost (£) Condition **Action Description** Quantity Plaster walls Fair No Action Required В 32 10 410 m2 Year 1 Repair Cost (£) CODE:5 **Element:** Doors Replacement Condition **Action** Cond/Ind Priority Cost (£) Description L'Expec Quantity В 22 1,367 Timber 1 hour fire door set No Action Required Fair No Year 1 Repair Cost (£) CODE:5 **Element:** Floors Replacement Cond/Ind Priority **Description** Condition L'Expec Cost (£) **Action** Quantity Carpet floor finish No Action Required В 7 3 Fair m2 123 Year 1 Repair Cost (£)

Element: Decoration CODE:5

Description

Emulsion to ceiling, decorative paper to walls; gloss to timber finishes

Condition Fair

Action No Action Required Cond/Ind Priority L'Expec В

Quantity 2 13

Cost (£) m2 106

> Year 1 Repair Cost (£)

Replacement

BUILDING: Block 07 ROOM: Store 717	UPRN : No : 003/7/-2/017		FLOOR: Level 1 - Calton Road Street Level USE:				
Element : Ceilings Description Underside of Stairs	CODE:5 Condition Fair, although slight water staining to ceiling finish	Action No Action Required	d	Cond/Ind Priority B	L'Expec 32	Quantity 2 m2	Replacement Cost (£) 68 Year 1 Repair Cost (£)
Element : Walls Description Plaster walls	CODE:5 Condition Fair	Action No Action Required	d	Cond/Ind Priority B	L'Expec 32	Quantity 10 m2	Replacement Cost (£) 410 Year 1 Repair Cost (£)
Element : Doors Description Timber 1/2 hour fire door set	CODE : 5 Condition Fair	Action No Action Required	d	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Replacement Cost (£) 1,025 Year 1 Repair Cost (£)
Element : Floors Description Carpet floor finish	CODE:5 Condition Fair	Action No Action Required	d	Cond/Ind Priority B	L'Expec 7	Quantity 2 m2	Replacement Cost (£) 82 Year 1 Repair Cost (£)

Element: Decoration CODE:5

Description

Emulsion to ceiling, decorative paper to walls; gloss to timber finishes

Condition Fair

Action No Action Required Cond/Ind Priority L'Expec В

2

Quantity 12 m2

98

Replacement

Cost (£)

Year 1 Repair Cost (£)

BUILDING: Block 07	UPRN:		FLOOR: Level 1 - Calton Road Street Level				
ROOM: Living room 717	No : 003/	7/-2/018	USE:				
Element : Ceilings	CODE : 5	Action	Condited Driceite	LEvnes	Ouantiti		Replacement
Description Plasterboard ceiling	Fair	No Action Required	Cond/Ind Priority B	L'Expec 32	Quantit 16	y m2	Cost (£) 546
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description	Condition	Action	Cond/Ind Priority	•	Quantit	•	Cost (£)
Plaster walls	Fair	No Action Required	В	32	24	m2	984
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantit	у	Cost (£)
Ceramic tiles to walls	Fair	No Action Required	В	27	3	m2	246
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantit 9	y m2	Cost (£) 369
i iasterboard walls	ı alı	No Action Nequiled	ט	J <u>L</u>	9	1112	
							Year 1 Repair Cost (£

Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Timber 1 hour fire door set	Fair	No Action Required	В	22	1 No	1,367
						Year 1 Repair Cost (£)
Element : Floors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Carpet floor finish	Fair	No Action Required	В	7	10 m2	410
						Year 1 Repair Cost (£)
Element : Floors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Vinyl sheet finish	Fair	No Action Required	В	7	6 m2	246
						Year 1 Repair Cost (£)
Element : Decoration	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Emulsion to ceiling, decorative paper to walls; gloss to timber	Fair, although slight lifting of paperwork	No Action Required	В	2	52 m2	426
finishes						Year 1 Repair Cost (£)

BUILDING: Block 07 ROOM: Bedroom 717	UPRN : No : 003/7/-2/019		FLOOR : Level 1 - Calton Road Street Level USE :				
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair, although slight water staining to ceiling finish	Action No Action Required	d	Cond/Ind Priority B	L'Expec 32	Quantity 10 m2	Replacement Cost (£) 341 Year 1 Repair Cost (£)
Element : Walls Description Plaster walls	CODE:5 Condition Fair	Action No Action Required	d	Cond/Ind Priority B	L'Expec 32	Quantity 14 m2	Replacement Cost (£) 574 Year 1 Repair Cost (£
Element : Walls Description Plasterboard walls	CODE:5 Condition Fair	Action No Action Required	d	Cond/Ind Priority B	L'Expec 32	Quantity 11 m2	Replacement Cost (£) 375 Year 1 Repair Cost (£)
Element : Doors Description Softwood timber flush	CODE : 5 Condition Fair	Action No Action Required	d	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Replacement Cost (£) 492 Year 1 Repair Cost (£)

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Carpet floor finishFairNo Action RequiredB710m2410

Year 1 Repair Cost (£)

Replacement

Element : Decoration CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Emulsion to ceiling, decorative Fair No Action Required В 2 35 m2 287

paper to walls; gloss to timber finishes

Year 1
Repair Cost (£)

BUILDING: Block 07	UPRN:		LOOR : Level 1 - Calton Road			
ROOM: Toilet 717	No : 003.	/7/-2/020	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 4 m2	Cost (£) 136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7 m2	Cost (£) 287
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Cost (£) 307
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 7 4 m2 164

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 2 13 m2 106 gloss/varnish to timber finishes

FLOOR: Level 1 - Calton Road Street Level BUILDING: Block 07 **UPRN:** ROOM: Circulation area 701 USE: No: 003/7/-2/021 **Element**: Ceilings CODE:5 Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Plasterboard ceiling Fair, although slight water No Action Required В 32 4 136 m2 staining to ceiling finish Year 1 Repair Cost (£) Element: Walls CODE:5 Replacement Cond/Ind Priority L'Expec Cost (£) Condition Action **Description** Quantity Plaster walls Fair No Action Required В 32 8 328 m2 Year 1 Repair Cost (£) CODE:5 Element: Walls Replacement Condition **Description Action** Cond/Ind Priority L'Expec Cost (£) Quantity 32 Plasterboard walls No Action Required В 6 205 Fair m2 Year 1 Repair Cost (£) CODE:5 **Element:** Doors Replacement Cond/Ind Priority **Description** Condition L'Expec Cost (£) **Action** Quantity 22 No Action Required 1,367 Timber 1 hour fire door set Fair В No Year 1 Repair Cost (£)

Element : Floors **CODE**:5

Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Fair No Action Required В 7 4 m2 164

Year 1 Repair Cost (£)

Replacement

Replacement

Element: Decoration CODE:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling, decorative Fair No Action Required В 2 18 m2 147

paper to walls; gloss to timber finishes Year 1 Repair Cost (£)

BUILDING: Block 07	UPRN:	F	LOOR : Level 1 - Calton Road			
ROOM: Toilet 701	No : 003.	/7/-2/022	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 4 m2	Cost (£) 136
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Pre-finished board	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 7 m2	Cost (£) 287
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 9 m2	Cost (£) 307
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet finish (non-slip) Fair No Action Required B 7 4 m2 164

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 2 13 m2 106 gloss/varnish to timber finishes

BUILDING: Block 07	UPRN:	FL	FLOOR: Level 1 - Calton Road Street Level				
ROOM: Bedroom 701	No : 003/7	7/-2/023	USE:				
Element : Ceilings	CODE:5						Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 14	m2	Cost (£) 478
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 21	m2	Cost (£) 861
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 32	Quantity 11	m2	Cost (£) 375
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description Timber 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 22	Quantity 1	No	Cost (£) 1,367
							Year 1 Repair Cost (£

Element : Floors CODE : 5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Carpet floor finishFairNo Action RequiredB714m2574

'
Year 1

Replacement

Repair Cost (£)

Element : Decoration CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls: Fair, although slight lifting of No Action Required B 2 46 m2 377

Emulsion to ceiling and walls; Fair, although slight lifting of No Action Required B 2 46 m2 377 gloss/varnish to timber finishes paperwork

BUILDING: Block 07 **UPRN**: **FLOOR**: Level 1 - Calton Road Street Level

ROOM: Circulation Area/Stairwell No: 003/7/-2/024 USE:

Element : Ceilings CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plasterboard ceiling Fair No Action Required B 32 11 m2 375

Year 1 Repair Cost (£)

Element : Walls CODE : 5

Replacement

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plactor wells Condition Cond/Ind Priority L'Expec Quantity Cost (£)

Plaster walls Fair No Action Required B 32 58 m2 2,378

Year 1 Repair Cost (£)

Replacement

Element : Doors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

1 hour fire door set Fair No Action Required B 22 1 No 1,367

Year 1
Repair Cost (£)

Element : Floors CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Carpet floor finish, with colour- Fair No Action Required B 7 11 m2 650 contrasted step nosings.

Element: Decoration **CODE**:5

Pescription Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Emulsion to ceiling and walls; Fair No Action Required B 2 69 m2 565 gloss/varnish to timber finishes

BUILDING: Block 07 UPRN: FLOOR: Level 1 - Calton Road Street Level

ROOM: Boiler Room **No**: 003/7/-2/025 **USE**:

Element : Walls CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Block pointed finish (unpainted) Fair No Action Required B 40 38 m2 1,038

Repair Cost (£)

Replacement

Year 1

Year 1

Repair Cost (£)

Element : Floors CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Unpainted Concrete Fair No Action Required B 40 16 m2 1,093

Year 1 Repair Cost (£)

Element: Decoration **CODE**:5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Gloss/varnish to timber finishes Fair No Action Required B 2 2 m2 16

BUILDING: Block 07 UPRN: FLOOR: Level 1 - Calton Road Street Level

ROOM: Electrical Fuse Cupboard No: 003/7/-2/026 USE:

Element : Ceilings CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Concrete beams unfinished Fair No Action Required B 40 2 m2

Repair Cost (£)

Element : Walls CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Block pointed finish (unpainted) Fair No Action Required B 40 9 m2 246

No Action Required 11 11 10 Action Required 15 40 9 1112 240

Element : Doors CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber 1 hour fire door set Fair No Action Required B 22 1 No 1,367

Year 1 Repair Cost (£)

Element : Floors CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Unpainted Concrete Fair, although slightly uneven in No Action Required B 37 2 m2 136

areas

Year 1
Repair Cost (£)

Year 1

Year 1

Replacement

Repair Cost (£)

FIXTURES & FITTINGS

BUILDING: Block 07 UPRN: FLOOR: Level 1 - Calton Road Street Level

ROOM: Circulation Area/Stairwell

No: 003/7/-2/001

USE:

Element : Built in cupboards CODE : 6

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber built-in cupboard (under Fair No action required B 22 1 No 2,000

stair), including door

BUILDING: Block 07 UPRN: FLOOR: Level 1 - Calton Road Street Level

ROOM: Living room 718 **No**: 003/7/-2/013 **USE**:

Element : Worktops CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Laminate / chipboard worktop Fair No action required B 12 3 m2 205

Repair Cost (£)

Year 1

Replacement

Element : Built in cupboards CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber base and wall units Fair No action required B 22 6 No 4,921

BUILDING: Block 07 UPRN: FLOOR: Level 1 - Calton Road Street Level

ROOM: Living room 717 **No**: 003/7/-2/018 **USE**:

Element: Worktops CODE:6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Laminate / chipboard worktop Fair No action required B 12 3 m2 205

Repair Cost (£)

Element : Built in cupboards CODE : 6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber base and wall units Fair No action required B 22 6 No 4,921

Year 1 Repair Cost (£)

Year 1

Replacement

SANITARY

BUILDING: Block 07 UPRN: FLOOR: Level 2 - Basement Level

ROOM: Toilet 716 **No**: 003/7/-1/003 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 22 1 No 328

Repair Cost (£)

Year 1

Replacement

Repair Cost (£)

Year 1

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 22 1 No 328

Year 1

Element : Cubicles CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Shower cubicle Fair No action required B 15 1 No 820

Repair Cost (£)

Element : Showers CODE : 7

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Shower heads/mixer valve Fair No action required B 17 1 No 1,148

Year 1

BUILDING: Block 07 **UPRN:** FLOOR: Level 2 - Basement Level ROOM: Toilet 715 USE: **No**: 003/7/-1/005 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 22 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) No action required 22 Ceramic WHB Fair В Nο 328 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 1,148 Shower heads/mixer valve Fair В 17 No Year 1 Repair Cost (£) CODE:7 Element: Baths Replacement Cond/Ind Priority L'Expec Quantity Cost (£) **Description** Condition Action Pressed steel bath Fair No action required В 22 No 656 Year 1 Repair Cost (£) **BUILDING:** Block 07 **UPRN:** FLOOR: Level 2 - Basement Level ROOM: Toilet 714 USE: No: 003/7/-1/007 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 22 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) No action required 22 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required Shower cubicle Fair В 15 No 820 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement Cond/Ind Priority L'Expec Quantity **Description** Condition **Action** Cost (£) Shower heads/mixer valve Fair No action required В 17 No 1,148 Year 1 Repair Cost (£) **BUILDING:** Block 07 **UPRN:** FLOOR: Level 2 - Basement Level ROOM: Toilet 713 USE: **No**: 003/7/-1/010 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 22 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) No action required 22 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required Shower cubicle Fair В 15 No 820 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement Cond/Ind Priority L'Expec Quantity **Description** Condition **Action** Cost (£) Shower heads/mixer valve Fair No action required В 17 No 1,148 Year 1 Repair Cost (£) **BUILDING:** Block 07 UPRN: FLOOR: Level 2 - Basement Level ROOM: Toilet 712 USE: **No**: 003/7/-1/012 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 22 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) No action required 22 Ceramic WHB Fair В Nο 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required Shower cubicle Fair В 15 No 820 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement Cond/Ind Priority L'Expec Quantity **Description** Condition **Action** Cost (£) Shower heads/mixer valve Fair No action required В 17 No 1,148 Year 1 Repair Cost (£) **BUILDING:** Block 07 **UPRN:** FLOOR: Level 2 - Basement Level ROOM: Toilet 707 USE: **No**: 003/7/-1/015 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 22 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) No action required 22 Ceramic WHB Fair В Nο 328 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 1,148 Shower heads/mixer valve Fair В 17 No Year 1 Repair Cost (£) CODE:7 Element: Baths Replacement Cond/Ind Priority L'Expec Quantity Cost (£) **Description** Condition **Action** Pressed steel bath Fair No action required В 22 No 656 Year 1 Repair Cost (£) **BUILDING:** Block 07 **UPRN:** FLOOR: Level 2 - Basement Level ROOM: Toilet 708 USE: No: 003/7/-1/018 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 22 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) No action required 22 Ceramic WHB Fair В Nο 328 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 1,148 Shower heads/mixer valve Fair В 17 No Year 1 Repair Cost (£) CODE:7 Element: Baths Replacement Cond/Ind Priority L'Expec Quantity Cost (£) **Description** Condition **Action** Pressed steel bath Fair No action required В 22 No 656 Year 1 Repair Cost (£) **BUILDING:** Block 07 **UPRN:** FLOOR: Level 2 - Basement Level ROOM: Toilet 709 USE: **No**: 003/7/-1/020 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 22 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) No action required 22 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required Shower cubicle Fair В 15 No 820 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement Cond/Ind Priority L'Expec Quantity **Description** Condition **Action** Cost (£) Shower heads/mixer valve Fair No action required В 17 No 1,148 Year 1 Repair Cost (£) **BUILDING:** Block 07 UPRN: FLOOR: Level 2 - Basement Level ROOM: Toilet 710 USE: **No**: 003/7/-1/022 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 22 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) No action required 22 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required Shower cubicle Fair В 15 No 820 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement Cond/Ind Priority L'Expec Quantity **Description** Condition **Action** Cost (£) Shower heads/mixer valve Fair No action required В 17 No 1,148 Year 1 Repair Cost (£) **BUILDING:** Block 07 **UPRN:** FLOOR: Level 2 - Basement Level ROOM: Toilet 711 USE: No: 003/7/-1/024 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 22 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition **Action** L'Expec Quantity Cost (£) No action required 22 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required Shower cubicle Fair В 15 No 820 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement Cond/Ind Priority L'Expec Quantity **Description** Condition **Action** Cost (£) Shower heads/mixer valve Fair No action required В 17 No 1,148 Year 1 Repair Cost (£) **BUILDING:** Block 07 FLOOR: Level 1 - Calton Road Street Level **UPRN:** ROOM: Toilet 706 USE: No: 003/7/-2/004 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 22 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) No action required 22 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required Shower cubicle Fair В 15 No 820 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement Cond/Ind Priority L'Expec Quantity **Description** Condition **Action** Cost (£) Shower heads/mixer valve Fair No action required В 17 No 1,148 Year 1 Repair Cost (£) **BUILDING:** Block 07 **UPRN:** FLOOR: Level 1 - Calton Road Street Level ROOM: Toilet 705 No: 003/7/-2/006 USE: CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl D Replace/In 1 Poor Replace 4 No 328 Year 1 Repair Cost (£) CODE:7 **Element:** Basins Replacement Action Cond/Ind Priority L'Expec Quantity Cost (£) **Description** Condition Ceramic WHB 328 Fair No action required В 22 1 No Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement Condition L'Expec **Description** Action Cond/Ind Priority Cost (£) Quantity No action required В 1,148 Shower heads/mixer valve Fair 17 No Year 1 Repair Cost (£) CODE:7 Element: Baths Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Pressed steel bath 22 No action required В Fair No 656 Year 1 Repair Cost (£)

BUILDING: Block 07 FLOOR: Level 1 - Calton Road Street Level **UPRN:** ROOM: Toilet 704 USE: No: 003/7/-2/008 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 22 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) No action required 22 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required Shower cubicle Fair В 15 No 820 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement Cond/Ind Priority L'Expec Quantity **Description** Condition **Action** Cost (£) Shower heads/mixer valve Fair No action required В 17 No 1,148 Year 1 Repair Cost (£) **BUILDING:** Block 07 FLOOR: Level 1 - Calton Road Street Level **UPRN:** ROOM: Toilet 703 USE: No: 003/7/-2/010 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 22 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) No action required 22 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required Shower cubicle Fair В 15 No 820 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement Cond/Ind Priority L'Expec Quantity **Description** Condition **Action** Cost (£) Shower heads/mixer valve Fair No action required В 17 No 1,148 Year 1 Repair Cost (£) **BUILDING:** Block 07 FLOOR: Level 1 - Calton Road Street Level **UPRN:** ROOM: Toilet 702 USE: **No**: 003/7/-2/012 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 22 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) No action required 22 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element**: Cubicles CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required Shower cubicle Fair В 15 No 820 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement Cond/Ind Priority L'Expec Quantity **Description** Condition **Action** Cost (£) Shower heads/mixer valve Fair No action required В 17 No 1,148 Year 1 Repair Cost (£) **BUILDING:** Block 07 FLOOR: Level 1 - Calton Road Street Level UPRN: ROOM: Toilet 718 USE: No: 003/7/-2/014 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 22 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) No action required 22 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 1,148 Shower heads/mixer valve Fair В 17 No Year 1 Repair Cost (£) CODE:7 Element: Baths Replacement Cond/Ind Priority L'Expec Quantity Cost (£) **Description** Condition **Action** Pressed steel bath Fair No action required В 22 No 656 Year 1 Repair Cost (£) **BUILDING:** Block 07 FLOOR: Level 1 - Calton Road Street Level **UPRN:** ROOM: Toilet 717 USE: No: 003/7/-2/020 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 22 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) No action required 22 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 1,148 Shower heads/mixer valve Fair В 17 No Year 1 Repair Cost (£) CODE:7 Element: Baths Replacement Cond/Ind Priority L'Expec Quantity Cost (£) **Description** Condition **Action** Pressed steel bath Fair No action required В 22 No 656 Year 1 Repair Cost (£) **BUILDING:** Block 07 FLOOR: Level 1 - Calton Road Street Level UPRN: ROOM: Toilet 701 USE: **No**: 003/7/-2/022 CODE:7 Element: WC Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity Ceramic WC cistern and bowl No action required В 22 Fair 1 No 328 Year 1 Repair Cost (£) **Element:** Basins CODE:7 Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) No action required 22 Ceramic WHB Fair В No 328 Year 1 Repair Cost (£) **Element:** Showers CODE:7 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity No action required 1,148 Shower heads/mixer valve Fair В 17 No Year 1 Repair Cost (£) CODE:7 Element: Baths Replacement Cond/Ind Priority L'Expec Quantity Cost (£) **Description** Condition **Action** Pressed steel bath Fair No action required В 22 No 656 Year 1 Repair Cost (£)

MECHANICAL SERVICES

BUILDING: Block 07 **UPRN:** FLOOR: M&E

ROOM: M&E No: 003/7/M&E/M&E USE:

Element: Gas Heating System **CODE: 13**

Action L'Expec Condition Cond/Ind Priority Quantity Continue maintenance В 15

Heating was provided by 2 Ideal The heating and its associated Vicerov Gas fired boilers in equipment were in fair condition Whiteford block. Hot water from

with no defects evident.

