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Stock Condition Survey 2009



Carried Out By:
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and Owen Holleway**

Date: **30th March 2009**

Reference No: **Dundee**
Location:
Rosendael

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SECTION 1

Introduction & General Notes

INTRODUCTION AND GENERAL NOTES

Instruction In accordance with instructions received from Scottish Veterans Residences, Dearle & Henderson carried out an inspection of **Rosendael, Dundee** on the **30 March 2009**, with a view to providing a Condition Survey Report (including a 30 year Life Cycle Report) of the property.

Survey Scope The property has been visually inspected internally and externally, in accordance with Scottish Veterans Residences Condition Survey instruction.

The survey was undertaken on a visual only basis and no invasive investigations have been carried out. Similarly, services have not been tested and the condition report is based on visual assessments and locally provided information only.

The works requirements included in the report are those necessary in Year 2009 from the reporting period starting March 2009.

Assessment of Condition The condition of each element has been categorised using professional and technical judgement taking into account the use of the buildings and rooms with particular attention to Health & Safety implications, long-term maintenance and replacement needs, disruption to operational facilities and the age of the element. A condition category has been applied to each element as follows:

- A In a satisfactory condition
- B Requires periodic repair
- C Nearing end of economic life and requires extensive repair
- D Requires renewal to prevent increased expenditure

Priority Grading Where the surveyor has concluded that works are necessary within Year 1 the survey item has been prioritised as follows:

1. Health & Safety i.e. compliance with statute and or duty.
2. Neglect will undermine the use of the property.
3. Defect that might lead to damage or further deterioration of a building element, surrounding building elements or item of plant resulting in increased expenditure.
4. To maintain proper standards.

All building elements have been inspected and recorded as part of this survey and costs are provided for Year 1 only. In general elements that are in good condition, may require no works, are classified as 'A'. Items where no works are required have not generally been measured and no costs entered against them. Where an action is necessary a priority grading is provided.

All categories of condition or priority have been estimated and costed for use within and for the formulation of a 30 year Life Cycle Plan of each property.

Costs

The rates used to estimate the costs of the various recommended works have been predominately derived from "Spon's Architect's and Builders Price Book ", and Cost Models (particularly for Mechanical & Electrical tasks) published by Davis Langdon & Everest. Other items are the subject of "spot" estimates based on the surveyor's experience and assessment of the work requirements. Budget cost estimates are included for all items where work is considered necessary in Year 1 and represent the likely cost which will need to be

expended on the basis each item is carried out individually and not as part of one contract. These costs are net figures and have not been assessed to include preliminaries, contingencies, fees or VAT.

The costs are for indicative budget purposes only as the rates are indicative for typical task and do not necessarily take into account specific variations in material or form.

The costs provided in the Summary take precedence over costs in Year One of the Life Cycle Report, where a discrepancy is found.

Building & Room Numbers

All buildings and rooms within the property have been numbered to enable defects itemised, to be inspected on site. This data has been incorporated into the database to enable calculations to be made where appropriate.

Life Cycle Cost Plan

A Life Cycle Cost Plan is provided and is based on Year 1 works prices at April 2009. Value Added Tax is excluded.

The Life Cycle profile presented is on a property basis.

Life expectancy of building elements identified during the survey process within the Condition Survey Report are transferred into the relevant year of the corresponding Life Cycle Cost Plan and a renewal cost given within that year. The life span of the building elements, which are taken from industry-accepted norms, defines in future years within the 30 Year periods when that element should be renewed again. Depending on the element concerned predictable repair cost allowances are then made within that life span when periodic, cyclical maintenance is undertaken. It does not allow for emergency, unpredictable or unforeseeable repairs.

Where a building element has a sub-element which can be predicted to fail requiring regular periodic

renewal and is of such significance that the element as a whole will fail without its renewal, then that has been included within the Life Cycle Cost Plan for renewal of the entire element. Other significant maintenance costs are also given as appropriate:

For example, where a PVC window has a timber sub-frame and the timber frame fails at 20 years then the renewal of the entire unit would occur which is earlier than the actual life of the PVC frame. Where a PVC window has a hermetically sealed double-glazing unit only the glazed unit would be renewed when the glazing fails at 10 years.