Year 1 system was pumped round the Repair Cost (£) bld to a number of convection

Element: Extraction System

radiators, by a Biral pumping

CODE: 13

Description

Description

setup.

There was a mix of Xodus and Vent Axia single point extractors in use within the toilets in the resident's rooms.

Condition

The condition of these were fair

Continue Maintenance

with no defects noted.

Cond/Ind Priority L'Expec Quantity

В 15 3,500

Year 1

Cost (£)

Repair Cost (£)

Replacement

Replacement

Cost (£)

20.000

Element: Domestic Hot Water

CODE: 13

Description

Hot water was provided by the main boilers to two Calorfiers within the Glouster Block, the

Condition

The condition of this was fair

Action

Action

Continue Maintenance

Cond/Ind Priority В

L'Expec 15

Quantity

Replacement Cost (£) 20,000

Year 1

Repair Cost (£)

water was pumped to the resident's rooms by a pumping set up.

with no defects noted.

ELECTRICAL SERVICES

BUILDING: Block 07 FLOOR: M&E **UPRN:**

ROOM: M&E No: 003/7/M&E/M&E USE:

Element: Mains Distribution **CODE: 14**

Description

Power distribution was via a mix of Wylex, GET and Dorman Smith DBs located around the bld. Wiring was contained within trunking.

extensions in use.

Condition All were in a fair condition with no Continue Maintenance defects noted. However there was evidence of

Action

It is recomended that the policy on use of extensions is reviewed.

Cond/Ind Priority L'Expec

20

В

Replacement Quantity Cost (£) 50,000

> Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element: Light Fittings Internal

Description

In the main this was a mix of T5, T8, (fitted with anti glare diffusers) 2D, CFL, tungsten and halogen fittings. Some corridors were controlled by PIR's, all other **CODE: 14**

Condition

Action

The condition of the system was Continue maintenance

Cond/Ind Priority

В

L'Expec

20

Quantity

Replacement Cost (£) 25,000

Year 1

Repair Cost (£)

lighting were manually controlled. fair with no defects noted.

This survey did not look at system compliance, a further lighting compliance survey would be required.

Element : Light Fittings Internal	CODE:14					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
This consisted of a mix of	The condition of the system was fair with no defects noted.	Continue maintenance	В	20		8,000
maintained and non-maintained self contained fittings.	rail with no defects noted.	This survey did not look at system compliance, a further lighting compliance survey would be required.				Year 1 Repair Cost (£)
Element : Light Fittings External Description	CODE : 14 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
This consisted of a number of	The condition of the lighting and	Continue Maintenance	В	20		2,000
SON bulkhead fittings located around the boundary wall, these are controlled by timers.	its associated equipment was fair with no defects noted.	This survey did not look at system compliance, a further in depth compliance survey would				Year 1 Repair Cost (£

be required.

Element: Fire Alarms **CODE**:14 Replacement Condition Action Cond/Ind Priority L'Expec Cost (£) **Description** Quantity An automatic system consisting The condition of the system was Continue Maintenance. В 20 10,000 of a number of break glass fair with no defects noted. This survey did not look at system compliance, a further in depth compliance survey would manual call points, detectors and Year 1 audible alarms connected to the Repair Cost (£) main 3404 fire alarm control panel. be required.

OTHER M&E

BUILDING: Block 07 UPRN: FLOOR: M&E

ROOM: M & E **No**: 003/7/M&E/M&E **USE**:

Element: Elevator/Lifts **CODE**: 15

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)
There was a passenger lift
The condition of this and its
Continue maintenance.
B
15
80,000

Year 1

Repair Cost (£)

installed. associated equipment was fair with no defects noted

ROOFS

BUILDING: Block 08 UPRN: FLOOR: Roof

ROOM: Roof001 **No**: 003/8/R/001 **USE**:

Element : Covering CODE : 1

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Bituminous felt Fair, although nearing end of No action required В 5 16 1,640 m2

economic lifespan

action required b 5 to m2 1,04

Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

Element : Covering CODE : 1

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Natural slate Fair No action required 25 395 48,600 В m2

Element: Structure CODE:1 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) Timber joists and rafters No action required 35 395 m2 32,400 Fair В Year 1 Repair Cost (£) **Element:** Structure CODE:1 Replacement **Description** Cond/Ind Priority Condition Action L'Expec Quantity Cost (£) Timber joists and rafters No action required 16 Fair В 35 m2 1,312 Year 1 Repair Cost (£) **Element**: Flashings CODE:1 Replacement **Description** Condition Cond/Ind Priority L'Expec Quantity Cost (£) Action Lead (inc. in roof) Fair No action required В 25 130 9,774 m Year 1 Repair Cost (£) **Element**: Flashings CODE:1 Replacement L'Expec **Description** Condition Action Cond/Ind Priority Quantity Cost (£) 32 Cement fillet to skew No action required В 20 2,406 Fair m Year 1 Repair Cost (£)

Element: Rainwater goods CODE:1 Replacement Condition **Description** Action Cond/Ind Priority L'Expec Cost (£) Quantity CI gutters and downpipes and box Fair however requires Refix downpipe 3 4,032 В 20 59 m maintenance Year 1 Repair Cost (£) 60 Element: Chimney stacks/flues CODE:1 Replacement Cond/Ind Priority **Description** Condition Action L'Expec Cost (£) Quantity Brick / render No action required В 20 2,447 Fair No. Year 1 Repair Cost (£) **Element :** TV aerials/dishes etc CODE:1 Replacement **Description** Condition Cond/Ind Priority L'Expec Quantity Cost (£) Action Metal aerials/dishes Fair No action required В 10 No. 164 Year 1 Repair Cost (£) **Element**: Decoration CODE:1 Replacement Condition Cond/Ind Priority L'Expec **Description** Quantity Cost (£) **Action** Gloss paint to CI gutters and 59 Fair No action required В 3 483 m2 downpipes etc. Year 1 Repair Cost (£)

WALLS

BUILDING: Block 08 UPRN: FLOOR: Elevations

ROOM: Elevation001 **No**: 003/8/E/001 **USE**:

Element : External walls CODE : 2

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Wet Dash Fair No Action Required В 20 39 2,132 m2

> Year 1 Repair Cost (£)

Photo 2 Position



Element : External walls CODE : 2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Stone block wall Fair No Action Required 35 10 1,777 В m2 Door surround ,jambs and lintol

Photo 1

WHITEPOORD HOUSE

Photo 2 Position

 Element : Doors
 CODE :2

 Description
 Condition
 Action
 Cond/Ind Priority

 Hardwood timber flush/glazed
 Fair
 No Action Required
 B

Year 1 Repair Cost (£)

Replacement

Cost (£)

3,500

Quantity

No.

2

L'Expec

25

Element : Wall fixture & fittings CODE : 2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Metal lettering Fair No Action Required 15 15 1,500 В No "WHITEFOORD HOUSE"

Year 1
Repair Cost (£)

Element: Decoration **CODE**:2

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration 5 587 No Action Required В Fair 43 m2 Wet dash

Timber doors

Year 1

Repair Cost (£)

BUILDING: Block 08 **UPRN: FLOOR**: Elevations

ROOM: Elevation002 No: 003/8/E/002 USE:

Element: External walls CODE:2

Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) Wet Dash Fair No Action Required В 20 77 m2 4,210

Year 1

Repair Cost (£)

Photo 1



Position Photo 2

Element: External walls CODE:2

Description Condition Cond/Ind Priority L'Expec Action Quantity Cost (£) 600 Stone panel Fair No Action Required В 35 m2

> Year 1 Repair Cost (£)

Replacement

Element: Windows CODE:2

Condition **Description** Cond/Ind Priority L'Expec **Action** 6 No.Timber sash and case 10 Fair No Action Required В single glazed (1m2)

Year 1 Repair Cost (£)

Replacement

Cost (£)

2,460

Quantity

m2

6

Element: Windows CODE:2

Description 4 No.Timber sash and case single glazed (2m2)

Condition Fair

Action No Action Required Cond/Ind Priority L'Expec В 10

Quantity Cost (£) m2 3,281

Year 1 Repair Cost (£)

Replacement

Element: Decoration CODE:2

Description Re-decoration Wet dash Timber windows Cills

Condition Fair

Action No Action Required Cond/Ind Priority В

L'Expec 5

8

Quantity 105 m2 Replacement Cost (£) 1,435

Year 1

Repair Cost (£)

Element: Cills CODE:2

Description Concrete cill band Condition Fair

Action

No Action Required

Cond/Ind Priority В

L'Expec 35 26

Quantity m Replacement Cost (£) 13,000

Year 1

Repair Cost (£)

Photo 1



Photo 2

Position

BUILDING: Block 08 UPRN: FLOOR: Elevations

ROOM: Elevation003 **No**: 003/8/E/003 **USE**:

Element : External walls CODE : 2

Replacement Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Wet Dash Fair No Action Required В 20 2 m2 109

> Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element : Decoration **CODE :** 2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No Action Required m2 533 В 5 2 Wet dash

BUILDING: Block 08 UPRN: FLOOR: Elevations

ROOM: Elevation004 **No**: 003/8/E/004 **USE**:

Element : External walls CODE : 2

Replacement Condition **Description Action** Cond/Ind Priority L'Expec Quantity Cost (£) Wet Dash Fair No Action Required В 20 5 m2 273

> Year 1 Repair Cost (£)

Photo 2 Position



Element : Windows CODE : 2

Description2 No.Timber sash and case

single glazed (2m2)

ConditionActionFairNo Action Required

Cond/Ind Priority L'Expec
B 10

Quantity Cost (£) 4 m2 1,640

Year 1 Repair Cost (£)

Replacement

Element : Windows CODE : 2

DescriptionCondition1 No.Timber transome single
glazed (2m2)Fair

ConditionActionFairNo Action Required

Cond/Ind Priority L'Expec Quantity
B 10 2

Cost (£) m2 820

> Year 1 Repair Cost (£)

Replacement

Element : Doors CODE : 2

Replacement Condition Cond/Ind Priority Cost (£) **Description** Action L'Expec Quantity Hardwood timber glazed doors Fair, although showing signs of No Action Required В 5 2 No. 1,968

although showing signs of the Action Required B 5 2 No. 1,968

Year 1 Repair Cost (£)

Element : Decoration CODE : 2

age

Replacement Condition **Description Action** Cond/Ind Priority Cost (£) L'Expec Quantity Re-decoration Fair No Action Required В 5 17 232 m2 Wet dash Timber windows and doors Year 1 Cills Repair Cost (£)

Element : Cills CODE : 2

Replacement Condition Cond/Ind Priority **Description** L'Expec Quantity Cost (£) **Action** Concrete cills Fair No Action Required В 35 2 1,000 m

> Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

BUILDING: Block 08 UPRN: FLOOR: Elevations

ROOM: Elevation005 **No**: 003/8/E/005 **USE**:

Element : External walls CODE : 2

Replacement Condition **Description Action** Cond/Ind Priority L'Expec Quantity Cost (£) Wet Dash Fair No Action Required В 20 5 273 m2

> Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element: Windows CODE: 2

Description2 No.Timber sash and case

single glazed (2m2)

Condition Fair **Action**No Action Required

Cond/Ind Priority L'E

L'Expec Quantity 10 4 m2

1,640

Cost (£)

Year 1

Repair Cost (£)

Replacement

Element : Windows CODE : 2

Description1 No.Timber transome single glazed (2m2)

Condition Fair

ActionNo Action Required

Cond/Ind Priority L'Expec
B 10

'Expec Quar 0 2

 Quantity
 Replacement Cost (£)

 2
 m2
 820

Year 1

Repair Cost (£)

Element: Doors CODE:2

Condition **Description**

Cond/Ind Priority L'Expec Quantity Hardwood timber glazed doors Fair, although showing signs of No Action Required В 5 2 No.

Action

age

Year 1 Repair Cost (£)

Replacement

Cost (£)

1,968

Photo 1



Position Photo 2

Element: Decoration CODE:2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration No Action Required 17 m2 232 Fair В 5

Wet dash

Timber windows and doors

Cills

Year 1 Repair Cost (£)

Element: Cills CODE:2

Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) Concrete cills No Action Required В 35 2 1,000 Fair m

Photo 1



Photo 2 Position

BUILDING: Block 08 UPRN: FLOOR: Elevations

ROOM: Elevation006 **No**: 003/8/E/006 **USE**:

Element : External walls CODE : 2

Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) Wet Dash Fair No Action Required В 20 51 m2 2,788

> Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element: Windows CODE: 2

Description3 No.Timber sash and case

single glazed (2m2)

ConditionFair

ActionNo Action Required

Cond/Ind Priority L'Expec
B 10

L'Expec Quantity 10 6

Cost (£) 2,460

Year 1

Repair Cost (£)

Replacement

Element: Decoration **CODE**:2

DescriptionRe-decoration
Wet dash

ConditionFair

ActionNo Action Required

Cond/Ind Priority L'Exp

L'Expec Qu 5 63

Quantity 63 m2

m2

Replacement Cost (£)

Year 1

861

Repair Cost (£)

Element : Cills CODE : 2

Replacement

Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

No Action Required
B
35
6
m
3,000

Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

BUILDING: Block 08 **UPRN: FLOOR**: Elevations

ROOM: Elevation007 No: 003/8/E/007 USE:

Element: External walls CODE:2

Replacement Condition **Description Action** Cond/Ind Priority L'Expec Quantity Cost (£) Wet Dash No Action Required В 20 42 2,296 Fair m2

> Year 1 Repair Cost (£)

Replacement

Year 1

Photo 2 **Position**



Element: Windows CODE:2

single glazed (2m2)

Condition Cond/Ind Priority **Description** Action L'Expec 2 No.Timber sash and case Fair

Quantity Cost (£) No Action Required В 10 m2 1,640

Repair Cost (£)

Element: Windows CODE:2

Replacement Condition Description Cond/Ind Priority L'Expec Quantity Cost (£) **Action** 1 No.Timber transome single Fair m2 410 No Action Required В 10

glazed (1m2) Year 1 Repair Cost (£) **Element**: Doors CODE:2

Condition **Description**

Hardwood timber glazed door Fair, although showing signs of

age

Action

No Action Required

Cond/Ind Priority В

L'Expec 5

Quantity No. Replacement Cost (£)

984

Year 1

Repair Cost (£)

Replacement

Element: Decoration CODE:2

Description Re-decoration Wet dash

Timber windows and doors Cills

Condition

Fair

Action

No Action Required

Cond/Ind Priority В

L'Expec 5

Quantity 51

m2

Cost (£) 697

Year 1

Repair Cost (£)

Element: Cills CODE:2

Description Concrete cills Condition Fair

Action

No Action Required

Cond/Ind Priority В

L'Expec 35

Quantity 3 m Replacement Cost (£)

1,500

Year 1

Repair Cost (£)

Photo 1



Photo 2

Position

BUILDING: Block 08 UPRN: FLOOR: Elevations

ROOM: Elevation008 **No**: 003/8/E/008 **USE**:

Element : External walls CODE : 2

Replacement Condition Action Cond/Ind Priority **Description** L'Expec Quantity Cost (£) Wet Dash Fair No Action Required В 20 19 m2 1,038

> Year 1 Repair Cost (£)

Photo 1 Photo 2 Position



Element : External walls CODE : 2

Replacement Description Condition Cond/Ind Priority L'Expec Action Quantity Cost (£) 35 20 Stone wall Fair No Action Required В m2 3,554

> Year 1 Repair Cost (£)

Element: Decoration **CODE**:2

Condition **Description** Cond/Ind Priority L'Expec **Action** Quantity Cost (£) Re-decoration 5 39 Fair No Action Required В 533 m2 All wall finishes

> Year 1 Repair Cost (£)

Replacement

BUILDING: Block 08 UPRN: FLOOR: Elevations

ROOM: Elevation009 **No**: 003/8/E/009 **USE**:

Element : External walls CODE : 2

Replacement Description Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Wet Dash Fair No Action Required В 20 47 m2 2,570

> Year 1 Repair Cost (£)

Photo 2 Position



Element : Windows CODE : 2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) 2 No.Timber casement single Fair but with patching to cill Repair timber cill 10 m2 В 3 6 2,460 glazed (3m2)

Photo 1



Photo 2 **Position**

Element: Windows CODE:2

Description 1 No.Timber casement single

glazed (1m2)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

В

L'Expec 10

Quantity m2 Replacement Cost (£) 410

Year 1

Repair Cost (£)

Photo 1



Photo 2

Position

Element: Doors CODE:2

Description Timber flush door Condition Fair

Action No Action Required Cond/Ind Priority В

L'Expec 15

Quantity

No.