The lower life expectancy of any building element stated within a Condition Survey report takes precedence over any other as the life remaining that is carried forward to the corresponding Life Cycle Cost Plan

SECTION 2

Summary

Roosendael House

Date of Survey

24/03/2009 13:25:34

Surveyor(s)

Owen Holleway, Richard Robertson, Tony Duffy

Summary of Yr 1 Costs

<u>Element</u>	Priority 1 Work (£)	Priority 2 Work (£)	Priority 3 Work (£)	Priority 4 Work (£)	TOTAL (£)
Externally					
1. Roofs	0	0	3,973	270	4,243
2. Walls	0	0	0	325	325
3. Grounds	0	0	0	300	300
<u>Internally</u>					
4. Structure	0	0	0	0	0
<u>Internal Fabric</u>					
5. Rooms	0	0	0	7,076	7,076
6. Fixtures & Fittings	0	0	0	820	820
7. Sanitary	0	0	0	328	328
8. Health & Safety	0	0	0	0	0
9. Fire Matters	0	0	0	0	0
10. Hazardous Materials	0	0	0	0	0
11. DDA Compliance & Status	0	0	0	0	0
12. Security Arrangements	0	0	0	0	0
13. Mechanical Services	0	0	0	0	0
14. Electrical Services	0	0	0	0	0
15. Other Mechanical & Electrical	0	0	0	0	0
TOTAL £	0	0	3,973	9,119	13,092



SECTION 3

Brief Description of Property

BRIEF DESCRIPTION OF PROPERTY

Overall Condition	B
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Overall condition of the property – Rated A – D

A - Performing well and operating efficiently

B - Performing adequately but showing minor deterioration

C - Showing major defects and/or not operating adequately

D - Life expired and/or serious risk of imminent failure

Building

Block 1 (Kyd): Traditionally built two-storey stone construction with basement and attic areas.

Building comprises slated/mineral felt roofs and stone walls with timber single and double glazed windows and porch at Main entrance. Internal finishes – decoration, floor coverings, internal doors are in good order.

Sanitary ware is generally in a satisfactory condition.

Block 2 (McKinney): Brick built roughcast and brick wall finish, metal profiled roof and a combination of timber and PVC-u double-glazed windows.

Internal finishes – decoration, floor coverings, internal doors are in good order.

Sanitary ware is generally in a satisfactory condition.

Block 3 (Dalhousie): Brick built roughcast wall finish, metal profiled roof and PVC-u double-glazed windows.

Internal finishes – decoration, floor coverings, internal doors are in good order.

Sanitary ware is generally in a satisfactory condition.

Block 4 (Keays): Concrete framed, brick and roughcast wall finishes, concrete tiled roof and PVC-u double-glazed windows; purpose built addition from McKinney block.

Internal finishes – decoration, floor coverings, internal doors are in good order.

Sanitary ware is generally in a satisfactory condition, although upgrading to some toilets required (currently in progress in unoccupied rooms).

Block 5 (Dining): Situated between Kyd and McKinney blocks, the block is a traditionally built building with proprietary roof covering and roughcast walls, together with aluminium/timber glazed windows and doors.

Internal finishes – decoration, floor coverings, internal doors are in good order.

Block 6 (Greenhouse): PVC-u/glazed wall and roof sections.

Internal finishes – decoration, floor coverings in good order.

Block 7 (Flat 1A): Traditionally built two-storey house with ground floor flat and upper floor incorporated into McKinney block.

Building comprises slated roof and stone walls with timber framed and PVC-u double glazed windows and added porch with mineral felt roof and PVC-u door and frame.

Block 8 (Lodge): The Lodge is a traditionally built bungalow with slate roof; stone and roughcast walls and timber/aluminium double-glazed windows.

M&E

Block1 – 6

Main Power Incomer:

Power is supplied from the main REC supplies. This feeds a switching system supplying a number of Distribution Boards (DB).

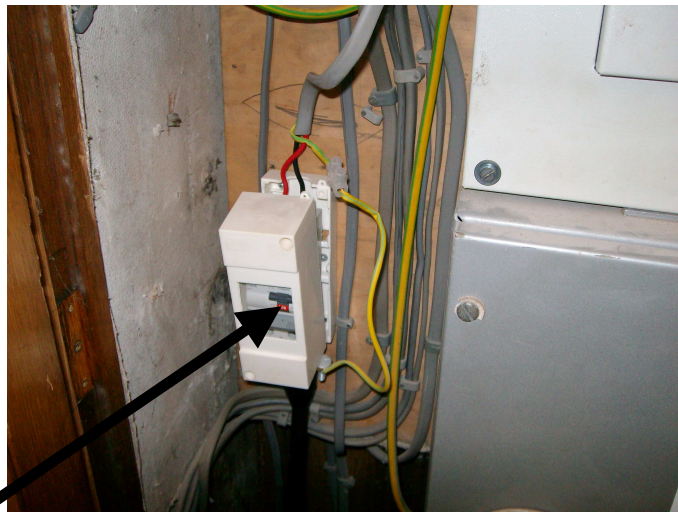
A number of observations were noted:

- No Statuary Signage present at main DB location
- Evidence of cables disconnected from the DB and left in place, BS7671 states that all redundant cabling should be removed.



Redundant cables should be removed.

- A CB has been installed with the protective cover incorrectly fitted.



Cover not fitted properly.

Power Distribution:

Power distribution was via a mix of Wylex, GEC and Merlin Gerin DBs located around the bld. Wiring was contained within trunking. This also houses the IT & Telephone system. All were in a fair condition with no defects noted. However there was evidence of extension leads and 3-way adapters in use throughout the bld. This can lead to an overload of the circuits, it is recommended that the use of extensions is reviewed and the removal of 3-way adapters is considered.



3-way adapters in use

particularly worrying, a 3-way adapter plugged into an extension lead

Heating:

Heating was provided from three different boiler rooms supplying different locations within the main bld.

McKinney & Dalhousie Block:

Heating was provided by 2 Remeha Quinta 65 Gas fired boilers. Hot water from system was pumped round the bld to a number of convection radiators, by a Grundfos pumping setup. The heating and its associated equipment were in fair condition with no defects noted. However within the boiler room there was evidence of water pooling on the floor, the source of this is unknown and should be investigated further. There was also a hose within the boiler room which appeared to be redundant; it is recommended that its purpose be ascertained.



Redundant Hose

Water pooling on floor.

Kyd Block:

Heating was provided by 2 Remeha Quinta 65 Gas fired boilers. Hot water from the system was pumped round the bld to a number of convection radiators, by a Grundfos pumping setup. The heating and its associated equipment were in fair condition however it was noted that the control of the radiators via the TRV's was poor, within rooms 3, 5 & 7 the radiators were cold when on settings 3 & 4, when TRV turned slightly the radiator appeared to heat to maximum temperature. It is recommended that the set up of the TRV's is investigated.



TRV operation to check

Keays Block:

Heating was provided by a Powrmatic Gas fired boiler. Hot water from system was pumped round the bld to a number of convection radiators by a Grundfos pumping setup. The heating and its associated equipment were in fair condition with no defects noted.

Conservatory:

Within the Conservatory two Dimplex Electric have been installed, however one of them has been plugged into the ring main and the other has still to be connected. As these heaters have been fixed to the wall they are now a fixed source of heating therefore it is recommended that they be supplied by a dedicated circuit.



Still to be connected

Connected via a standard plug

Greenhouse:

Within the greenhouse Electric Tubular heating was installed. The condition of this was fair with no defects noted.

Lighting:

In the main this was T8, (fitted with anti glare diffusers) tungsten and 2D fluorescent fittings. The corridors were controlled by PIR's all other lighting were manually controlled. The condition of the lighting and its associated equipment was fair with no defects noted. However this survey did not look at system compliance, a further lighting compliance survey would be required.

It is recommended that an ongoing maintenance plan is introduced for the replacement of all tungsten lights with CFL lighting; this would help towards reducing the annual electricity costs.

Emergency Lighting:

This consisted of a mix of maintained and non-maintained self contained fittings. The condition of the system was fair with no defects noted. However this survey did not look at system compliance, a further in-depth compliance survey would be required.

External Lighting:

This consisted of a number of Halogen Floodlight and Spotlights which are controlled by dawn/dusk sensors. The condition of these was fair with no defect noted. However this survey did not look at system compliance, a further in-depth compliance survey would be required.

Fire Alarm:

An automatic system consisting of a number of break glass manual call points, detectors and audible alarms connected to a Gent Vigilon Compact control panel. The condition of the system was fair with no defects noted. However this survey did not look at system compliance, a further in depth compliance survey would be required.

I.T.

The bld is connected to the main Council IT network via a Netgear Router located within the Managers office. This provides a secure wireless network throughout the building. The condition of the IT network was fair with no defects noted.

Domestic Hot Water:

McKinney Block:

Hot water was provided by the main boiler to a Calorifier, the water was pumped throughout the bld by Grundfos pumps. All pipework was lagged and identified. The condition of the equipment was fair with no defects noted.