Year 1 Repair Cost (£)

Replacement

Cost (£)

984

Element: Decoration

Description Re-decoration

Wet dash Timber windows and door

Cills

CODE:2

Condition Action

Fair but redecorate damaged cill No Action Required

once repaired

Cond/Ind Priority L'Expec В

5

Quantity 59 m2 Cost (£) 806

Year 1

Repair Cost (£)

Replacement

CODE:2 **Element:** Cills

Description Concrete cills Condition Fair

Action

No Action Required

Cond/Ind Priority В

L'Expec 35

Quantity 3 m

Replacement Cost (£) 1,500

Year 1

Repair Cost (£)

Photo 1



Photo 2

Position

STRUCTURE

BUILDING: Block 08 UPRN: FLOOR: Structure

ROOM: Structure No: 003/8/St/St USE:

Element : Frame/Columns CODE : 4

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Brick structure Fair No action required B 40 m2

Repair Cost (£)

Year 1

Element : Floors CODE : 4

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber floors Fair No action required B 40 m2

Year 1 Repair Cost (£)

Element : Walls CODE : 4

Replacement

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Brick/block & render Fair No action required B 40 m2

ROOMS

BUILDING: Block 08	UPRN:	FLOOR: Level 3 - Canongate Street level Ground						
ROOM: Office	No : 003/8	/0/001	USE:					
Element : Ceilings	CODE:5							Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Pr B	iority L'Ex 20	•	Quantit y 28	y m2	Cost (£) 956
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Donlocoment
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Pr B	iority L'Ex 30		Quantity 38	y m2	Replacement Cost (£) 3,007
								Year 1 Repair Cost (£
Element : Doors	CODE:5							Replacement
Description 1 hour fire door set	Condition Fair	Action No Action Required	Cond/Ind Pr B	iority L'Ex 20	pec (Quantity 1	y No	Cost (£) 1,367
								Year 1 Repair Cost (£
Element : Floors	CODE:5							Replacement
Description Carpet floor finish	Condition Fair	Action No Action Required	Cond/Ind Pr B	iority L'Ex 5		Quantity 28	y m2	Cost (£) 1,148
								Year 1 Repair Cost (£

Element: Decoration **CODE**:5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationFairNo Action RequiredB2116m2951

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Year 1
Repair Cost (£)

Replacement

BUILDING : Block 08	UPRN : No : 003/8/0/001A			evel 3 - Canongate St	ound			
ROOM: Vestibule	No : 003/8/	/0/001A	USE :					
Element : Ceilings	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	/	Cost (£)
Plasterboard ceiling	Fair	No Action Required		В	20	2	m2	68
								Year 1 Repair Cost (£
Element : Walls	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	/	Cost (£)
Plaster on hard to walls	Fair	No Action Required		В	20	7	m2	239
								Year 1 Repair Cost (£
Element : Doors	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	/	Cost (£)
Softwood timber panelled top &	Fair	No Action Required		В	10	1	No	656
bottom glazed								Year 1 Repair Cost (£
Element : Floors	CODE:5							Replacement
Description	Condition	Action		Cond/Ind Priority	L'Expec	Quantity	/	Cost (£)
Carpet floor finish	Fair	No Action Required		В	5	2	m2	82
								Year 1 Repair Cost (£

Element : Decoration **CODE :** 5

Replacement Condition Cond/Ind Priority Cost (£) Description **Action** L'Expec Quantity Re-decoration Fair, although slightly marked No Action Required В 2 13 m2 106 Emulsion to ceiling and walls; gloss/varnish to timber finishes

BUILDING : Block 08 ROOM : Hall				FLOOR: Level 3 - Canongate Street level Ground						
	No : 003/8/0/00)2	USE :							
Element : Ceilings	CODE : 5								Replacement	
Description Plasterboard ceiling	Condition Fair, although minor damage to	Action Make good damaged		Cond/Ind B	Priority 4	L'Expec 30	Quantity 239	y m2	Cost (£) 8,168	
	plasterboard in isolated areas.	plasterboard finish							Year 1 Repair Cost (£) 250	
Element : Walls	CODE:5								Baulacamant	
Description Plasterboard walls	Condition Fair, although minor damage to	Action Make good damaged		Cond/Ind B	Priority 4	L'Expec 20	Quantity 152	y m2	Replacement Cost (£) 5,194	
riasterboard walls	plasterboard in isolated areas.	plasterboard finish		D	7	20	132	1112	Year 1 Repair Cost (£)	
Element : Doors	CODE:5								Danlagement	
Description 1 hour fire door set	Condition Fair	Action No Action Required		Cond/Ind B	Priority	L'Expec 20	Quantity 1	y No	Replacement Cost (£) 656	
									Year 1 Repair Cost (£)	
Element : Floors	CODE:5								Replacement	
Description Timber strip flooring including	Condition Fair	Action No Action Required		Cond/Ind B	Priority	L'Expec 20	Quantity 63	y m2	Cost (£) 2,583	
stage									Year 1 Repair Cost (£)	

Element : Floors CODE : 5

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Carpet floor finish Poor- stained, marked and torn. Replace С 4 Replace/In 159 m2 6,521

Year 1 Repair Cost (£)

Element: Decoration **CODE**:5

Replacement Condition Cond/Ind Priority Cost (£) Description Action L'Expec Quantity Re-decoration Poor Redecorate С 4 Replace/In 407 3,338 m2

Emulsion to walls; gloss/varnish to timber finishes

Year 1
Repair Cost (£)

BUILDING: Block 08 ROOM: Vestibule	UPRN: F No: 003/8/0/003 CODE:5		.OOR : Level 3 - Canongate St			
Element : Ceilings						Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	5 m2	170
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Timber panelling to walls	Fair	No Action Required	В	20	4 m2	273
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Hardwood timber panelled top & bottom glazed with floor springs	Fair	No Action Required	В	15	2 No	2,187
bottom glazed with hoor springs						Year 1 Repair Cost (£

Element : Floors CODE : 5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Quarry tiled floorFairNo Action RequiredB203m2123

Year 1
Repair Cost (£)

Replacement

Replacement

Element : Decoration CODE : 5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Re-decorationPoorRedecorateC4Replace/In 20 m2164

Re-decoration Poor Redecorate C 4 Replace/In 20 m2 164 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

UPRN:		FLOOR: Level 3 - Canongate Street level Ground						
No : 003/8	8/0/004	USE:						
CODE:5					Replacement			
Condition Fair	Action No Action Required		_	Quantity 18 m2	Cost (£)			
	·				Year 1 Repair Cost (
CODE:5					Replacement			
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 30	Quantity 30 m2	Cost (£) 1,025			
					Year 1 Repair Cost (
CODE:5					Replacement			
Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)			
Fair	No Action Required	В	20	1 No	492			
					Year 1 Repair Cost (
CODE:5					Replacement			
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 5	Quantity 1 No	Cost (£) 1,500			
					Year 1 Repair Cost (
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required CODE:5 Condition Action Action No Action Required Action No Action Required	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action Required B	CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition Action No Action Required B CODE :5 Condition No Action Required B CODE :5 Condition Action Cond/Ind Priority L'Expec 20 CODE :5 Condition Action Cond/Ind Priority L'Expec	CODE :5 Condition Action No Action Required B S S S S S S S S S S S S S S S S S S			

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Replacement

Repair Cost (£)

Replacement

Year 1

Vinyl sheet finish (non-slip) Fair No Action Required B 5 18 m2 738

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Poor Redecorate C 4 Replace/In 52 m2 426 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 08 ROOM: Circulation Area	UPRN : No : 003/8/0/0		FLOOR : Le USE :	vel 3 - Canongate Sti	reet level Gr	ound		
Element : Ceilings Description Ornate plaster ceiling	CODE:5 Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 20	Quantit 28	y m2	Replacement Cost (£) 2,000 Year 1 Repair Cost (£
Element : Walls Description Timber panelling to walls	CODE:5 Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 20	Quantity 33	y m2	Replacement Cost (£) 4,500 Year 1 Repair Cost (£
Element : Doors Description Hardwood timber panelled top & bottom glazed 1 double with floor springs 2 doubles with o/h door closers	CODE:5 Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 15	Quantit 6	y No	Replacement Cost (£) 6,562 Year 1 Repair Cost (£
Element : Floors Description Composite - Terrazzo	CODE:5 Condition Fair, with isolated cracking	Action No Action Required		Cond/Ind Priority B	L'Expec 12	Quantit 22	y m2	Replacement Cost (£) 2,706 Year 1 Repair Cost (£

Element: Decoration CODE:5

Replacement Condition Cond/Ind Priority L'Expec Cost (£) Description Action Quantity Re-decoration Fair No Action Required В 2 73 m2 598

Emulsion to ceiling; gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 08 ROOM: Pool room	UPRN: No: 003/8/0/006		FLOOR: Level 3 - Canongate Street level Ground USE:			ound		
Element : Ceilings Description Suspended grid system with plasterboard tiles	CODE:5 Condition Poor, at end of economic lifespan.	Action Replace		Cond/Ind Priority C 4	L'Expec Replace/In	Quantity 75 r	m2	Replacement Cost (£) 2,563 Year 1 Repair Cost (£
Element : Walls Description Plaster on hard to walls	CODE:5 Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 20	Quantity 18 r	m2	Replacement Cost (£) 615 Year 1 Repair Cost (£
Element : Walls Description Plasterboard walls	CODE:5 Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 20	Quantity 63 r	m2	Replacement Cost (£) 2,153 Year 1 Repair Cost (£
Element : Doors Description Softwood timber with viewing panel	CODE:5 Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 20	Quantity 1 f	No	Replacement Cost (£) 656 Year 1 Repair Cost (£)

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Timber strip flooring Fair No Action Required В 20 75 m2 6,151

> Year 1 Repair Cost (£)

> Repair Cost (£)

Year 1

Element : Decoration **CODE :** 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Re-decoration Fair No Action Required В 2 87 m2 713

Emulsion to walls; gloss/varnish

to timber finishes

BUILDING: Block 08	UPRN:		FLOOR: Level 3 - Canongate Street level Ground				
ROOM: Vestibule	No : 003/8/0/	/007	USE:				
Element : Ceilings	CODE:5					Replacement	
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plasterboard walls	Fair	No Action Required	В	20	8 m2	273	
						Year 1 Repair Cost (£	
Element : Walls	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Plaster on hard to walls	Fair	No Action Required	В	20	2 m2	68	
						Year 1 Repair Cost (£	
Element : Windows	CODE:5					Replacement	
Description Timber transome	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 15	Quantity 1 m2	Cost (£) 410	
Timber transome						Year 1 Repair Cost (£	

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)
Hardwood timber panelled top & Fair No Action Required B 15 1 No 1,093

bottom glazed
Year 1
Repair Cost (£)

Replacement

Replacement

Element : Floors CODE : 5

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Timber strip flooringFairNo Action RequiredB153m2246

Year 1 Repair Cost (£)

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Podescration Production Production Cond/Ind Priority L'Expec Quantity Cost (£)

Re-decoration Poor Redecorate C 4 Replace/In 19 m2 155 Emulsion to ceiling and walls;

gloss/varnish to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 08	UPRN :	OOR: Level 3 - Canongate St	vel 3 - Canongate Street level Ground				
ROOM: Entrance	No : 003/8/0/008		USE:				
Element : Ceilings	CODE:5					Replacement	
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 30	Quantity 18 m2	Cost (£) 615	
						Year 1 Repair Cost (£)	
Element : Walls	CODE:5					Danissament	
Description Timber panelling to walls	Condition Fair, although slight splitting in evidence	Action Make good finish	Cond/Ind Priority B 4	L'Expec 20	Quantity 33 m2	Replacement Cost (£) 5,000	
	evidence					Year 1 Repair Cost (£)	
Element : Floors	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Composite - Terrazzo	Fair, although slight cracking is evident in areas	No Action Required	В	20	19 m2	2,337	
						Year 1 Repair Cost (£)	
Element : Decoration	CODE:5					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Re-decoration Emulsion to ceiling ;	Fair	No Action Required	В	2	67 m2	549	
gloss/varnish to timber finishes						Year 1 Repair Cost (£)	

FIXTURES & FITTINGS

BUILDING: Block 08 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Office **No**: 003/8/0/001 **USE**:

Element : Built in cupboards **CODE :** 6

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)
Timber buit in cupboards Fair No action required B 20 1 No 820

Year 1

Repair Cost (£)

BUILDING: Block 08	UPRN: F		FLOOR: Level 3 - Canongate Street level Ground				
ROOM: Kitchen	No : 003/8	/0/004	USE:				
Element : Shelving	CODE:6					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Timber shelving	Fair	No action required	В	20	2 m	54	
						Year 1 Repair Cost (£)	
Element : Worktops	CODE:6					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Laminate / chipboard worktop	Fair	No action required	В	10	8 m2	546	
						Year 1 Repair Cost (£)	
Element : Built in cupboards	CODE:6					Replacement	
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)	
Timber base units	Fair	No action required	В	20	5 No	1,640	
						Year 1 Repair Cost (£)	

SANITARY

BUILDING: Block 08 UPRN: FLOOR: Level 3 - Canongate Street level Ground

ROOM: Kitchen **No**: 003/8/0/004 **USE**:

Element : Sinks CODE : 7

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)
Stainless steel - double drainer Fair No action required B 10 2 No 820

Repair Cost (£)

Year 1

MECHANICAL SERVICES

BUILDING: Block 08 **UPRN:** FLOOR: M&E

ROOM: M&E No: 003/8/M&E/ USE:

Element: Gas Heating System **CODE: 13**

Description

Heating was provided by 2 Ideal Concord C Series 3 Gas fired boilers. Hot water from system was pumped round the bld to a number of convection radiators, some fan assisted, by a Wilo pumping setup.

Condition The heating and its associated equipment were in fair condition

with no defects evident.

Action

Continue maintenance

Cond/Ind Priority

В

15

L'Expec Quantity

Cost (£) 30.000

Year 1

Repair Cost (£)

Replacement

Element: Domestic Hot Water

Description

Hot water was provided by the main boilers to a Calorfier, the water was pumped throughout the jacket for the Calorfier does not bld by Grundfos pumps.

CODE: 13

Condition

The condition of the equipment was fair however the Insulation completely cover the Calorfier.

Action

Continue Maintenance It is recommended that the jacket be replaced.

Cond/Ind Priority

В

L'Expec Quantity 15

Cost (£) 10.000

Replacement

Year 1

Repair Cost (£)

Photo 1



Photo 2 Position

ELECTRICAL SERVICES

BUILDING: Block 08 FLOOR: M&E **UPRN:**

ROOM: M&E No: 003/8/M&E/ USE:

Element: Mains Distribution **CODE: 14**

Description

Power distribution was via a mix of Wylex, GET and Dorman Smith DBs located around the bld. Wiring was contained within trunking.

extensions in use.

Condition All were in a fair condition with no Continue Maintenance defects noted. However there was evidence of

Action

It is recomended that the policy on use of extensions is reviewed.

Cond/Ind Priority L'Expec

> В 20

Replacement Quantity Cost (£) 20,000

Year 1

Repair Cost (£)

Photo 1



Photo 2

Position

Element: Light Fittings Internal

Description

In the main this was a mix of T5, T8, (fitted with anti glare diffusers) 2D, CFL, tungsten and halogen fittings. Some corridors were controlled by PIR's, all other **CODE: 14**

Condition **Action**

The condition of the system was Continue maintenance

Cond/Ind Priority L'Expec В

20

Replacement Quantity Cost (£) 15,000

Year 1

Repair Cost (£)

lighting were manually controlled. fair with no defects noted.

panel.

This survey did not look at system compliance, a further lighting compliance survey would be required.

Element : Light Fittings Internal	CODE :14					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
This consisted of a mix of maintained and non-maintained	The condition of the system was fair with no defects noted.	Continue maintenance This survey did not look at	В	20		5,000
self contained fittings.		system compliance, a further lighting compliance survey would be required.				Year 1 Repair Cost (£)

Element: Fire Alarms	CODE :14					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
An automatic system consisting of a number of break glass	The condition of the system was fair with no defects noted.	Continue Maintenance. This survey did not look at	В	20		10,000
manual call points, detectors and audible alarms connected to the main 3404 fire alarm control		system compliance, a further in depth compliance survey would be required.				Year 1 Repair Cost (£)

ROOFS

BUILDING: Block 09 UPRN: FLOOR: Roof

ROOM: Roof **No**: 003/9/R/001 **USE**:

Element : Covering CODE : 1

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Natural slate Fair No action required В 32 91 11,196 m2

Year 1

Repair Cost (£)

Photo 1



Photo 2 Position

Element : Structure CODE : 1

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) 32 Timber joists and rafters Fair No action required 91 7,464 В m2

Element: Flashings CODE:1 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Lead (inc. in roof) ridge, hips and No action required 32 32 2,406 Fair В m at roof lights Year 1 Repair Cost (£) **Element:** Rainwater goods CODE:1 Replacement Condition **Description** Cond/Ind Priority Cost (£) **Action** L'Expec Quantity Cast iron gutters and downpipes No action required В 5 16 1,093 Fair m Year 1 Repair Cost (£) CODE:1 Element: Chimney stacks/flues Replacement **Description** Condition Cond/Ind Priority L'Expec Quantity Cost (£) Action Stone/roughcast finish Fair No action required В 20 No. 2,447 Year 1 Repair Cost (£) **Element:** Roof Lights CODE:1 Replacement Condition Cond/Ind Priority L'Expec **Description** Quantity Cost (£) **Action**

No action required

В

5

2

2 No. Rooflights

Fair

1,200

Year 1

Repair Cost (£)

BUILDING: Block 09 UPRN: FLOOR: Roof ROOM: Roof USE: **No**: 003/9/R/002 CODE:1 **Element:** Covering Replacement L'Expec **Description** Condition Action Cond/Ind Priority Quantity Cost (£) Single-ply sheet No action required В 10 26 3,056 Fair m2 Year 1 Repair Cost (£) **Element:** Structure CODE:1 Replacement Cond/Ind Priority **Description** Condition Action L'Expec Quantity Cost (£) Timber joists No action required 2,132 В 40 26 m2 Fair Year 1 Repair Cost (£) **Element:** Rainwater goods CODE:1 Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Cast iron gutters and downpipes No action required 820 Fair В 5 12 m Year 1 Repair Cost (£) **Element:** Fascias CODE:1 Replacement Cond/Ind Priority L'Expec Quantity Cost (£) **Description** Condition Action Timber softwood fascias Fair No action required В 10 14 478 m Year 1 Repair Cost (£) **Element**: Decoration **CODE**:1

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

No action required
B
3
14
m2
114

WALLS

BUILDING: Block 09 UPRN: FLOOR: Elevations

ROOM: Elevation No: 003/9/E/001 USE:

Element : External walls CODE : 2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Roughcast Fair No Action Required В 10 33 1,804 m2

Year 1

Repair Cost (£)

Photo 1

windows



Photo 2 Position

Element: Windows CODE: 2

Replacement Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

PVC-u casement double-glazed Fair No Action Required B 20 4 m2 3,007

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Softwood timber flush/glazed door Fair No Action Required B 10 1 No. 984

Year 1 Repair Cost (£)

Replacement

Replacement

Element: Decoration **CODE**:2

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Masonry paintFairNo Action RequiredB333m2451

Year 1 Repair Cost (£)

Element : Decoration **CODE :**2

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Painterwork to doorFairNo Action RequiredB32m227

BUILDING: Block 09 **UPRN: FLOOR**: Elevations

ROOM: Elevation No: 003/9/E/002 USE:

Element: External walls CODE:2

Replacement Condition Action Cond/Ind Priority **Description** L'Expec Quantity Cost (£) Roughcast Fair No Action Required В 10 49 m2 2,679

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

Element: Windows CODE:2

Replacement Condition Cond/Ind Priority L'Expec **Description** Action Quantity Cost (£) m2

PVC-u casement double-glazed

windows

Fair

No Action Required

В 20 9

6,767

Year 1

Repair Cost (£)

Element: Decoration CODE:2

Replacement Condition Description Action Cond/Ind Priority L'Expec Quantity Cost (£) 3 49 m2 669 Masonry paint Fair No Action Required В

BUILDING: Block 09 **UPRN: FLOOR**: Elevations

ROOM: Elevation No: 003/9/E/003 USE:

Element: External walls CODE:2

Replacement Condition Action Cond/Ind Priority Cost (£) **Description** L'Expec Quantity Roughcast No Action Required В 10 37 m2 2,023 Fair

> Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

Element: Windows CODE:2

Description

PVC-u casement double-glazed

windows

Condition

Fair

Action No Action Required Cond/Ind Priority L'Expec В

Quantity 20 2

1,503

m2

Cost (£)

Year 1

Repair Cost (£)

Replacement

Element: Decoration CODE:2

Replacement Condition Description Action Cond/Ind Priority L'Expec Quantity Cost (£) 3 37 m2 505 Masonry paint Fair No Action Required В

Year 1

Repair Cost (£)

BUILDING: Block 09 UPRN: FLOOR: Elevations

ROOM: Elevation No: 003/9/E/004 USE:

Element : External walls CODE : 2

Replacement Condition Action Cond/Ind Priority **Description** L'Expec Quantity Cost (£) Roughcast No Action Required В 10 52 2,843 Fair m2

> Year 1 Repair Cost (£)

Repair Cost (£)

Photo 2 Position



Element : Windows CODE : 2

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

PVC-u casement double-glazed Fair No Action Required B 20 1 m2 751

windows

Year 1

Element: Decoration **CODE**:2

Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) 3 52 m2 710 Masonry paint Fair No Action Required В

STRUCTURE

BUILDING: Block 09 FLOOR: Level 1 - Calton Road Street Level **UPRN:**

ROOM: Circulation Area/Stairwell **No**: 003/9/-2/001 USE:

CODE:4 **Element : Stairs**

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Timber stair

No action required Fair В 40 5 m2 512

BUILDING: Block 09 FLOOR: Structure **UPRN: ROOM**: Structure No: 003/9/St/St USE:

Element : Floors CODE:4

Replacement L'Expec Description Condition Action Cond/Ind Priority Cost (£) Quantity Timber floor Fair No action required В 40 159 m2 16,302

> Year 1 Repair Cost (£)

Element : Walls CODE:4

Replacement Condition Description Action Cond/Ind Priority L'Expec Cost (£) Quantity Stone / rendered walls Fair No action required В 40 193 m2 39,577

ROOMS

BUILDING: Block 09	UPRN :	F	FLOOR: Level 2 - Baseme	ent Level		
ROOM: Bedroom 1	No : 003/9	/-1/001	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Pri B	ority L'Expec	Quantity 23 m2	Cost (£) 786
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Lath & plaster to walls	Condition Fair	Action No Action Required	Cond/Ind Pri B	ority L'Expec	Quantity 28 m2	Cost (£) 1,531
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Pri B	ority L'Expec	Quantity 12 m2	Cost (£) 492
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Pri B	ority L'Expec	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Carpet floor finish Fair No Action Required B 4 23 m2 943

Repair Cost (£)

Replacement

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Decorative paper to ceiling; Fair No Action Required B 3 65 m2 533 emulsion to walls; gloss to timber

finishes

Year 1

Repair Cost (£)

BUILDING: Block 09	UPRN:		LOOR: Level 2 - Basement Le	vel		
ROOM: Bedroom 2	No : 003/9	9/-1/002	USE :			
Element : Ceilings Description	CODE:5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	12 m2	410
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Lath & plaster to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 10	Quantity 23 m2	Cost (£) 1,257
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 11 m2	Cost (£) 451
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 10	Quantity 1 No	Cost (£) 492
						Year 1 Repair Cost (£

Replacement L'Expec **Description** Condition Action Cond/Ind Priority Cost (£) Quantity Carpet floor finish Fair No Action Required В 4 12 m2 492

Year 1
Repair Cost (£)

Replacement

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

No Action Required R 3 42 m2 344

Decorative paper to ceiling; Fair No Action Required B 3 42 m2 344 emulsion to walls; gloss to timber

finishes
Year 1
Repair Cost (£)

No: 003/9,	/-1/003	USE:			
Condition					Replacement
Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 4 m2	Cost (£)
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 7 m2	Cost (£)
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 9 m2	Cost (£)
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec	Quantity 1 No	Cost (£)
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required Action No Action No Action Fair CODE:5 Condition Fair Action No Action Required	CODE:5 Condition Action Required B CODE:5 Condition No Action Required B CODE:5 Condition Action Cond/Ind Priority B CODE:5 Condition Action Cond/Ind Priority B CODE:5 Condition Action Required B	CODE :5 Condition Action Required B 20 CODE :5 Condition Action Required B 20	Fair No Action Required B 20 4 m2 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 20 7 m2 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 20 9 m2 CODE :5 CODE :5 Condition Action Cond/Ind Priority L'Expec Quantity Fair No Action Required B 20 9 m2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Vinyl sheet floor finish Fair No Action Required B 4 4 m2 164

Replacement

Repair Cost (£)

Replacement

Year 1

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Decorative paper to ceiling; Fair No Action Required B 3 13 m2 106

emulsion to walls; gloss to timber finishes

Year 1
Repair Cost (£)

BUILDING: Block 09 UPRN: FLOOR: Level 1 - Calton Road Street Level

ROOM: Circulation Area/Stairwell No: 003/9/-2/001 USE:

Element : Ceilings CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plasterboard ceiling Fair No Action Required B 20 15 m2 512

Repair Cost (£)

Year 1

Element: Walls CODE:5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plaster on hard to walls Fair No Action Required B 20 50 m2 1,708

Year 1

Repair Cost (£)

Element : Doors CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Softwood timber fully glazed Fair No Action Required B 10 1 No 656

Year 1 Repair Cost (£)

Element : Floors CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber laminate floor finish Fair No Action Required B 10 10 m2 820

Replacement L'Expec **Description** Condition Action Cond/Ind Priority Cost (£) Quantity Carpet floor finish Fair No Action Required В 4 5 m2 205

Year 1
Repair Cost (£)

Replacement

Element : Decoration CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Decorative paper to ceiling; Fair No Action Required B 3 65 m2 533 emulsion to walls; gloss to timber

finishes
Year 1
Repair Cost (£)

BUILDING: Block 09			OOR : Level 1 - Calton Road S			
ROOM: Living Room	No : 003/9	9/-2/002	USE:			
Element : Ceilings Description	CODE :5 Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	14 m2	` '
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Lath & plaster to walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 10	Quantity 19 m2	Cost (£)
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster on hard to walls	Fair	No Action Required	В	20	11 m2	375
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber fully glazed	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 10	Quantity 1 No	Cost (£)
, 0						Year 1 Repair Cost (£

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Timber laminate floor finish Fair No Action Required В 10 30 m2 2,460

> Year 1 Repair Cost (£)

Year 1

Repair Cost (£)

Element: Decoration **CODE**:5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Decorative paper to ceiling; Fair No Action Required В 3 53 m2 434

emulsion to walls; gloss to timber

finishes

UPRN: FI		LOOR: Level 1 - Calton Road			
No : 003/9	9/-2/003	USE:			
CODE:5	Action	Cond/Ind Priority	ı l'Evnec	Quantity	Replacement Cost (£)
Fair	No Action Required	В	20	12 m2	410
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec	Quantity 20 m2	Cost (£) 1,093
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 12 m2	Cost (£) 410
					Year 1 Repair Cost (£
CODE:5					Replacement
Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec	Quantity 1 No	Cost (£) 656
					Year 1 Repair Cost (£
	CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair CODE:5 Condition Fair	CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair CODE:5 Condition Fair Action No Action Required CODE:5 Condition Fair Action No Action Required Action No Action Required	CODE:5 Condition Action No Action Required B CODE:5 Condition Action No Action Required B CODE:5 Condition Action No Action Required B CODE:5 Condition Action Required B	CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required CODE :5 Condition Fair CODE :5 Condition Fair CODE :5 Condition Fair Action No Action Required Cond/Ind Priority L'Expec 10 L'Expec 20 L'Expec 20 L'Expec 20 Condition No Action Required B Cond/Ind Priority L'Expec 20 Condition Fair Cond/Ind Priority L'Expec 20 Condition Fair Cond/Ind Priority L'Expec 20 Condition Cond/Ind Priority L'Expec	CODE :5 Condition Action No Action Required B L'Expec Quantity Fair Action No Action Required B L'Expec Quantity Fair No Action Required B 10 20 m2 CODE :5 Condition Action Required B 10 20 m2 CODE :5 Condition Action Required B 20 Quantity Fair No Action Required B 20 m2

Description Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity

Timber laminate floor finish Fair No Action Required В 10 12 m2 984

Repair Cost (£)

Replacement

Replacement

Year 1

Element: Decoration CODE:5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Decorative paper to ceiling; Fair No Action Required В 3 51 m2 418

emulsion to walls; gloss to timber finishes Year 1 Repair Cost (£)

BUILDING: Block 09	UPRN: F		FLOOR: Level 1 - Calton Road Street Level				
ROOM: Living Room	No : 003/9	9/-2/004	USE:				
Element : Ceilings Description	CODE:5	Action	Cond/Ind Priority	-	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	В	20	31	m2	1,059 Year 1
							Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 16	/ m2	Cost (£) 546
							Year 1 Repair Cost (£
Element : Walls	CODE:5						Replacement
Description Plaster walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 45	/ m2	Cost (£) 1,845
							Year 1 Repair Cost (£
Element : Doors	CODE:5						Replacement
Description Softwood timber fully glazed	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 10	Quantity 1	/ No	Cost (£) 656
							Year 1 Repair Cost (£

Element : Floors CODE : 5

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Timber laminate floor finish Fair No Action Required В 10 31 m2 2,542

> Year 1 Repair Cost (£)

Element: Decoration **CODE**:5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Decorative paper to ceiling; Fair No Action Required В 3 98 m2 803

Decorative paper to ceiling; Fair No Action Required B 3 98 m2 803 emulsion to walls; gloss to timber

finishes

Year 1

Repair Cost (£)

BUILDING: Block 09	UPRN:		FLOOR: Level 1 - Calton Road Street Level			
ROOM: WC	No : 003/9	9/-2/005	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 2 mi	Cost (£) 2 68
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description Plasterboard walls	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 9 mi	Cost (£)
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 10	Quantity 1 No	Cost (£)
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Timber laminate floor finish	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 10	Quantity 2 mi	Cost (£)
						Year 1 Repair Cost (£

Element: Decoration CODE:5

Condition Description Fair

Decorative paper to ceiling; emulsion to walls; gloss to timber

finishes

Action

No Action Required

Cond/Ind Priority L'Expec В

3

Quantity 16

Replacement Cost (£)

m2 131

BUILDING: Block 09	UPRN:		LOOR: Level 1 - Calton Road			
ROOM: Boiler Cupboard	No : 003/9	9/-2/006	USE:			
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 2 m	Cost (£) 2 68
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	-	Quantity	Cost (£)
Plasterboard walls	Fair	No Action Required	В	20	3 m	2 102
						Year 1 Repair Cost (£
Element : Doors	CODE:5					Replacement
Description Softwood timber flush	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 10	Quantity 1 N	Cost (£)
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	•	Quantity	Cost (£)
Timber laminate floor finish	Fair	No Action Required	В	10	2 m	2 164
						Year 1 Repair Cost (£

Element: Decoration **CODE**:5

DescriptionConditionDecorative paper to ceiling:Fair

Decorative paper to ceiling; emulsion to walls; gloss to timber

finishes

Action

No Action Required

Cond/Ind Priority L'Expec
B 3

Expec Quantity

Cost (£) 57

m2

Year 1 Repair Cost (£)

Replacement

FIXTURES & FITTINGS

BUILDING: Block 09 UPRN: FLOOR: Level 1 - Calton Road Street Level

ROOM: Living Room **No**: 003/9/-2/002 **USE**:

Element : Built in cupboards **CODE :** 6

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

No action required
B
20
2
No
3,000

including 3 no. timber doors

Year 1
Repair Cost (£)

BUILDING: Block 09 UPRN: FLOOR: Level 1 - Calton Road Street Level

ROOM: Kitchen **No**: 003/9/-2/003 **USE**:

Element: Worktops CODE:6

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Laminate / chipboard worktop Fair No action required B 10 5 m2 341

Repair Cost (£)

Year 1

Element : Built in cupboards CODE : 6

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber base and wall units Fair No action required B 10 10 No 8,202

SANITARY

BUILDING: Block 09 UPRN: FLOOR: Level 2 - Basement Level

ROOM: Bathroom **No**: 003/9/-1/003 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 10 1 No 328

Year 1 Repair Cost (£)

Replacement

Repair Cost (£)

Element : Basins CODE : 7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 10 1 No 328

Year 1

BUILDING: Block 09 UPRN: FLOOR: Level 1 - Calton Road Street Level

ROOM: WC **No**: 003/9/-2/005 **USE**:

Element : WC CODE : 7

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WC cistern and bowl Fair No action required B 10 1 No 328

Repair Cost (£)

Year 1

Replacement

Element : Basins CODE :7

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Ceramic WHB Fair No action required B 10 1 No 328

MECHANICAL SERVICES

BUILDING: Block 09 UPRN: FLOOR: M&E

ROOM: M&E No: 003/9/M&E/M&E USE:

Element: Gas Heating System **CODE: 13**

Description Heating was provided by a Baxi Combi 105 HE gas fired boiler. Hot water from the system was pumped round the bld to a

number of convection radiators.

Condition The heating and its associated equipment were in fair condition however there was evidence of missing TRV within one bedroom.

Action Continue maintenance Replace TRV

L'Expec Cond/Ind Priority Quantity В 2 15

Year 1 Repair Cost (£)

Replacement

Cost (£)

7.000

Element: Extraction System

Description

within the kitchen.

Within the bathroom and toilet there were Specified Product extractors fitted and a domestic Manrose extractor hood is fitted

CODE: 13

Condition

The condition of these were fair with no defects noted.

Action Continue Maintenance Cond/Ind Priority L'Expec Quantity В 15

250 Year 1 Repair Cost (£)

Replacement

Cost (£)

Element: Domestic Hot Water **CODE: 13**

Description Hot water was supplied by the Combi-boiler to the kitchen, toilet and bathroom.

Condition The condition of this was fair with no defects noted.

Action Continue Maintenance

L'Expec Cond/Ind Priority Quantity В 15

Replacement Cost (£) 1,000

ELECTRICAL SERVICES

BUILDING: Block 09 UPRN: FLOOR: M&E

ROOM: M & E **No**: 003/9/M&E/M&E **USE**:

Element : Mains Distribution CODE : 14

Replacement

Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

Fower distribution was via a MK
All were in a fair condition with no
Continue Maintenance
B
20
5,000

DB located within a cupboard in defects noted. the hallway. Wiring was

contained within the walls of the

bld.

Year 1 Repair Cost (£)

Year 1

150

Year 1

Repair Cost (£)

Repair Cost (£)

Element : Light Fittings Internal **CODE: 14** Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) In the main this was a mix of The condition of the system was Continue maintenance В 20 1,000 tungsten, CFL and 2D fittings. This survey did not look at fair with no defects noted.

tungsten, CFL and 2D fittings. fair with no defects noted.

There were no signs of automatic controls.

This survey did not look at system compliance, a further lighting compliance survey would be required.

CODE: 14

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

This consisted of a SON fitting on the boundary wall, controlled from the main bld. There were also tungsten bulkhead light

Element: Light Fittings External

The condition of the lighting and Continue Maintenance B 20

fittings at the front door and the patio doors; there was no sign of automatic controls.

its associated equipment was fair with no defects noted.

This survey did not look at system compliance, a further in depth compliance survey would be required.

Element: Fire Alarms **CODE: 14** Replacement **Description** Condition Cond/Ind Priority L'Expec Cost (£) Action Quantity There was no evidence of a fire None installed It is recommended that alarm system installed. consideration be given to installing one. However this Year 1 survey did not look at system Repair Cost (£) compliance, a further in depth compliance survey would be required.

Element : Security Systems **CODE: 14**

Description

The bld is protected by a Capital Security Alarm System.

Condition

The condition of this was fair with Continue maintenance no defects noted.

Action

Cond/Ind Priority L'Expec В 20

Replacement Cost (£) Quantity 1,500

ROOFS

BUILDING: Block 10 **UPRN**: **FLOOR**: Roof

ROOM: Roof **No**: 003/10/R/001 **USE**:

Element : Covering CODE : 1

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Natural slate Fair No action required В 32 27 3,322 m2

Year 1
Repair Cost

Repair Cost (£)

Photo 1



Photo 2 Position

Element : Structure CODE : 1

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Timber joists and rafters Fair No action required 32 27 2,214 В m2

Element : Flashings CODE : 1

Replacement Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) Lead (inc. in roof) to hips Fair No action required В 32 16 1,203 m

> Year 1 Repair Cost (£)

Replacement

Element: Rainwater goods **CODE**:1

DescriptionConditionActionCond/Ind PriorityL'ExpecQuantityCost (£)Cast iron gutters and downpipesFairNo action requiredB523m1,572

WALLS

BUILDING: Block 10 UPRN: FLOOR: Elevations

ROOM: Elevation **No**: 003/10/E/001 **USE**:

Element : External walls CODE : 2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Roughcast finish Fair No Action Required В 10 22 1,203 m2

> Year 1 Repair Cost (£)

Photo 1 Position



Element: Windows CODE: 2

single glazed

Replacement Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber softwood sash and case Fair No Action Required B 5 1 m2 410

Element: Doors CODE:2

Replacement **Description** Condition Action Cond/Ind Priority Cost (£) L'Expec Quantity Softwood timber flush/glazed door Fair No Action Required В 5 No. 984

> Year 1 Repair Cost (£)

> > Replacement

Replacement

Year 1

Element: Decoration CODE:2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) D Replace/In 3 41 Painterwork to door and window Poor Redecorate 4 m2

Repair Cost (£)

Element: Decoration CODE:2

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Masonry paint Fair No Action Required В 2 22 300 m2

BUILDING: Block 10 **UPRN: FLOOR**: Elevations

ROOM: Elevation No: 003/10/E/002 USE:

Element: External walls CODE:2

Replacement Condition Cond/Ind Priority **Description Action** L'Expec Quantity Cost (£) Roughcast finish No Action Required В 10 18 Fair m2 984

> Year 1 Repair Cost (£)

Photo 1



Position Photo 2

Element: Windows CODE:2

Description Timber softwood sash and case Fair

single glazed

Condition

Action

No Action Required

Cond/Ind Priority

В

L'Expec 5

Quantity 2 m2 Cost (£) 820

Replacement

Year 1

Repair Cost (£)

Element: Decoration CODE:2

Replacement Condition Cond/Ind Priority L'Expec Description Quantity Cost (£) **Action** Replace/In 2 27 Painterwork to windows Poor Redecorate D m2

Element : Decoration

CODE:2

Description Masonry paint Condition Fair

Action No Action Required Cond/Ind Priority L'Expec В

2

Quantity 18 m2 Replacement Cost (£)

246

BUILDING: Block 10 UPRN: FLOOR: Elevations

ROOM: Elevation No: 003/10/E/003 USE:

Element : External walls CODE : 2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Cost (£) Quantity Roughcast finish Fair No Action Required В 10 25 m2 1,367

> Year 1 Repair Cost (£)

Photo 1



Photo 2 Position

Element: Decoration **CODE**:2

Replacement **Description** Condition Action Cond/Ind Priority L'Expec Quantity Cost (£) Masonry Paint Fair No Action Required 25 m2 341 В 2

BUILDING: Block 10 UPRN: FLOOR: Elevations

ROOM: Elevation No: 003/10/E/004 USE:

Element : External walls CODE : 2

Replacement Condition Action **Description** Cond/Ind Priority L'Expec Quantity Cost (£) Roughcast finish Fair, although slight cracking at Make good finish В 10 16 874 m2

window ingoe

CODE:2

Year 1 Repair Cost (£)

100

Year 1

Repair Cost (£)

Photo 1



Photo 2 Position

Element: Windows CODE: 2

Replacement
Description
Condition
Action
Cond/Ind Priority
L'Expec Quantity
Cost (£)

No Action Required
B
5
4
m2
1,640

single glazed

Element: Decoration

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Painterwork to windows Poor Redecorate D 4 Replace/In 4 m2 54

Element: Decoration

CODE:2

DescriptionMasonry paint

Condition Fair

ActionNo Action Required

Cond/Ind Priority
B

L'Expec Quantity
2 16 r

Replacement Cost (£)
m2 218

Year 1

Repair Cost (£)

STRUCTURE

BUILDING: Block 10 UPRN: FLOOR: Structure

ROOM: Structure No: 003/10/St/St USE:

Element : Floors CODE : 4

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber floor Fair No action required B 40 40 m2 4,101

Year 1 Repair Cost (£)

Element : Walls CODE : 4

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Stone / plastered walls Fair No action required B 40 90 m2 18,455

ROOMS

BUILDING: Block 10 UPRN: FLOOR: Level 2 - Basement Level

ROOM: First Floor Living Area **No**: 003/10/-1/001 **USE**:

Element : Ceilings CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plasterboard ceiling Fair No Action Required B 20 18 m2 615

Year 1 Repair Cost (£)

Replacement

Replacement

Repair Cost (£)

Element : Walls CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Lath & plaster to walls Fair No Action Required B 10 30 m2 1,640

Year 1 Repair Cost (£)

Element : Walls CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plaster on hard to walls Fair No Action Required B 20 6 m2 205

Year 1

Element : Doors CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Softwood timber flush Fair No Action Required B 10 1 No 492

Element : Floors CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Cornect floor finish People of the Peopl

Replacement

Repair Cost (£)