Dalhousie Block:

Hot water was provided by an electric Calorifier, the water was pumped throughout the bld by Grundfos pumps. All pipework was lagged and identified. The condition of these was fair with no defects noted.

Kydd Block & Kitchen:

Hot water was provided by two A.O.Smith Gas Fired DHW Boilers. The water was pumped throughout the bld by Grundfos pumps. All pipework was lagged and identified. The condition of these was fair with no defects noted.

Keays Block:

Hot water was provided by the main boiler to a Calorifier, the water was pumped throughout the bld by Grundfos pumps. All pipework was lagged and identified. The condition of the equipment was fair with no defects noted.

Ventilation:

There was a mix of Manrose, Vectaire and Vent Axia single point extractors in use within the toilets in the resident's rooms. Single point Delta Extract extractors are installed within communal toilets. The dining area has a Roof Units Group extraction system in place. Within the kitchen an industrial Canopy Extractor was installed and a Vent Axia extractor fitted. A mix of Vent Axia and Xpelair extraction units were installed within the Laundry room. The condition of these was fair with no defects noted.

CCTV:

A 7-camera CCTV system is in use. This covers the entrances and the ground boundaries. The condition of these was fair with no defects noted.

Security System:

There is a secure door entry installed and the bld is protected by a Nova alarm system. The condition of these was fair with no defects noted.

Lift:

There were two passenger lifts in use within the main building. The condition of these and their associated equipment was fair with no defects noted.

Pre Planned Maintenance

At the time of survey, there was no evidence of a Pre-Planned Maintenance Scheme covering the Dundee facilities in place. It is therefore recommended that a Planned Maintenance Program is introduced.

Block 7 (Flat 1A)

Main Power Incomer:

Power is supplied from the main Bld REC supply. This feeds the MEM Distribution Board (DB).

Power Distribution:

Power distribution was via a MEM DB located within a cupboard in the hallway. Wiring was contained within the walls of the bld. All were in a fair condition with no defects noted.

Heating:

Heating was provided by boilers within the Keays block of the main bld. Hot water from the system was pumped round the bld to a number of convection radiators. The heating and its associated equipment were in fair condition with no defects noted.

Lighting:

In the main this was a mix of tungsten, CFL, and T8 fittings. There were no signs of automatic controls. The condition of the lighting and its associated equipment was fair with no defects noted. However this survey did not look at system compliance, a further lighting compliance survey would be required.

External Lighting:

This consisted of tungsten fitting with PIR control front of the bld. At the rear of the bld there is a Halogen fitting with PIR control. The condition of these was fair with no defect noted. However this survey did not look at system compliance, a further in-depth compliance survey would be required.

Fire Alarm:

Smoke detectors connected to the main bld Fire Alarm System have been installed. The condition of the detectors was fair with no defects noted. However this survey did not look at system compliance, a further in depth compliance survey would be required.

Domestic Hot Water:

Hot water was supplied by a 3Kw single electric immersion Calorifier. The condition of this was fair with no defects noted.

Ventilation:

Within the toilet an Aidelle Loovent extractor is fitted and a domestic extractor hood is fitted within the kitchen. The condition of these was fair with no defects noted.

Security System:

The bld is protected by a Nova alarm system. The condition of this was fair with no defects noted.

A CCTV camera is mounted on the bld facing the boundary area; this is monitored from the main house. The condition of this was fair with no defect noted.

Shed:

Within the garden a shed has been erected. An electrical power supply from the house supply has been installed. This is connected directly to a twin socket. The supply to a single tungsten light is wired into the rear of the socket and a RCD is plugged into the socket protecting a 4-way extension.



The supply to the shed should be from a dedicated circuit with rcd protection. This should then supply DB within the shed. From this the lighting and socket supplies should be supplied from dedicated circuits. Both should have rcd protection and the sockets installed should be external sockets. It is recommended that this installation complies with the requirements of BS7671.

Block 8 (Lodge)

Main Power Incomer:

Power is supplied from the main REC supplies. This feeds a MEM Distribution Board (DB). The main incomer and associated equipment were located within a dedicated cupboard in the hallway. All were in fair condition with no defects evident.

Power Distribution:

Power distribution was via a MEM DB located within a cupboard in the hallway. Wiring was contained within the walls of the bld. All were in a fair condition with no defects noted.

Heating:

Heating was provided by a Saunier Duval Combi-boiler. Hot water from system was pumped round the bld to a number of convection radiators. The heating and its associated equipment were in fair condition with no defects noted.