Year 1

Carpet floor finish Poor, worn and stained. Replace D 4 Replace/In 18 m2 738

Element : Decoration **CODE :** 5

Replacement Description Condition Cond/Ind Priority Cost (£) Action L'Expec Quantity Emulsion to ceiling and walls; Poor Redecorate D 4 Replace/In 61 m2 500

gloss to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 10 ROOM: Entrance Hall	UPRN : No : 003/10/-2/001		CLOOR: Level 1 - Calton Road USE:	Street Level		
Element : Ceilings	CODE:5					Replacement
Description Plasterboard ceiling	Condition Fair	Action No Action Required	Cond/Ind Priority B	L'Expec 20	Quantity 3 m2	Cost (£) 102
						Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Lath & plaster to walls	Fair	No Action Required	В	10	3 m2	164 Year 1 Repair Cost (£
Element : Walls	CODE:5					Replacement
Description	Condition	Action	Cond/Ind Priority	L'Expec	Quantity	Cost (£)
Plaster on hard to walls	Fair	No Action Required	В	20	6 m2	205
						Year 1 Repair Cost (£
Element : Floors	CODE:5					Replacement
Description Carpet floor finish	Condition Poor, worn and stained.	Action Replace	Cond/Ind Priority D 4	L'Expec Replace/In	Quantity 3 m2	Cost (£) 123
						Year 1 Repair Cost (£

Element: Decoration CODE:5

Description

Emulsion to ceiling and walls; gloss to timber finishes

Condition Poor

Action

Cond/Ind Priority L'Expec 4

Replace/In 18

Quantity m2 Cost (£) 147

Redecorate D

Year 1

Repair Cost (£)

Replacement

BUILDING: Block 10 UPRN: FLOOR: Level 1 - Calton Road Street Level

ROOM: Ground Floor Living Area **No**: 003/10/-2/002 **USE**:

Element : Ceilings CODE : 5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plasterboard ceiling Fair No Action Required B 20 7 m2 239

Repair Cost (£)

Year 1

Replacement

Repair Cost (£)

Element : Walls CODE : 5

Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Lath & plaster to walls Fair No Action Required B 10 15 m2 820

Year 1 Repair Cost (£)

Element: Walls CODE:5

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Plaster on hard to walls Fair No Action Required B 20 8 m2 273

Year 1

Element : Doors CODE : 5

Replacement
Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Softwood timber flush Fair No Action Required B 10 1 No 492

Element : Floors CODE : 5

Description Condition

Carpet floor finish Poor, worn and stained. Replace D 4 Replace/In 7 m2 287

Action

Year 1
Repair Cost (£)

Cond/Ind Priority

L'Expec

Quantity

Replacement

Cost (£)

Element : Decoration CODE : 5

Replacement Description Condition Cond/Ind Priority Cost (£) Action L'Expec Quantity Emulsion to ceiling and walls; Poor Redecorate D 4 Replace/In 36 295 m2

gloss to timber finishes

Year 1

Repair Cost (£)

BUILDING: Block 10 ROOM: Toilet	UPRN : No : 003/10/-2/003		FLOOR: Level 1 - Calton Road Street Level USE:					
Element : Ceilings Description Plasterboard ceiling	CODE:5 Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 20	Quantity 6	y m2	Replacement Cost (£) 205 Year 1
Element : Walls Description Lath & plaster to walls	CODE:5 Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 10	Quantity 5	y m2	Repair Cost (£ Replacement Cost (£) 273 Year 1 Repair Cost (£
Element : Walls Description Ceramic tiles to walls	CODE:5 Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 10	Quantity 6	y m2	Replacement Cost (£) 492 Year 1 Repair Cost (£
Element : Walls Description Timber panelling to walls	CODE : 5 Condition Fair	Action No Action Required		Cond/Ind Priority B	L'Expec 10	Quantity 19	y m2	Replacement Cost (£) 1,298 Year 1 Repair Cost (£)

Element: Walls CODE:5 Replacement Condition Cond/Ind Priority **Description** Action L'Expec Quantity Cost (£) No Action Required В 20 2 m2 68 Plaster on hard to walls Fair Year 1 Repair Cost (£) **Element:** Floors CODE:5 Replacement **Description** Condition Cond/Ind Priority Cost (£) Action L'Expec Quantity Vinyl sheet floor finish Fair, although nearing end of No Action Required В 123 6 m2 economic lifespan Year 1 Repair Cost (£) **Element**: Decoration CODE:5 Replacement **Description** Condition Cond/Ind Priority L'Expec Quantity Cost (£) **Action** Emulsion to ceiling and walls; Replace/In 26 213 Poor Redecorate D 4 m2 gloss to timber finishes Year 1 Repair Cost (£)

FIXTURES & FITTINGS

BUILDING: Block 10 UPRN: FLOOR: Level 1 - Calton Road Street Level

ROOM: Ground Floor Living Area **No**: 003/10/-2/002 **USE**:

Element : Built in cupboards CODE : 6

Replacement Description Condition Action Cond/Ind Priority L'Expec Quantity Cost (£)

Timber buit in cupboards, Fair No action required B 20 1 No 820

including timber door

Year 1
Repair Cost (£)

MECHANICAL SERVICES

BUILDING: Block 10 UPRN: FLOOR: M&E

ROOM: M&E No: 003/10/M&E/ USE:

Element : Electrical Heating System **CODE: 13**

Description

Heating was provided by a number of electric convection heaters.

Condition

The heating and its associated equipment were in fair condition: however there was evidence of the heaters wired directly to the rear of a socket.

Action

Continue maintenance BS 7671 states that the heaters should be supplied from a dedicated supply from the DB and not connected to a ring main circuit. It is recommended that the heaters be installed in accordance with BS7671.

Cond/Ind Priority L'Expec Quantity

20

В

Replacement Cost (£) 2,500

> Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element: Extraction System **CODE: 13**

Description

Within the kitchen an Xpelair extraction unit is in use.

Condition

The condition of this was fair with Continue Maintenance

Action

Cond/Ind Priority

В

L'Expec

15

Quantity

Replacement Cost (£)

50

no defects noted.

Element : Domestic Hot Water

CODE:13

Description

Hot water was supplied by an electric immersion Calorfier.

Condition

The condition of this was fair with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority L'Expec 15

В

Quantity

Cost (£)

Replacement

1,000

ELECTRICAL SERVICES

BUILDING: Block 10 UPRN: FLOOR: M&E

ROOM: M & E **No**: 003/10/M&E/ **USE**:

Element : Mains Distribution CODE : 14

Description

DB located within the hallway. Wiring was contained within the walls of the bld.

Condition

Power distribution was via an MK All were in a fair condition with no Continue Maintenance DB located within the hallway. All were in a fair condition with no Continue Maintenance defects noted.

However there was evidence of extensions in use.

Action

Continue Maintenance
It is recommended that the use of
trailing lead extensions be
reviewed.

Cond/Ind Priority L'Expec Q

L'Expec Quantity

Replacement Cost (£)

5,000

Year 1

Repair Cost (£)

Photo 1



Photo 2



Position

В

Element : Light Fittings Internal

Description

In the main this was provided by tungsten fittings. There were no signs of automatic controls. **CODE**:14

Condition

The condition of the system was fair with no defects noted.

Continue maintenance
This survey did not loo

Action

Continue maintenance This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind Priority

В

ty L'E 20

L'Expec Qua

Quantity

1,000 **Year 1**

Cost (£)

Repair Cost (£)

Replacement

Condition **Description** Action Cond/Ind Priority L'Expec Quantity Cost (£) This consisted of a tungsten The condition of the lighting and Continue Maintenance 100 В 20 bulkhead light fitting at the front its associated equipment was fair This survey did not look at door: there was no sign of with no defects noted. system compliance, a further in Year 1 automatic controls. depth compliance survey would Repair Cost (£) be required. **Element:** Fire Alarms **CODE**:14 Replacement Condition Cost (£) Cond/Ind Priority L'Expec **Description** Action Quantity At the time of survey there was No system present It is recommended that a system no evidence of a fire alarm be installed. However this survey did not look at system system installed within this bld. Year 1 compliance, a further in depth Repair Cost (£) compliance survey would be required.

Replacement

Element : Light Fittings External

CODE: 14





SECTION 6 Life Cycle Costing Report 30 years

		Re	pair				Repla	cement			
Description	Priority 1			Priority 4	Repair Total P	riority 1			Priority 4	Replacement Total	Immediate Action Total
	,	- /	, ,	- /	- 1	- /	- /	, ,	- /		
Block 01											
ROOFS->Covering			£588		£588					£C	£588
ROOFS->Structure											
ROOFS->Flashings					£O					£C	03
ROOFS->Rainwater goods					£O					£C	
ROOFS->Chimney stacks/flues					£0					£C	
ROOFS->Decoration					£O					£C	
WALLS->External walls	£500)			£500					£C	
WALLS->Windows				£4,030						£C	
WALLS->Doors				£50						£C	
WALLS->Decoration			£760		£760					£C	
WALLS->Cills					£O					£C	
STRUCTURE->Frame/Columns											
STRUCTURE->Floors											
STRUCTURE->Stairs					£O					£C	03
STRUCTURE->Walls											
ROOMS->Ceilings					£O					£C	03
ROOMS->Walls					£O					£C	
ROOMS->Doors					£O	£5,680				£5,680	
ROOMS->Floors					£0	,			£2,215	£2,215	
ROOMS->Decoration				£350					£1,772	£1,772	· ·
FIXTURES & FITTINGS->Shelving					£0				44.7	£C	
SANITARY->WC					£O					£C	***
SANITARY->Basins					£O					£C	
SANITARY->Showers					£O					£C	
SANITARY->Sinks					£0					£C	
SANITARY->Baths					£0					£C	
HEALTH & SAFETY->Health & Safety Matters					£O	£900				£900	
MECHANICAL SERVICES->Gas Heating System					£0					£C	
MECHANICAL SERVICES->Extraction System					£O					£C	
MECHANICAL SERVICES->Domestic Hot Water					£O					£C	
ELECTRICAL SERVICES->Mains Distribution					£0					£C	
ELECTRICAL SERVICES->Light Fittings Internal					£O					£C	
ELECTRICAL SERVICES->Light Fittings External					£0					£C	
ELECTRICAL SERVICES->Fire Alarms					£O					£C	
					20						
Block 02											
ROOFS->Covering				£2,000	£2.000					£C	£2.000
ROOFS->Structure				22,000	22,000					200	\$2,000
ROOFS->Flashings											
ROOFS->Rainwater goods					£O					£C	£0
ROOFS->Chimney stacks/flues					200					200	800
ROOFS->Decoration	+				£O					£C	O.£

		Re	pair				Repla	cement			
Description	Priority 1	Priority 2	Priority 3	Priority 4	Repair Total	Priority 1			Priority 4	Replacement Total	Immediate Action Total
-											
ROOFS->Roof Lights					£O					£0	£0
WALLS->External walls					£O					£0	£0
WALLS->Windows				£5,000	£5,000					£0	£5,000
WALLS->Doors					£O					£0	£0
WALLS->Decoration					£O					£0	
WALLS->Other											
WALLS->Cills					£O					£0	£0
EXTERNAL GROUNDS->Roads & Parking Areas					£O					£0	
EXTERNAL GROUNDS->Underground Drainage											
EXTERNAL GROUNDS->Paths & Paving				£300	£300					£0	£300
EXTERNAL GROUNDS->Steps/ramps					£O					£0	
EXTERNAL GROUNDS->Handrails					£O					£0	
EXTERNAL GROUNDS->Boundary fencing/walls					£0					03	
STRUCTURE->Floors											
STRUCTURE->Stairs					£0					£0	£0
STRUCTURE->Walls											
ROOMS->Ceilings				£1,050	£1.050				£55	£55	£1,105
ROOMS->Walls				£850	£850				200	£0	-
ROOMS->Doors				2000	0£	£1,02	5		£656		
ROOMS->Floors				£600	£600	w.,oz			2000	£0	
ROOMS->Decoration				2000	0£				£4,477		£4,477
FIXTURES & FITTINGS->Shelving					£0				ω .,	£0	-
FIXTURES & FITTINGS->Fixed display units/cabinets					£0					£0	
SANITARY->WC					£0					£0	
SANITARY->Basins					£0					£0	
SANITARY->Cubicles				£100						£0	
SANITARY->Showers				2100	£0					£0	
SANITARY->Sinks					£0					£0	
SANITARY->Baths					£0					03	
MECHANICAL SERVICES->Gas Heating System					£0					£0	
MECHANICAL SERVICES->Extraction System					£0					£0	
MECHANICAL SERVICES->Domestic Hot Water					£0					£0	
ELECTRICAL SERVICES->Incoming Mains & Metering	a				£O					£0	
ELECTRICAL SERVICES->Mains Distribution	9				£0					£0	
ELECTRICAL SERVICES->Light Fittings Internal					£O					£0	
ELECTRICAL SERVICES->Fire Alarms					£0					£0	
OTHER M&E->Elevator/Lifts					£0					£0	
					200					200	
Block 03											
BIOCK 00											
ROOFS->Covering					£0					£0	£(
ROOFS->Structure					20					200	8.1
ROOFS->Flashings			 								
ROOFS->Rainwater goods					£0					£0)£
ROOFS->Decoration			-		£0					£0	
NOO13 - DOCOIGIOIT					£0					£0	

		Re	pair			Repla	cement			
Description	Priority 1	Priority 2	Priority 3	Priority 4	Repair Total Priority 1			Priority 4	Replacement Total	Immediate Action Total
WALLS->Windows					£O				£O	£O
WALLS->Doors					£O				£O	£O
WALLS->Decoration					£O				£0	£O
WALLS->Cills					£O				£0	£0
STRUCTURE->Floors										
STRUCTURE->Stairs										
STRUCTURE->Walls										
ROOMS->Ceilings				£250	£250				£O	£250
ROOMS->Walls				£100	£100				£O	£100
ROOMS->Doors					£O				£0	£0
ROOMS->Floors				£150	£150			£492	£492	£642
ROOMS->Decoration					£O			£139	£139	£139
SANITARY->WC					£O				£0	
SANITARY->Basins					£0				£0	
SANITARY->Cubicles					£O				£0	
SANITARY->Showers					£O				£0	£0
SANITARY->Baths					£O				£0	£O
MECHANICAL SERVICES->Gas Heating System					£O				£0	
MECHANICAL SERVICES->Extraction System					£O				£0	
MECHANICAL SERVICES->Domestic Hot Water					£O				£0	£0
ELECTRICAL SERVICES->Mains Distribution					£O				£0	
ELECTRICAL SERVICES->Light Fittings Internal					£O				£0	
ELECTRICAL SERVICES->Light Fittings External					£O				£0	
ELECTRICAL SERVICES->Fire Alarms					£0				£0	
Block 04										
ROOFS->Covering										
ROOFS->Structure										
ROOFS->Flashings										
ROOFS->Rainwater goods					£O				£0	£0
ROOFS->Decoration					£O				£0	£0
ROOFS->Roof Lights					£O				£0	
WALLS->External walls					£O				£0	
WALLS->Windows				£60	£60				£0	£60
WALLS->Doors					£0				£0	
WALLS->Decoration					£O				£0	
WALLS->Cills										
STRUCTURE->Frame/Columns										
STRUCTURE->Floors										
STRUCTURE->Stairs										
STRUCTURE->Walls										
ROOMS->Ceilings					£O				£O	£C
ROOMS->Walls				£200	£200				£0	
ROOMS->Doors				2200	£0				£0	
ROOMS->Floors		1			£0		1	£3,486		

		Re	pair				Replac	cement			
Description	Priority 1	Priority 2	Priority 3	Priority 4	Repair Total	Priority 1			Priority 4	Replacement Total	Immediate Action Total
•	,		,	,	·	,	,		,		
ROOMS->Decoration					£O				£2,863	£2,863	£2,863
FIXTURES & FITTINGS->Built in cupboards					£O					£0	£C
SANITARY->WC					£O					£0	£C
SANITARY->Basins					£0				£328	£328	
SANITARY->Showers					£O					£0	
SANITARY->Sinks					£O					£0	
SANITARY->Baths					£0					£0	
MECHANICAL SERVICES->Gas Heating System					£O					£0	
MECHANICAL SERVICES->Extraction System					£O					£0	
MECHANICAL SERVICES->Domestic Hot Water					£O					£0	£C
ELECTRICAL SERVICES->Mains Distribution					£O					£0	
ELECTRICAL SERVICES->Light Fittings Internal					£O					£0	
ELECTRICAL SERVICES->Light Fittings External					£O					£0	
ELECTRICAL SERVICES->I.T.					£O					£0	
ELECTRICAL SERVICES->Fire Alarms					£O					£0	
Block 05											
ROOFS->Covering					£O				£7,382	£7,382	£7,382
ROOFS->Structure											·
ROOFS->Flashings					£O					£0	£C
ROOFS->Rainwater goods					£O					£0	£C
ROOFS->Chimney stacks/flues					£O					£0	
ROOFS->TV aerials/dishes etc					£O					£0	
ROOFS->Decoration					£O					£0	
ROOFS->Roof Lights					£O				£400	£400	
WALLS->External walls					£O					£0	£C
WALLS->Windows				£4,230	£4,230					£0	
WALLS->Doors					£O					£0	
WALLS->External joinery					£O					£0	£C
WALLS->Decoration					£O					£0	
WALLS->Cills					£O					£0	
STRUCTURE->Floors											
STRUCTURE->Stairs											
STRUCTURE->Walls											
ROOMS->Ceilings				£250	£250					£0	£250
ROOMS->Walls				£100	£100					£0	£100
ROOMS->Doors					£O					£0	£C
ROOMS->Floors					£O					£O	
ROOMS->Decoration					£O				£3,084	£3,084	
FIXTURES & FITTINGS->Worktops					£O					£0	
FIXTURES & FITTINGS->Built in cupboards					£0					£0	
SANITARY->WC					£O					£0	
SANITARY->Basins					£0					£0	
SANITARY->Showers					£0					£0	
SANITARY->Sinks					£0					£0	

		Re	pair				Repla	cement			
Description	Priority 1	Priority 2	Priority 3	Priority 4	Repair Total	Priority 1	Priority 2	Priority 3	Priority 4	Replacement Total	Immediate Action Total
	,	,	,			,	,	,	,		
SANITARY->Baths					£0					£0	£(
FIRE MATTERS->Fire Risk Assessment					£O					£0	£0
MECHANICAL SERVICES->Gas Heating System					£O					£0	
MECHANICAL SERVICES->Extraction System					O£					£0	
MECHANICAL SERVICES->Domestic Hot Water					£O					£0	
ELECTRICAL SERVICES->Mains Distribution					£O					£0	
ELECTRICAL SERVICES->Light Fittings Internal					O£					£0	
ELECTRICAL SERVICES->Light Fittings External					£0					£0	
ELECTRICAL SERVICES->Fire Alarms					£O					£0	
ELECTRICAL SERVICES->Security Systems					O£					O£	
, ,											
Block 06											
ROOFS->Covering			£5,000		£5,000					£0	£5,000
ROOFS->Structure			,		,						
ROOFS->Flashings			£400		£400					£0	£400
ROOFS->Parapets					£0				£600	£600	
ROOFS->Rainwater goods					£0					£0	
ROOFS->Chimney stacks/flues					£0					£0	
ROOFS->Decoration					£0					£0	
WALLS->External walls					£0					£0	
WALLS->Windows			£1,000		£1,000					£0	
WALLS->Doors			,		£0					£0	
WALLS->External joinery					£0					£0	
WALLS->Wall fixture & fittings					O£					£0	
WALLS->Decoration					£0			£3,992	£889	£4,881	£4,88
WALLS->Cills					£0			,		£0	-
STRUCTURE->Floors											
STRUCTURE->Stairs											
STRUCTURE->Walls											
ROOMS->Ceilings				£90	£90					£0	£90
ROOMS->Walls					£0					£0	
ROOMS->Doors					£O					£0	
ROOMS->Floors					£0					£0	
ROOMS->Decoration					£0				£295		
FIXTURES & FITTINGS->Shelving					£0					£0	£0
FIXTURES & FITTINGS->Worktops					O£					£0	
FIXTURES & FITTINGS->Built in cupboards					£0					£0	
SANITARY->Internal Drainage					£0					£0	
SANITARY->WC					£0					£0	
SANITARY->Basins					£0					£0	
SANITARY->Cubicles					£0					£0	
SANITARY->Showers					£0					£0	
SANITARY->Sinks					£0					£0	
SANITARY->Urinals	1	+		 	£O					£0	
SANITARY->Baths		+			£0					£0	