Lighting:

In the main this was a mix of tungsten and CFL fittings. There were no signs of automatic controls. The condition of the lighting and its associated equipment was fair with no defects noted. However this survey did not look at system compliance, a further lighting compliance survey would be required.

External Lighting:

This consisted of tungsten fitting with PIR control and a Halogen fitting with Dawn/dusk and PIR control at the rear of the bld. At the front of the bld there is Halogen fittings with PIR control. The condition of these was fair with no defect noted. However this survey did not look at system compliance, a further in-depth compliance survey would be required.

Fire Alarm:

There are two battery operated smoke detectors situated within the hallway. The condition of the detectors was fair with no defects noted. However this survey did not look at system compliance, a further in depth compliance survey would be required.

Domestic Hot Water:

Hot water was supplied by the Combi-boiler to the kitchen, toilet and bathroom. The condition of these was fair with no defects noted.

Ventilation:

Within the shower a domestic extractor fitted and a domestic extractor hood is fitted within the kitchen. The condition of these was fair with no defects noted.

Security System:

The bld is protected by a Nova alarm system. The condition of this was fair with no defects noted.

A CCTV camera is mounted on the bld facing the main entrance from the main road; this is monitored from the main house. The condition of this was fair with no defect noted.

SECTION 4

Properties, Buildings & Room Lists

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 01 Kyd

Room No	Room Name
002/1/0/001	Entrance Foyer
002/1/0/002	Hall
002/1/0/003	Office
002/1/0/004	Library
002/1/0/005	Games
002/1/0/006	Reception
002/1/0/007	Hall
002/1/0/008	Manager
002/1/0/009	Circulation Area
002/1/0/010	Store
002/1/0/011	Store
002/1/0/012	Lounge
002/1/0/013	Laundry
002/1/0/014	Circulation Area
002/1/0/015	Kitchen Store
002/1/0/016	Kitchen
002/1/0/017	Kitchen (small area)
002/1/0/017A	Store
002/1/0/018	Kitchen Store
002/1/0/019	Kitchen Store
002/1/0/020	Kitchen Staff
002/1/0/021	Kitchen Store
002/1/0/022	Circulation Area
002/1/0/022A	Circulation Area
002/1/0/023	Circulation Area
002/1/0/023A	Store
002/1/0/024	Store
002/1/0/025	Store
002/1/0/026	Toilet

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 01 Kyd

Room No	Room Name
002/1/1/001	Circulation Area
002/1/1/002	Bathroom
002/1/1/003	Boiler
002/1/1/004	Bedroom 7
002/1/1/005	Toilet 7
002/1/1/006	Bedroom 6
002/1/1/007	Toilet 6
002/1/1/008	Bedroom 5
002/1/1/009	Toilet
002/1/1/010	Circulation Area
002/1/1/011	Store (No Access)
002/1/1/012	Bedroom 4
002/1/1/013	Toilet 4
002/1/1/014	Circulation Area
002/1/1/015	Bedroom 3
002/1/1/016	Toilet 3
002/1/1/017	Circulation Area
002/1/1/018	Bedroom 2
002/1/1/019	Toilet 2
002/1/1/020	Circulation Area
002/1/1/021	Bedroom 1
002/1/1/022	Toilet 1
002/1/1/023	Circulation Area

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 02 McKinney

Room No	Room Name
002/2/0/001	Circulation Area
002/2/0/002	Circulation Area
002/2/0/003	Store
002/2/0/004	Toilet
002/2/0/005	Toilet
002/2/0/006	Store
002/2/0/007	Plant Room
002/2/0/008	Circulation Area
002/2/0/009	Circulation Area
002/2/0/010	Bedroom 8
002/2/0/011	Toilet 8
002/2/0/012	Bedroom 9
002/2/0/013	Toilet 9
002/2/0/014	Circulation Area/Stairs
002/2/0/015	Circulation Area/Stairs
002/2/0/016	Grampian Lounge
002/2/1/001	Circulation Area
002/2/1/001A	Circulation Area
002/2/1/002	Bedroom 22
002/2/1/003	Toilet 22
002/2/1/004	Circulation Area 21
002/2/1/005	Bedroom 21
002/2/1/006	Toilet 21
002/2/1/007	Living Room 21
002/2/1/008	Store 21
002/2/1/009	Circulation Area 20
002/2/1/010	Bedroom 20
002/2/1/011	Toilet 20
002/2/1/012	Living Room 20