		Re	pair				Repla	cement			
Description	Priority 1			Priority 4	Repair Total	Priority 1			Priority 4	Replacement Total	Immediate Action Total
·	,	,	,	,		,	,	,	,		
FIRE MATTERS->Fire Risk Assessment					£O					£0	£C
MECHANICAL SERVICES->Gas Heating System					£O					£0	£0
MECHANICAL SERVICES->Extraction System					£O					£0	£0
MECHANICAL SERVICES->Domestic Hot Water					£0					£0	£0
ELECTRICAL SERVICES->Mains Distribution					£O					£0	£0
ELECTRICAL SERVICES->Light Fittings Internal					£O					£0	£0
ELECTRICAL SERVICES->Light Fittings External					£O					£0	£0
ELECTRICAL SERVICES->Fire Alarms					£O					£0	£0
ELECTRICAL SERVICES->Security Systems					£O					£0	£0
, ,											
Block 07											
ROOFS->Covering					£0					£0	£0
ROOFS->Structure											
ROOFS->Rainwater goods					£0					£0	£0
WALLS->External walls					£0					£0	
WALLS->Windows					O£					O£	£0
WALLS->Doors					£0					£0	
WALLS->External joinery					£0					0£	
WALLS->Decoration					£0					£0	
WALLS->Cills					200					200	
STRUCTURE->Floors											
STRUCTURE->Stairs											
STRUCTURE->Walls											
ROOMS->Ceilings				£100	£100					£0	£100
ROOMS->Walls				w.00	£0					£0	£(
ROOMS->Doors					£0					£0	£(
ROOMS->Floors				£100	£100				£984		£1,084
ROOMS->Decoration				w.00	£0				£853		£853
FIXTURES & FITTINGS->Worktops					£0				2000	£0	£03.
FIXTURES & FITTINGS->Built in cupboards					£0					£0	£(
SANITARY->WC					£0				£328		£328
SANITARY->Basins					£0				2020	£0	£020
SANITARY->Cubicles					£0					£0	£(
SANITARY->Showers					£0					£0	
SANITARY->Baths			+		£0					£0)3
MECHANICAL SERVICES->Gas Heating System	+		 	-	£0				-	£0	£(
MECHANICAL SERVICES - Sextraction System			+		£0					£0	£0
MECHANICAL SERVICES->EXTRACTION SYSTEM MECHANICAL SERVICES->Domestic Hot Water			1		£0					£0	£(
ELECTRICAL SERVICES->Mains Distribution			+		£0					£0)3
ELECTRICAL SERVICES->Light Fittings Internal			+		£0					£0	
ELECTRICAL SERVICES->Light Fittings Internal	+		1	-	£0		+		-	0£	33
ELECTRICAL SERVICES->Fire Alarms				-	£0				-	£0	£(
OTHER M&E->Elevator/Lifts				-	£0				-	0£	
OTTEN MIGE-PEROVATION/LITTS			1	 	£U	-			 	T.U	T.
Block 08			1	 		-			 		
חוסכיר סס							1				

		Re	pair			Re	placer	ment			
Description	Priority 1	Priority 2	Priority 3	Priority 4	Repair Total	Priority 1 Priori	ty 2 Pri	riority 3	Priority 4	Replacement Total	Immediate Action Total
	,	,	,	,	·	,	,	,	,		
ROOFS->Covering					£O					£O	£
ROOFS->Structure											
ROOFS->Flashings					£O					£0	
ROOFS->Rainwater goods			£60		£60					£0	
ROOFS->Chimney stacks/flues					£O					£O	
ROOFS->TV aerials/dishes etc					£0					£0	
ROOFS->Decoration					£0					£0	
WALLS->External walls					£O					£O	
WALLS->Windows			£100		£100					£0	£100
WALLS->Doors					£O					£O	
WALLS->Wall fixture & fittings					£O					£0	£
WALLS->Decoration					£O					£C	£
WALLS->Cills											
STRUCTURE->Frame/Columns											
STRUCTURE->Floors											
STRUCTURE->Walls											
ROOMS->Ceilings				£250	£250				£2,563	£2,563	£2,813
ROOMS->Walls				£150	£150					£O	£150
ROOMS->Windows					£0					£0	£(
ROOMS->Doors					£0					£0	£(
ROOMS->Floors					£O				£6,521	£6,521	£6,52
ROOMS->Decoration					£O				£4,085	£4,085	
FIXTURES & FITTINGS->Shelving					£O					£O	
FIXTURES & FITTINGS->Worktops					£O					£C	
FIXTURES & FITTINGS->Built in cupboards					£O					£O	
SANITARY->Sinks					£O					£C	
MECHANICAL SERVICES->Gas Heating System					£O					£C	
MECHANICAL SERVICES->Domestic Hot Water					£O					£C	
ELECTRICAL SERVICES->Mains Distribution					£O					£C	
ELECTRICAL SERVICES->Light Fittings Internal					£O					£0	
ELECTRICAL SERVICES->Fire Alarms					£O					£0	£
Block 09											
DOOFS . O										-	
ROOFS->Covering					£0					£C	£(
ROOFS->Structure											
ROOFS->Flashings											-
ROOFS->Rainwater goods					£0					£0	
ROOFS->Fascias					£0					£C	
ROOFS->Chimney stacks/flues					£0					03	
ROOFS->Decoration					£0					03	
ROOFS->Roof Lights					£0					03	
WALLS->External walls					£0					£0	
WALLS->Windows					03					£C	
WALLS->Doors	<u> </u>		L	L	£O					£0	£

		Repair				Replac	cement			
Description	Priority 1 Priorit	2 Priority 3	Priority 4	Repair Total	Priority 1	Priority 2	Priority 3	Priority 4	Replacement Total	Immediate Action Total
WALLS->Decoration				£0					£0	£C
STRUCTURE->Floors										
STRUCTURE->Stairs										
STRUCTURE->Walls										
ROOMS->Ceilings				£0					£0	£0
ROOMS->Walls				£0					£0	£C
ROOMS->Doors				£0					£0	£0
ROOMS->Floors				£0					£0	
ROOMS->Decoration				£0					£0	£0
FIXTURES & FITTINGS->Worktops				£O					£0	£0
FIXTURES & FITTINGS->Built in cupboards				£0					£0	
SANITARY->WC				£O					£0	£C
SANITARY->Basins				£0					£O	£C
MECHANICAL SERVICES->Gas Heating System				£0					£0	£C
MECHANICAL SERVICES->Extraction System				£0					£0	
MECHANICAL SERVICES->Domestic Hot Water				£0					£0	£C
ELECTRICAL SERVICES->Mains Distribution				£0					£0	
ELECTRICAL SERVICES->Light Fittings Internal				£0					£0	
ELECTRICAL SERVICES->Light Fittings External				£0					£0	
ELECTRICAL SERVICES->Fire Alarms				£0					£0	£C
ELECTRICAL SERVICES->Security Systems				£0					£0	
Block 10										
ROOFS->Covering										
ROOFS->Structure										
ROOFS->Flashings										
ROOFS->Rainwater goods				£0					£0	£0
WALLS->External walls			£100	£100					£0	£100
WALLS->Windows				£0					£0	£0
WALLS->Doors				£0					£0	
WALLS->Decoration				£0				£123	£123	£123
STRUCTURE->Floors										
STRUCTURE->Walls										
ROOMS->Ceilings				£0					£0	£C
ROOMS->Walls				£0					03	£0
ROOMS->Doors				£0					£0	£C
ROOMS->Floors				£0				£1,148		£1,148
ROOMS->Decoration				£0				£1,157		£1,157
FIXTURES & FITTINGS->Built in cupboards				£0				, •	03	£C
MECHANICAL SERVICES->Electrical Heating System	m			£0					£0	£C
MECHANICAL SERVICES->Extraction System				£0					£0	£0
MECHANICAL SERVICES->Domestic Hot Water				£0					£0	£0
ELECTRICAL SERVICES->Mains Distribution				£0					£0	£0
ELECTRICAL SERVICES -> Light Fittings Internal			1	£0					£0	£0
ELECTRICAL SERVICES > Light Fittings External				£0		 			£0	£0

				Replac	cement						
Description	Priority 1	Priority 2 Priority 3	Priority 4	Repair Total	Priority 1	Priority 2	Priority 3	Priority 4	Replacement Total	Immediate Action	Total
ELECTRICAL SERVICES->Fire Alarms				£0					£	0	£C

Description	1 2	3 4		6	7 8	9	10	11	12	13	14	15
Beschiphori		0 1	Ū	0	, ,	,	10		12	10		10
Block 01												
SIGN 61												
ROOFS->Covering					£5,414							
ROOFS->Structure					207111							
ROOFS->Flashings												
ROOFS->Rainwater goods												
ROOFS->Chimney stacks/flues												
ROOFS->Decoration		£722			£722					£722		
WALLS->External walls		w/ 22			W/ 22					w, 22		
WALLS->Windows							£45,524					
WALLS->Doors							£3,937					
WALLS->Decoration		£7,601			£7,601		20,707			£7,601		
WALLS->Cills		w.,,			3,7,001		-			w. ,001		
STRUCTURE->Frame/Columns							-					
STRUCTURE->Floors												
STRUCTURE->Stairs									£308			
STRUCTURE->Walls									2000			
ROOMS->Ceilings												
ROOMS->Walls			£2,625						£3,199			
ROOMS-> Doors			&Z,0Z3						a.O,177			
ROOMS->Floors			£23,582				£2,215		£1,846			£23,582
ROOMS->Decoration	£15,683		£1,837		£16,618		£1,837		£16,618			£1,837
FIXTURES & FITTINGS->Shelving	213,003		£1,007		210,010		£1,007		210,010			£1,007
SANITARY->WC												
SANITARY->Basins												
SANITARY->Showers												£16,077
SANITARY->Sinks							£984					£10,077
SANITARY->Baths							2704					
HEALTH & SAFETY->Health & Safety Matters							£684					
MECHANICAL SERVICES->Gas Heating System							1004					£10,000
MECHANICAL SERVICES->Extraction System												£3,000
MECHANICAL SERVICES->EXITACTION System MECHANICAL SERVICES->Domestic Hot Water												£10,000
ELECTRICAL SERVICES->Domestic not water ELECTRICAL SERVICES->Mains Distribution												£10,000
ELECTRICAL SERVICES->Mains Distribution ELECTRICAL SERVICES->Light Fittings Internal												
ELECTRICAL SERVICES->Light Fittings External												
ELECTRICAL SERVICES->LIGHT FITTINGS EXTERNAL ELECTRICAL SERVICES->Fire Alarms												
ELECTRICAL SERVICES->FITO AIGIMS												
Plack 00												
Block 02												
DOOLS & Constitution												
ROOFS->Covering												
ROOFS->Structure												
ROOFS->Flashings							0115					
ROOFS->Rainwater goods							£6,152					
ROOFS->Chimney stacks/flues					0700				075			
ROOFS->Decoration	£2,000				£738		<u> </u>		£738			

		1			1										
Description	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Beschpheri			<u> </u>		J		,	-	,	10		12	10		10
ROOFS->Roof Lights					£O										£1,200
WALLS->External walls										£25,500					,
WALLS->Windows										£26,248					
WALLS->Doors										£4,922					
WALLS->Decoration		£5,072					£5,072			w .,, ZZ		£5,072			
WALLS->Other		wo,0, 2					20,072					wo,0, 2			
WALLS->Cills															
EXTERNAL GROUNDS->Roads & Parking Areas															£51,512
EXTERNAL GROUNDS->Underground Drainage															wo . , o . z
EXTERNAL GROUNDS->Paths & Paving										£54,657					£1,695
EXTERNAL GROUNDS->Steps/ramps										201,007					21,070
EXTERNAL GROUNDS->Handrails															£684
EXTERNAL GROUNDS->Boundary fencing/walls															£12,031
STRUCTURE->Floors															812,001
STRUCTURE->Stairs															
STRUCTURE->Walls															
ROOMS->Ceilings		£4,483			£1,490										£3,554
ROOMS->Walls		24,400			21,470					£3,691		£2,133			£13,711
ROOMS->Doors		£4,388			£2,297					£1,326		J.Z,133			#10,/11
ROOMS->Floors		£8,428	£246		£22,621					J.1,520		£8,326	£246		£21,778
ROOMS->Picors ROOMS->Decoration	£17.668	£1,337	£240		£4,126	£17,209	£1.337			£4,126	£17,209	£1,337	£240		£4,126
FIXTURES & FITTINGS->Shelving	£17,000	£1,33/		£82	J4,120	£2,187	£1,337			£4,120	£17,207	£1,337			14,120
FIXTURES & FITTINGS->Shelving FIXTURES & FITTINGS->Fixed display units/cabinets				TOZ		£2,10/									
SANITARY->WC															
SANITARY->WC SANITARY->Basins															
SANITARY->basins SANITARY->Cubicles															
															017.005
SANITARY->Showers SANITARY->Sinks										00.010					£17,225
										£2,210					
SANITARY->Baths															252 222
MECHANICAL SERVICES->Gas Heating System															£50,000
MECHANICAL SERVICES->Extraction System															£35,000
MECHANICAL SERVICES->Domestic Hot Water															£50,000
ELECTRICAL SERVICES->Incoming Mains & Meterin	g														
ELECTRICAL SERVICES->Mains Distribution															
ELECTRICAL SERVICES->Light Fittings Internal															
ELECTRICAL SERVICES->Fire Alarms															
OTHER M&E->Elevator/Lifts															
Block 03															
ROOFS->Covering					£2,625										
ROOFS->Structure															
ROOFS->Flashings															
ROOFS->Rainwater goods										£2,939					
ROOFS->Decoration		£353					£353					£353			
WALLS->External walls										£9,734					

Description	1	2	3	4	. 5	6	7	8	9	10	11	12	13	14	13
WALLS->Windows										£21,327					
WALLS->Doors										£2,953					
WALLS->Decoration		£2,734					£2,734			. ,		£2,734			
WALLS->Cills															
STRUCTURE->Floors															
STRUCTURE->Stairs															
STRUCTURE->Walls															
ROOMS->Ceilings															£889
ROOMS->Walls															200
ROOMS->Doors															
ROOMS->Floors					£16,444					£492					£16,282
ROOMS->Decoration	£12,722				£418	£12,722				£418	£12,722				£418
SANITARY->WC	8512,722				20-110	& 1 Z,7 ZZ				&-110	&, 1 Z, 7 ZZ				۵,710
SANITARY->Basins															
SANITARY->Cubicles															
SANITARY->Cobicies SANITARY->Showers															£17,22
SANITARY->Baths															d. 1 / , Z Z \
MECHANICAL SERVICES->Gas Heating System															£15,000
MECHANICAL SERVICES->Gas nearing system MECHANICAL SERVICES->Extraction System															£1,500
MECHANICAL SERVICES->EXTRACTION SYSTEM MECHANICAL SERVICES->Domestic Hot Water															£15,000
ELECTRICAL SERVICES->Domestic Hot water ELECTRICAL SERVICES->Mains Distribution															£15,000
ELECTRICAL SERVICES->Mains Distribution ELECTRICAL SERVICES->Light Fittings Internal															
ELECTRICAL SERVICES->Light Fittings External ELECTRICAL SERVICES->Fire Alarms															
ELECTRICAL SERVICES->FIFE AIGIMS															
DI LOA															
Block 04															
D0.056 + 0															
ROOFS->Covering															
ROOFS->Structure															
ROOFS->Flashings															
ROOFS->Rainwater goods															
ROOFS->Decoration			£1,173					£1,173					£1,173		
ROOFS->Roof Lights										£250					
WALLS->External walls															
WALLS->Windows										£22,967					
WALLS->Doors														£3,937	
WALLS->Decoration			£5,632					£5,632					£5,632		
WALLS->Cills															
STRUCTURE->Frame/Columns															
STRUCTURE->Floors															
STRUCTURE->Stairs															
STRUCTURE->Walls															
ROOMS->Ceilings															
ROOMS->Walls							-			£984		£1,394			
ROOMS->Doors															
ROOMS->Floors		£246	£205		£13,083		£1,558			£3,486		£205	£205		£13,00

Description	1	2	3 4	5	6	7	8	9	10	11	12	13	14	15
2 document		_		Ü		-		,						
ROOMS->Decoration	£2,346	£10,434		£2.863	£2,346	£10,434			£2,863	£2,346	£10,434			£2,863
FIXTURES & FITTINGS->Built in cupboards	112/010	,		,	112,010	,			,	,				,
SANITARY->WC														
SANITARY->Basins		£328												
SANITARY->Showers														£18,374
SANITARY->Sinks									£328					,
SANITARY->Baths														
MECHANICAL SERVICES->Gas Heating System														£20,000
MECHANICAL SERVICES->Extraction System														£3,500
MECHANICAL SERVICES->Domestic Hot Water														£20,000
ELECTRICAL SERVICES->Mains Distribution														,
ELECTRICAL SERVICES->Light Fittings Internal														
ELECTRICAL SERVICES->Light Fittings External														
ELECTRICAL SERVICES->I.T.														
ELECTRICAL SERVICES->Fire Alarms														
Block 05														
ROOFS->Covering										£3,937				£7,382
ROOFS->Structure										,				,
ROOFS->Flashings										£820				
ROOFS->Rainwater goods														
ROOFS->Chimney stacks/flues														
ROOFS->TV aerials/dishes etc									£492					
ROOFS->Decoration			£500				£500					£500		
ROOFS->Roof Lights														
WALLS->External walls														
WALLS->Windows									£31,580					
WALLS->Doors									,					
WALLS->External joinery														
WALLS->Decoration			£6,808				£6,808					£6,808		
WALLS->Cills			,				,					,		
STRUCTURE->Floors														
STRUCTURE->Stairs														
STRUCTURE->Walls														
ROOMS->Ceilings				£656										£820
ROOMS->Walls				£13,999					£205		£451			£1,723
ROOMS->Doors														
ROOMS->Floors						£10,991			£164		£5,824			
ROOMS->Decoration		£10,195		£3,084		£10,499			£3,084		£10,499			£3,084
FIXTURES & FITTINGS->Worktops		.,		-,					-,		£820			
FIXTURES & FITTINGS->Built in cupboards											£16,405			
SANITARY->WC											,			
SANITARY->Basins														
SANITARY->Showers														
SANITARY->Sinks						+					£4,437			

Description	1	2	3 4	5	6	7	8 9	10	11	12	13	14	15
2 Cooling Horr		_				,	·						
SANITARY->Baths													
FIRE MATTERS->Fire Risk Assessment													
MECHANICAL SERVICES->Gas Heating System													£70,000
MECHANICAL SERVICES->Extraction System													£1,500
MECHANICAL SERVICES->Domestic Hot Water													£15,000
ELECTRICAL SERVICES->Mains Distribution													w. 0,000
ELECTRICAL SERVICES->Light Fittings Internal													
ELECTRICAL SERVICES->Light Fittings External													
ELECTRICAL SERVICES->Fire Alarms													
ELECTRICAL SERVICES->Security Systems													
ELECTRICAL SERVICES—Seconity Systems													
Block 06													
block oo													
ROOFS->Covering								£16,942					
ROOFS->Structure			-					d 10,74Z					
ROOFS->Flashings				£1,353									
ROOFS->Parapets				21,000									£273
ROOFS->Rainwater goods													12/3
ROOFS->Chimney stacks/flues													
ROOFS->Crimney stacks/fibes ROOFS->Decoration			0.407			£6°	77				£697		
			£697			10.	′/				169/		
WALLS->External walls WALLS->Windows								00.4/1					004041
								£2,461					£34,041
WALLS->Doors								£2,953					0.5.5
WALLS->External joinery								0.10					£55
WALLS->Wall fixture & fittings							_	£68					
WALLS->Decoration			£2,680	£4,881		£2,68	30	£4,881			£2,680		£4,881
WALLS->Cills													
STRUCTURE->Floors													
STRUCTURE->Stairs													
STRUCTURE->Walls													
ROOMS->Ceilings								£328					£1,914
ROOMS->Walls				£1,312						£492			
ROOMS->Doors								£492					
ROOMS->Floors				£3,773		£12,550				£4,593			£3,773
ROOMS->Decoration	£1,042	£14,215		£394	£1,042	£14,215		£394	£1,042	£14,215			£394
FIXTURES & FITTINGS->Shelving								£191					
FIXTURES & FITTINGS->Worktops				£137				£68		£684			
FIXTURES & FITTINGS->Built in cupboards				£5,742									
SANITARY->Internal Drainage													
Sanitary->wc													
SANITARY->Basins													
SANITARY->Cubicles													
SANITARY->Showers													£1,148
SANITARY->Sinks								1		£3,937			-
SANITARY->Urinals													
SANITARY->Baths													

Description	1 2	3 4	5	6	7 8	3 9	10	11	12	13	14	15
Description	1 2	3 4	J	O	/	7	10	- 11	12	13	14	13
FIRE MATTERS->Fire Risk Assessment												
MECHANICAL SERVICES->Gas Heating System												£70,000
MECHANICAL SERVICES->Extraction System												£1,500
MECHANICAL SERVICES->Domestic Hot Water												£15,000
ELECTRICAL SERVICES->Mains Distribution												2.0,000
ELECTRICAL SERVICES->Light Fittings Internal												
ELECTRICAL SERVICES->Light Fittings External												
ELECTRICAL SERVICES->Fire Alarms												
ELECTRICAL SERVICES->Security Systems												
Block 07												
ROOFS->Covering												
ROOFS->Structure												
ROOFS->Rainwater goods												
WALLS->External walls												
WALLS->Windows												
WALLS->Doors												£4,000
WALLS->External joinery												.,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
WALLS->Decoration	£4,922				£4,922				£4,922			
WALLS->Cills	W 1/7 ZZ				w 1,7 ZZ				w .,, 22			
STRUCTURE->Floors												
STRUCTURE->Stairs												
STRUCTURE->Walls												
ROOMS->Ceilings												
ROOMS->Walls												
ROOMS->Doors												
ROOMS->Floors	£410				£18,817				£410			
ROOMS->Decoration	£14,207	£148	£853		£14,207	£148	£853		£14,207		£148	£853
FIXTURES & FITTINGS->Worktops	w. 1,207	w. 10	2000		w: 1/20/	wc	2000		£410		wc	2000
FIXTURES & FITTINGS->Built in cupboards									2			
SANITARY->WC												
SANITARY->Basins												
SANITARY->Cubicles												£9,023
SANITARY->Showers												,
SANITARY->Baths												
MECHANICAL SERVICES->Gas Heating System												£20,000
MECHANICAL SERVICES->Extraction System												£3,500
MECHANICAL SERVICES->Domestic Hot Water												£20,000
ELECTRICAL SERVICES->Mains Distribution												.020,000
ELECTRICAL SERVICES->Light Fittings Internal												
ELECTRICAL SERVICES->Light Fittings External												
ELECTRICAL SERVICES->Fire Alarms												
OTHER M&E->Elevator/Lifts												£80,000
22												
Block 08												
						1	1		<u> </u>			

Description	1 2	3 4	5	6	7	8 9	10	11	12	13	14	15
·												
ROOFS->Covering			£1,641									
ROOFS->Structure												
ROOFS->Flashings												
ROOFS->Rainwater goods												
ROOFS->Chimney stacks/flues												
ROOFS->TV aerials/dishes etc							£164					
ROOFS->Decoration		£484			£48	34				£484		
WALLS->External walls												
WALLS->Windows							£18,046					
WALLS->Doors			£4,922									£984
WALLS->Wall fixture & fittings												£1,500
WALLS->Decoration			£5,919				£5,414					£5,414
WALLS->Cills												
STRUCTURE->Frame/Columns												
STRUCTURE->Floors												
STRUCTURE->Walls												
ROOMS->Ceilings												
ROOMS->Walls												
ROOMS->Windows												£410
ROOMS->Doors			£1,500				£656					£9,843
ROOMS->Floors			£1,969				£6,521		£2,707			£2,215
ROOMS->Decoration	£2,920		£4,085		£2,920		£4,085		£2,920			£4,085
FIXTURES & FITTINGS->Shelving												
FIXTURES & FITTINGS->Worktops							£547					
FIXTURES & FITTINGS->Built in cupboards												
SANITARY->Sinks							£820					
MECHANICAL SERVICES->Gas Heating System												£30,000
MECHANICAL SERVICES->Domestic Hot Water												£10,000
ELECTRICAL SERVICES->Mains Distribution												
ELECTRICAL SERVICES->Light Fittings Internal												
ELECTRICAL SERVICES->Fire Alarms												
Block 09												
ROOFS->Covering							£3,057					
ROOFS->Structure							20,007					
ROOFS->Flashings												
ROOFS->Rainwater goods			£1,914									
ROOFS->Fascias			du 1,714				£478	-				
ROOFS->Chimney stacks/flues							a-4/0					
ROOFS->Decoration		£115			£1	5	+	 		£115		
ROOFS->Roof Lights		الله الله	£1,200		£I	J	1	-		มาเว		
WALLS->External walls			#1,∠UU				£9,351					
WALLS->External walls WALLS->Windows							۵7,331					
WALLS->WINDOWS WALLS->Doors							£984	 				

Description	1 2	3	4	5	6	7	8	9 10 1	1 12	13	14 1.
WALLS->Decoration		£2,365					£2,365			£2,365	
STRUCTURE->Floors											
STRUCTURE->Stairs											
STRUCTURE->Walls											
ROOMS->Ceilings											
ROOMS->Walls								£4,922			
ROOMS->Doors								£5,086			
ROOMS->Floors			£1,805					£7,136			£1,805
ROOMS->Decoration		£3,363					£3,363			£3,363	
FIXTURES & FITTINGS->Worktops								£342			
FIXTURES & FITTINGS->Built in cupboards								£8,203			
SANITARY->WC								£656			
SANITARY->Basins								£656			
MECHANICAL SERVICES->Gas Heating System											£7,00
MECHANICAL SERVICES->Extraction System											£25
MECHANICAL SERVICES->Domestic Hot Water											£1,00
ELECTRICAL SERVICES->Mains Distribution											
ELECTRICAL SERVICES->Light Fittings Internal											
ELECTRICAL SERVICES->Light Fittings External											
ELECTRICAL SERVICES->Fire Alarms											
ELECTRICAL SERVICES->Security Systems											
, ,											
Block 10											
ROOFS->Covering											
ROOFS->Structure											
ROOFS->Flashings											
ROOFS->Rainwater goods				£1,572							
WALLS->External walls				,				£4,429			
WALLS->Windows				£2,871				,			
WALLS->Doors				£984							
WALLS->Decoration	£1,107			£123		£1,107		£123	£1,107		£12
STRUCTURE->Floors	201,101					,					
STRUCTURE->Walls											
ROOMS->Ceilings											
ROOMS->Walls								£4,689			
ROOMS->Doors								£984			
ROOMS->Floors	£123							£1,148 £24	6		
ROOMS->Decoration	3120			£1.157				£1,157			£1,15
FIXTURES & FITTINGS->Built in cupboards				21,107				81,107			21,10
MECHANICAL SERVICES->Electrical Heating System	1										
MECHANICAL SERVICES-> Extraction System											£5
MECHANICAL SERVICES->Domestic Hot Water											£1.00
ELECTRICAL SERVICES->Mains Distribution											3.1,00
ELECTRICAL SERVICES->Main's Distribution ELECTRICAL SERVICES->Light Fittings Internal											

Description	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
ELECTRICAL SERVICES->Fire Alarms															

Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	Totals
Block 01																
BIOCK OT																
ROOFS->Covering					£19,600			£5,414								£31.01
ROOFS->Structure					,			,								
ROOFS->Flashings										£3,684						£3,68
ROOFS->Rainwater goods										£6,015						£6,01
ROOFS->Chimney stacks/flues										£4,000						£4,000
ROOFS->Decoration			£722					£722		,			£722			£4,33
WALLS->External walls					£22,803			***								£23,303
WALLS->Windows					w22,000											£49,55
WALLS->Doors															£3,937	£7,92
WALLS->Decoration			£7,601					£7,601					£7,601		20,707	£46,36
WALLS->Cills			۵,,001					w.,001		£20,500			w.,001			£20,500
STRUCTURE->Frame/Columns										220,000						ه،کرن,JU
STRUCTURE->Floors																
STRUCTURE->Stairs																£308
STRUCTURE->Walls																2000
ROOMS->Ceilings					£22,209					£4,922						£27,13
ROOMS->Walls					£50,789					24,7ZZ						£56,612
ROOMS->Walls ROOMS->Doors					£43,528					£4,867						£54,07
ROOMS->Floors					£2,215					£23,582					£2,215	£81,45
ROOMS->Pridois ROOMS->Decoration		£16,618			£1,837		£16,618			£1,837	C1	6,618			£1,837	£111,92
FIXTURES & FITTINGS->Shelving		110,010			£137		£10,010			£1,63/	£1:	0,010			£1,03/	£111,92.
SANITARY->WC					£4,593											£4,593
SANITARY->Basins					£4,593											£4,593
SANITARY->Showers										200.4						£16,07
SANITARY->Sinks										£984						£1,969
SANITARY->Baths					£1,969											£1,969
HEALTH & SAFETY->Health & Safety Matters					£684										£684	£2,95
MECHANICAL SERVICES->Gas Heating System																£10,000
MECHANICAL SERVICES->Extraction System																£3,000
MECHANICAL SERVICES->Domestic Hot Water																£10,000
ELECTRICAL SERVICES->Mains Distribution					£40,000											£40,000
ELECTRICAL SERVICES->Light Fittings Internal					£33,000											£33,000
ELECTRICAL SERVICES->Light Fittings External					£1,500											£1,500
ELECTRICAL SERVICES->Fire Alarms					£10,000											£10,000
Block 02																
ROOFS->Covering																£2,000
ROOFS->Structure																£
ROOFS->Flashings																£
ROOFS->Rainwater goods																£6,15
ROOFS->Chimney stacks/flues																£
ROOFS->Decoration	1	£738	-				£738					£738				£5,69

Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	Totals
ROOFS->Roof Lights																£1,200
WALLS->External walls																£25,500
WALLS->Windows																£31,248
WALLS->Doors															£4,922	£9,843
WALLS->Decoration		£5,072					£5,072					£5,072				£30,432
WALLS->Other																£O
WALLS->Cills										£19,500						£19,500
EXTERNAL GROUNDS->Roads & Parking Areas																£51,512
EXTERNAL GROUNDS->Underground Drainage																£0
EXTERNAL GROUNDS->Paths & Paving																£56,652
EXTERNAL GROUNDS->Steps/ramps					£13,944											£13,944
EXTERNAL GROUNDS->Handrails					,											£684
EXTERNAL GROUNDS->Boundary fencing/walls					£96,572											£108,603
STRUCTURE->Floors					,											£0
STRUCTURE->Stairs					£103											£103
STRUCTURE->Walls					2.00											£0
ROOMS->Ceilings					£18,900					£615						£30,148
ROOMS->Walls					£65,101					2010						£85,487
ROOMS->Doors					£39,919					£1,682		£4,388			£2,297	£57,978
ROOMS->Floors					£12,057		£8,326	£246		£21,778		a 1,000			£1,107	£105,759
ROOMS->Decoration	£17,209	£1,337			£4,126	£17,209	£1,337	2270		£4,126	£17,209	£1,337			£4,126	£140,968
FIXTURES & FITTINGS->Shelving	æ17,207	£1,007			&4,120	217,207	21,007			&4,120	a.17,207	æ1,007		£82	a.4,120	£2,351
FIXTURES & FITTINGS->Fixed display units/cabinets					£574									#OZ		£574
SANITARY->WC					£4,922											£4,922
SANITARY->Basins					£5,168											£5,168
SANITARY->Cubicles					£9.023											£9,123
SANITARY->Cobicies SANITARY->Showers					£7,U23											£17,225
SANITARY->Sinks										£1,641						£3,851
					00.405					£1,641						£2,625
SANITARY->Baths					£2,625											
MECHANICAL SERVICES->Gas Heating System MECHANICAL SERVICES->Extraction System																£50,000
																£35,000
MECHANICAL SERVICES->Domestic Hot Water																£50,000
ELECTRICAL SERVICES->Incoming Mains & Meterin	ıg				£20,000											£20,000
ELECTRICAL SERVICES->Mains Distribution					£50,000											£50,000
ELECTRICAL SERVICES->Light Fittings Internal					£33,000											£33,000
ELECTRICAL SERVICES->Fire Alarms					£10,000											£10,000
OTHER M&E->Elevator/Lifts	£100,000															£100,000
Block 03																
ROOFS->Covering					£2,625											£5,250
ROOFS->Structure																£0
ROOFS->Flashings																0£
ROOFS->Rainwater goods																£2,939
ROOFS->Decoration		£353					£353					£353				£2,116
WALLS->External walls		-														£9,734

Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30 1	Totals
WALLS->Windows																£21,327
WALLS->Doors															£2,953	£5,906
WALLS->Decoration		£2,734					£2,734					£2,734				£16,405
WALLS->Cills										£16,500						£16,500
STRUCTURE->Floors																£C
STRUCTURE->Stairs																£C
STRUCTURE->Walls																£
ROOMS->Ceilings					£11,689											£12,827
ROOMS->Walls					£51,102											£51,202
ROOMS->Doors					£48,614											£48,614
ROOMS->Floors					£492					£16,282					£492	£51,127
ROOMS->Decoration	£12,722				£418	£12,722				£418	£12,722				£418	£78,983
SANITARY->WC					£6,206											£6,206
SANITARY->Basins					£6,890											£6,890
SANITARY->Cubicles					£14,765											£14,765
SANITARY->Showers					,											£17,225
SANITARY->Baths					£1,969											£1,969
MECHANICAL SERVICES->Gas Heating System					w.,,, o,											£15,000
MECHANICAL SERVICES->Extraction System																£1,500
MECHANICAL SERVICES->Domestic Hot Water																£15,000
ELECTRICAL SERVICES->Mains Distribution					£30,000											£30,000
ELECTRICAL SERVICES->Light Fittings Internal					£33,000											£33,000
ELECTRICAL SERVICES->Light Fittings External					£1,500											£1,500
ELECTRICAL SERVICES->Fire Alarms					£10,000											£10,000
ELECTRICAL SERVICES->FIIE AIGITIS					£10,000											£10,000
Block 04																
BIOCK U4																
DOOFS & Countries																00
ROOFS->Covering																£0
ROOFS->Structure																£0
ROOFS->Flashings					00.70/											£0
ROOFS->Rainwater goods					£9,706											£9,706
ROOFS->Decoration			£1,173					£1,173					£1,173			£7,038
ROOFS->Roof Lights										£2,000						£2,250
WALLS->External walls					£14,655											£14,655
WALLS->Windows									£23,623							£46,651
WALLS->Doors																£3,937
WALLS->Decoration			£5,632					£5,632					£5,632			£33,795
WALLS->Cills																£C
STRUCTURE->Frame/Columns																£C
STRUCTURE->Floors																£C
STRUCTURE->Stairs																£C
STRUCTURE->Walls																£C
ROOMS->Ceilings					£16,132										£205	£16,337
ROOMS->Walls					£42,789										£478	£45,846
ROOMS->Doors					£49,106											£49,106
ROOMS->Floors	1	£1,558			£3,486	+	£205	£205	+	£13,001		£1,558			£3,486	£58,976

Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30 1	Totals
ROOMS->Decoration	£2,346	£10,434			£2,863	£2,346	£10,434			£2,863	£2,346	£10,434			£2,863	£96,717
FIXTURES & FITTINGS->Built in cupboards					£1,641											£1,641
Sanitary->wc					£7,218											£7,218
SANITARY->Basins					£6,562					£328		£328				£7,874
SANITARY->Showers																£18,374
SANITARY->Sinks										£328						£656
SANITARY->Baths					£2,625											£2,625
MECHANICAL SERVICES->Gas Heating System																£20,000
MECHANICAL SERVICES->Extraction System																£3,500
MECHANICAL SERVICES->Domestic Hot Water																£20,000
ELECTRICAL SERVICES->Mains Distribution					£50,000											£50,000
ELECTRICAL SERVICES->Light Fittings Internal					£33,000											£33,000
ELECTRICAL SERVICES->Light Fittings External					£2,000											£2,000
ELECTRICAL SERVICES->I.T.					£150											£150
ELECTRICAL SERVICES->Fire Alarms					£15,000											£15,000
					,											,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
Block 05																
ROOFS->Covering					£5,980						£3,937				£7,382	£36,001
ROOFS->Structure																£C
ROOFS->Flashings					£3,008						£820					£4,648
ROOFS->Rainwater goods					£4,170											£4,170
ROOFS->Chimney stacks/flues					£12,236											£12,236
ROOFS->TV aerials/dishes etc					£492										£492	£1,476
ROOFS->Decoration			£500					£500					£500			£3,002
ROOFS->Roof Lights										£500						£900
WALLS->External walls					£20,069											£20,069
WALLS->Windows					,											£35,810
WALLS->Doors	£7,874															£7,874
WALLS->External joinery	27,07					£400										£400
WALLS->Decoration			£6,808			w 100		£6,808					£6,808			£40,849
WALLS->Cills			20,000					20,000		£2,500			20,000			£2,500
STRUCTURE->Floors										\$2,000						£(
STRUCTURE->Stairs																£(
STRUCTURE->Walls																£C
ROOMS->Ceilings					£68											£1,795
ROOMS->Cellings ROOMS->Walls	+				£8.749											£25,227
ROOMS->Walls ROOMS->Doors					£1,367		£18,593				+			-		£19,960
ROOMS->Doors ROOMS->Floors		£10.001			£1,36/		£5,249					£11,114				£44,335
		£10,991			£3,084		£5,249 £10,499			£3,084		£11,114 £10,499		1	C2 O0 4	
ROOMS->Decoration		£10,499			よ ろ,084		£1U,477			ま 3,U84				1	£3,084	£84,281
FIXTURES & FITTINGS->Worktops					0000		00.443					£820				£1,641
FIXTURES & FITTINGS->Built in cupboards					£820		£2,461									£19,686
SANITARY->WC							£2,953									£2,953
SANITARY->Basins							£328									£328
SANITARY->Showers		£1,148														£1,148
SANITARY->Sinks												£4,265	<u> </u>			£8,703

Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30 1	Totals
SANITARY->Baths							£3,281									£3,281
FIRE MATTERS->Fire Risk Assessment							£8,000									£8,000
MECHANICAL SERVICES->Gas Heating System																£70,000
MECHANICAL SERVICES->Extraction System																£1,500
MECHANICAL SERVICES->Domestic Hot Water																£15,000
ELECTRICAL SERVICES->Mains Distribution					£100,000											£100,000
ELECTRICAL SERVICES->Light Fittings Internal					£58,000											£58,000
ELECTRICAL SERVICES->Light Fittings External					£8,000											£8,000
ELECTRICAL SERVICES->Fire Alarms					£100											£100
ELECTRICAL SERVICES->Security Systems					£10,000											£10,000
Block 06																
												-				
ROOFS->Covering																£21,942
ROOFS->Structure																£C
ROOFS->Flashings																£1,753
ROOFS->Parapets															£273	£1,147
ROOFS->Rainwater goods					£5,810											£5,810
ROOFS->Chimney stacks/flues															£7,341	£7,341
ROOFS->Decoration			£697					£697					£697			£4,183
WALLS->External walls					£15,913											£15,913
WALLS->Windows																£37,502
WALLS->Doors															£2,953	£5,906
WALLS->External joinery																£55
WALLS->Wall fixture & fittings																£68
WALLS->Decoration			£2,680		£4,881			£2,680		£4,881			£2,680		£4,881	£50,241
WALLS->Cills					-					£28,500						£28,500
STRUCTURE->Floors																£C
STRUCTURE->Stairs																£C
STRUCTURE->Walls																£C
ROOMS->Ceilings					£615										£1,265	£4,212
ROOMS->Walls					£4,751										£11,825	£18,381
ROOMS->Doors					£10,499		£11,812								. ,	£22,803
ROOMS->Floors		£12,550					. , ,			£3,773		£12,550				£53,563
ROOMS->Decoration	£1.042				£394	£1,042	£14,215			£394	£1,042	£14,215			£394	£94,198
FIXTURES & FITTINGS->Shelving	,	,0				,					/	,				£191
FIXTURES & FITTINGS->Worktops					£137					£68		£684				£1,777
FIXTURES & FITTINGS->Built in cupboards					£3,281		£20,507			200		2001			£5,742	£35,271
SANITARY->Internal Drainage					20,201		WZ0,007								£123	£123
SANITARY->WC					£1,641		£1,969								w.20	£3,609
SANITARY->Basins					£1,641		2.,, 3,									£1,641
SANITARY->Cubicles					£3,281											£3,281
SANITARY->Showers					۵.0,201											£1,148
SANITARY->Sinks												£3,937				£7,874
SANITARY->Urinals					£984							۵۵,73/				£984
SANITARY->Baths					£70 4		£3,937									£3,937
ארואוועוג ומוווט							೩೦,7೦/									೩೦,7೦/

Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30 Totals
FIRE MATTERS->Fire Risk Assessment							£5,906								£5,90
MECHANICAL SERVICES->Gas Heating System							23,700								£70.00
MECHANICAL SERVICES->Extraction System															£1,50
MECHANICAL SERVICES->EXITACTION System MECHANICAL SERVICES->Domestic Hot Water															£15,00
ELECTRICAL SERVICES->Domestic Hot Water ELECTRICAL SERVICES->Mains Distribution					£100,000										£100,00
ELECTRICAL SERVICES->Mains Distribution ELECTRICAL SERVICES->Light Fittings Internal					£58,000										£58,00
ELECTRICAL SERVICES->Light Fittings Internal					£8,000										£8,00
ELECTRICAL SERVICES->Light Fittings external ELECTRICAL SERVICES->Fire Alarms					£0,000										£8,00
ELECTRICAL SERVICES->File Alditis ELECTRICAL SERVICES->Security Systems					£10,000										£10.00
ELECTRICAL SERVICES->3@COMY SYSTEMS					£10,000										£10,00
Block 07															
ROOFS->Covering		£67,671													£67,67
ROOFS->Structure															£
ROOFS->Rainwater goods							£1,476								£1,47
WALLS->External walls												£1,203			£1,20
WALLS->Windows												£20,178			£20,17
WALLS->Doors		£11,297										£6,000			£21,29
WALLS->External joinery							£219								£21
WALLS->Decoration		£4,922					£4,922					£4,922			£29,52
WALLS->Cills															£
STRUCTURE->Floors															£
STRUCTURE->Stairs															£
STRUCTURE->Walls															£
ROOMS->Ceilings															£10
ROOMS->Walls												£492			£49
ROOMS->Doors							£54,616								£54,61
ROOMS->Floors		£16,282					£410			£984		£16,282			£54,68
ROOMS->Decoration		£14,207		£148	£853		£14,207		£148	£853		£14,207		£148	£853 £92,09
FIXTURES & FITTINGS->Worktops												£410			£82
FIXTURES & FITTINGS->Built in cupboards							£11,843								£11,84
SANITARY->WC							£5,578			£328					£6,23
SANITARY->Basins							£5,906								£5,90
SANITARY->Cubicles															£9,02
SANITARY->Showers		£20,671													£20,67
SANITARY->Baths							£4,593								£4,59
MECHANICAL SERVICES->Gas Heating System															£20,00
MECHANICAL SERVICES->Extraction System															£3,50
MECHANICAL SERVICES->Domestic Hot Water															£20,00
ELECTRICAL SERVICES->Mains Distribution					£50,000										£50,00
ELECTRICAL SERVICES->Light Fittings Internal					£33,000										£33,00
ELECTRICAL SERVICES->Light Fittings External					£2,000										£2,00
ELECTRICAL SERVICES->Fire Alarms					£10,000										£10,00
OTHER M&E->Elevator/Lifts															£80,00
Pleate O0															
Block 08															

Description	16	17	18	19	20	21	22	23	24	25	26 2	7 28	29	30	Totals
ROOFS->Covering					£1,641					£48,600					£51,881
ROOFS->Structure					,.					,					£C
ROOFS->Flashings					£2,406					£9,775					£12.181
ROOFS->Rainwater goods					£4,033										£4,093
ROOFS->Chimney stacks/flues					£2,447										£2,447
ROOFS->TV aerials/dishes etc					£164									£164	£492
ROOFS->Decoration			£484					£484				£484			£2,904
WALLS->External walls					£15,694										£15,694
WALLS->Windows					•										£18,146
WALLS->Doors										£8,422					£14,327
WALLS->Wall fixture & fittings										,					£1,500
WALLS->Decoration					£5,414					£5,414				£5,414	£32,988
WALLS->Cills					,									, .	£C
STRUCTURE->Frame/Columns															£C
STRUCTURE->Floors															£C
STRUCTURE->Walls															£C
ROOMS->Ceilings					£5,759									£9,399	£17,971
ROOMS->Walls					£18,489									£4,033	£22,672
ROOMS->Windows					,									,	£410
ROOMS->Doors					£3,171									£492	£15,663
ROOMS->Floors					£17,717					£1,969				£6,521	£46,139
ROOMS->Decoration		£2,920			£4,085		£2,920			£4,085	£2.92	0		£4,085	£46,115
FIXTURES & FITTINGS->Shelving		,			£55		,			,				,	£55
FIXTURES & FITTINGS->Worktops										£547					£1,094
FIXTURES & FITTINGS->Built in cupboards					£2,460										£2,460
SANITARY->Sinks					, ,					£820					£1,641
MECHANICAL SERVICES->Gas Heating System															£30,000
MECHANICAL SERVICES->Domestic Hot Water															£10,000
ELECTRICAL SERVICES->Mains Distribution					£20,000										£20,000
ELECTRICAL SERVICES->Light Fittings Internal					£20,000										£20,000
ELECTRICAL SERVICES->Fire Alarms					£10,000										£10,000
					•										
Block 09															
ROOFS->Covering										£3,057					£6,114
ROOFS->Structure										20,007					£0,115
ROOFS->Flashings															£C
ROOFS->Rainwater goods	+									+		+ +			£1,914
ROOFS->Fascias															£478
ROOFS->Chimney stacks/flues					£2,447										£2,447
ROOFS->Decoration	+		£115		&∠, ⊤ ⊤/			£115		+		£115			£689
ROOFS->Roof Lights			2110					2110				2.10			£1,200
WALLS->External walls	+									+		+ +			£9,351
WALLS->Windows	+				£12,030							+			£12,030
WALLS-> MINDOWS WALLS-> Doors					a. 1 2,000					+		+		£984	£1,969

									0.4	0.5					20.7	
Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30 1	otals
WALLS->Decoration			£2,365					£2,365					£2,365			£14,190
STRUCTURE->Floors			a.Z,000					£2,000					22,000			£(
STRUCTURE->Stairs																£(
STRUCTURE->Walls																£(
ROOMS->Ceilings					£3,930											£3,930
ROOMS->Walls					£7,184											£12,10
ROOMS->Doors					£7,104											£5,08
ROOMS->Floors									£1,805							£12,550
ROOMS->Decoration			£3.363					£3,363	21,000				£3,363			£20,178
FIXTURES & FITTINGS->Worktops			20,000					20,000		£342			20,000			£684
FIXTURES & FITTINGS->Built in cupboards					£3,000					2042						£11,200
SANITARY->WC					20,000											£656
SANITARY->Basins																£656
MECHANICAL SERVICES->Gas Heating System																£7,000
MECHANICAL SERVICES->Gds Hedning System MECHANICAL SERVICES->Extraction System																£250
MECHANICAL SERVICES > Domestic Hot Water																£1,000
ELECTRICAL SERVICES->Mains Distribution					£5,000											£5,000
ELECTRICAL SERVICES->Light Fittings Internal					£1,000											£1,000
ELECTRICAL SERVICES->Light Fittings External					£150											£150
ELECTRICAL SERVICES->Fire Alarms					2130											£(
ELECTRICAL SERVICES->Security Systems					£1,500											£1,500
ELECTRICAL SERVICES—SECONLY SYSTEMS					21,500											۵۱,500
Block 10																
BIGER 10																
ROOFS->Covering																£
ROOFS->Structure																£
ROOFS->Flashings																£(
ROOFS->Rainwater goods																£1,572
WALLS->External walls																£4,529
WALLS->Windows																£2,87
WALLS->Doors										£984						£1,969
WALLS->Decoration		£1,107			£123		£1,107			£123		£1,107			£123	£7,50
STRUCTURE->Floors		201,107			\$120		21,107			2120	-	21,107			8120	£(
STRUCTURE->Walls																£(
ROOMS->Ceilings					£1,162											£1,162
ROOMS->Walls					£752											£5,44
ROOMS->Doors					w/ 02											£984
ROOMS->Floors					£1,148	£246									£1,148	£5,209
ROOMS->Decoration					£1,157	WZ 10				£1,157					£1,157	£8,09
FIXTURES & FITTINGS->Built in cupboards					£820					21,107					301,107	£820
MECHANICAL SERVICES->Electrical Heating System	n				£2,500											£2,500
MECHANICAL SERVICES-> Extraction System					a2,000					-						£50
MECHANICAL SERVICES-> Domestic Hot Water										-						£1,000
ELECTRICAL SERVICES-> Mains Distribution					£5,000					-						£5,000
ELECTRICAL SERVICES->Light Fittings Internal					£1,000											£1,000
ELECTRICAL SERVICES->Light Fittings External					£100											£100

Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	Totals
ELECTRICAL SERVICES->Fire Alarms																£0
																£5,449,160



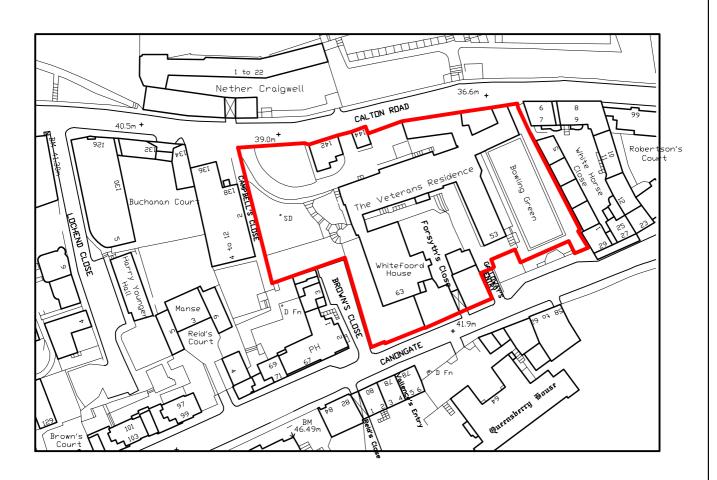


SECTION 7

Floor Plans

Job No. SVR/CONS

Whitefoord House 53 Canongate Edinburgh for SVHA



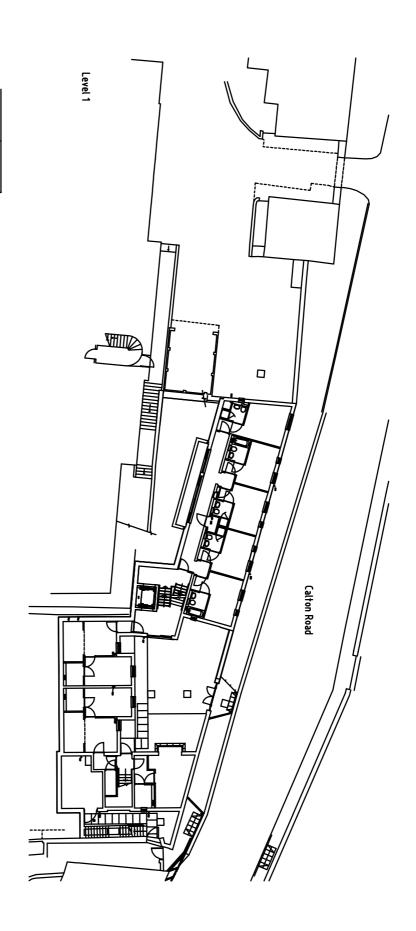
Location Plan 1:1250

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Chartered Architects
1 Burns Street, Edinburgh EH6 8DS
TEL 0131 554 7666 FAX 0131 554 8777



Level 7 - 1:200

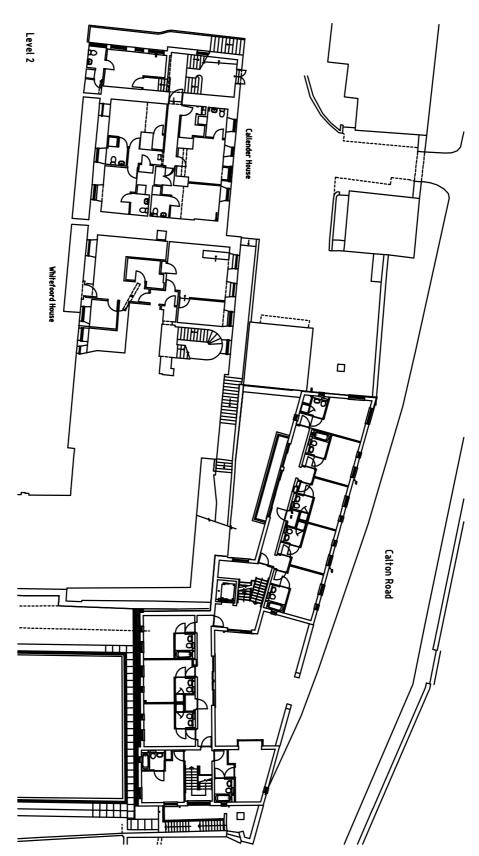
Addison Smith House

Floor Levels:-Level 1 - Calton Road street level Level 2 - Basement level

Level 3 - Canongate street level
Level 4 - First floor level
Level 5 - Second floor level
Level 6 - Third floor level
Level 7 - Fourth floor level

WHITEFOORD HOUSE LEVELS 1 and 7





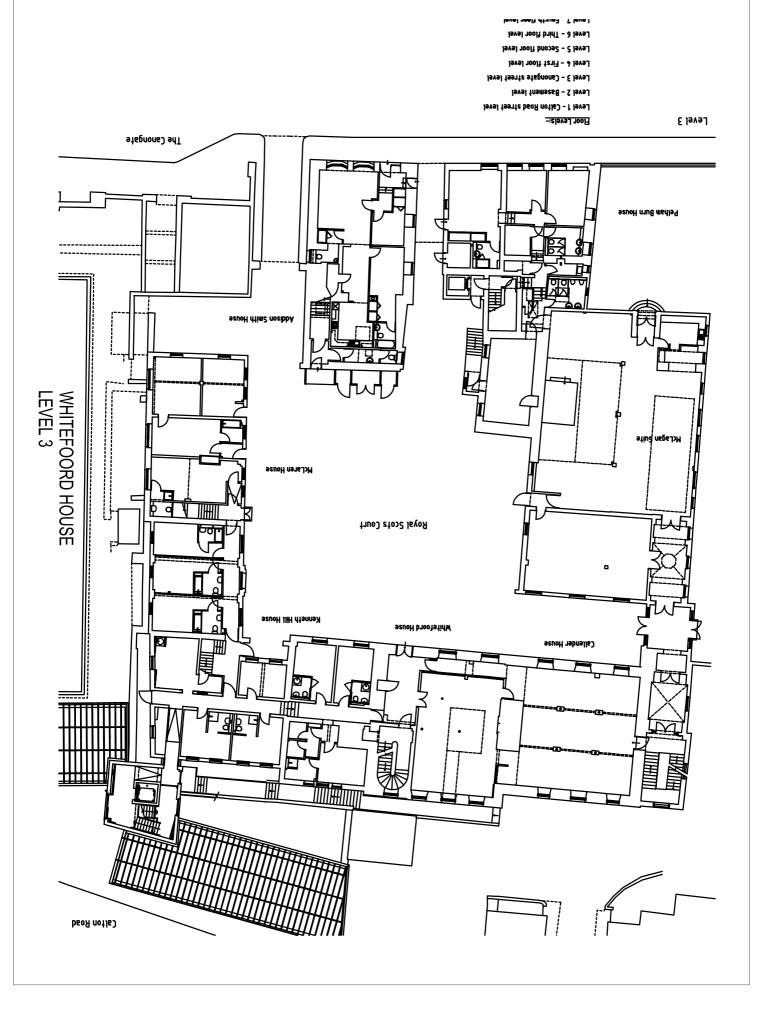
WHITEFOORD HOUSE LEVEL 2

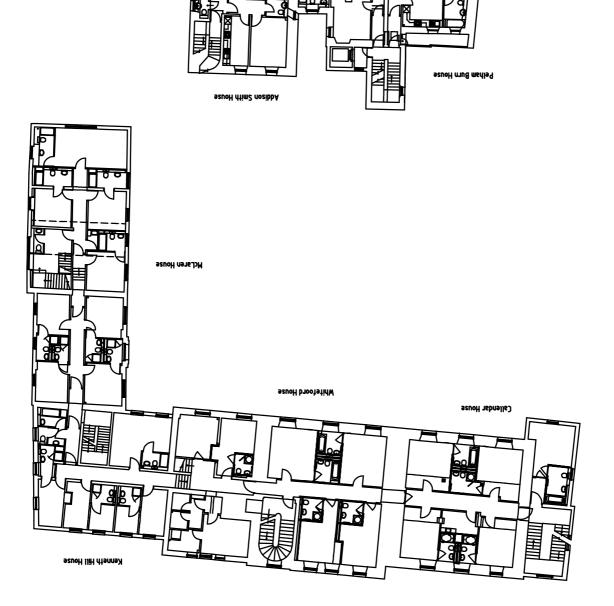
Level 5 - Second floor level Level 6 - Third floor level Level 7 - Fourth floor level

Level 1 - Calton Road street level
Level 2 - Basement level
Level 3 - Canongate street level

Floor Levels:-

Level 4 - First floor level

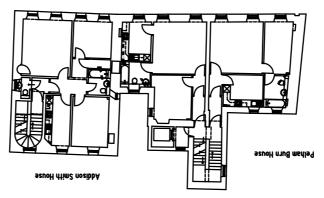


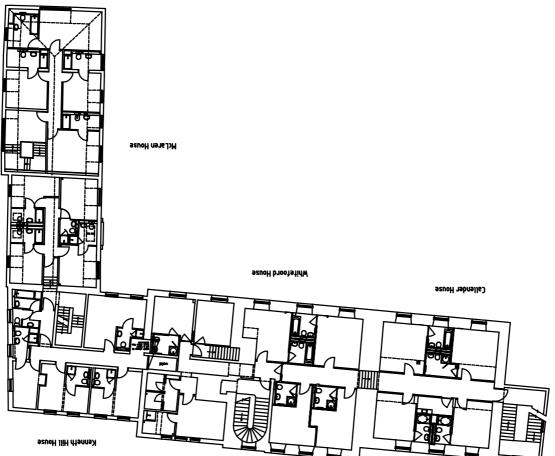


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Floor Levels:-Level 1 - Calton Road street level Level 2 - Basement level Level 3 - Canongate street level Level 4 - First floor level Level 5 - Second floor level Level 6 - Third floor level Level 6 - Third floor level

Z level 5





Floor Levels:—
Level 1 - Calton Road street level
Level 2 - Basement level
Level 3 - Canongate street level
Level 4 - First floor level
Level 5 - Second floor level
Level 6 - Third floor level
Level 6 - Third floor level

7 Jevel

Pelham Burn House sevoH Atim2 nosibbA McLaren House Whitefoord House Callender House []

Kenneth Hill House