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 02 McKinney

Room No	Room Name
002/2/1/013	Store (No Access)
002/2/1/014	Circulation Area 19
002/2/1/015	Bedroom 19
002/2/1/016	Toilet 19
002/2/1/017	Living Room 19
002/2/1/018	Circulation Area 18
002/2/1/019	Bedroom 18
002/2/1/020	Toilet 18
002/2/1/021	Living Room 18
002/2/1/022	Circulation Area (included in adjacent area)
002/2/1/023	Circulation Area 24
002/2/1/024	Bedroom 24
002/2/1/025	Toilet 24
002/2/1/026	Living Room 24
002/2/1/027	Bedroom 23
002/2/1/028	Toilet 23

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 03 Dalhousie

Room No	Room Name
002/3/0/001	Circulation Area/Stairs
002/3/0/002	Store (Designed Out)
002/3/0/003	Circulation Area (included in adjacent area)
002/3/0/004	Store
002/3/0/005	Store
002/3/0/006	Circulation Area
002/3/0/007	Bedroom 12A
002/3/0/008	Toilet 12A
002/3/0/009	Bedroom 12
002/3/0/010	Toilet 12
002/3/0/011	Bedroom 11
002/3/0/012	Toilet 11
002/3/0/013	Bedroom 10
002/3/0/014	Toilet 10
002/3/0/015	HWC Tank room
002/3/1/001	Circulation Area
002/3/1/002	Bathroom
002/3/1/003	Bedroom 17
002/3/1/004	Toilet 17
002/3/1/005	Bedroom 16
002/3/1/006	Toilet 16
002/3/1/007	Store
002/3/1/008	Store
002/3/1/009	Circulation Area (included in adjacent area)
002/3/1/010	Bedroom 15
002/3/1/011	Toilet 15
002/3/1/012	Bedroom 14

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 03 Dalhousie

Room No

002/3/1/013

Room Name

Toilet 14

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 04 Keays

Room No	Room Name
002/4/0/001	Circulation Area (included in adjacent area)
002/4/0/002	Lounge
002/4/0/003	Male WC
002/4/0/004	Store
002/4/0/005	Bedroom 39
002/4/0/006	Toilet 39
002/4/0/007	Bedroom 38
002/4/0/008	Toilet 38
002/4/0/009	Circulation Area
002/4/0/010	Bedroom 37
002/4/0/011	Toilet 37
002/4/0/012	Bedroom 36
002/4/0/013	Toilet 36
002/4/0/014	Boiler
002/4/0/015	Store
002/4/0/016	Circulation Area/Stairs
002/4/0/017	Circulation Area
002/4/0/018	Toilet
002/4/0/019	Bedroom 45
002/4/0/020	Toilet 45
002/4/0/021	Bedroom 44
002/4/0/022	Toilet 44
002/4/0/023	Bedroom 43
002/4/0/024	Toilet 43
002/4/0/025	Circulation Area
002/4/0/026	Bedroom 42
002/4/0/027	Toilet 42
002/4/0/028	Bedroom 41

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 04 Keays

Room No	Room Name
002/4/0/029	Toilet 41
002/4/0/030	Bedroom 40
002/4/0/031	Toilet 40
002/4/0/032	Toilet
002/4/0/033	Lift Machinery
002/4/1/001	Circulation Area (included in adjacent area)
002/4/1/002	Electrical Store
002/4/1/003	Bedroom 25
002/4/1/004	Toilet 25
002/4/1/005	Bathroom
002/4/1/006	Bedroom 26
002/4/1/007	Toilet 26
002/4/1/008	Bedroom 27
002/4/1/009	Toilet 27
002/4/1/010	Circulation Area
002/4/1/011	Bedroom 28
002/4/1/012	Toilet 28
002/4/1/013	Bedroom 29
002/4/1/014	Toilet 29
002/4/1/015	Bedroom 30
002/4/1/016	Toilet 30
002/4/1/017	Toilet
002/4/1/018	Circulation Area
002/4/1/019	Cupboard (No Access)
002/4/1/020	Bedroom 31
002/4/1/021	Toilet 31
002/4/1/022	Bedroom 32
002/4/1/023	Toilet 32

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 04 Keays

Room No	Room Name
002/4/1/024	Circulation Area
002/4/1/025	Bedroom 33
002/4/1/026	Toilet 33
002/4/1/027	Bedroom 34
002/4/1/028	Toilet 34
002/4/1/029	Bedroom 35
002/4/1/030	Toilet 35

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 05 Dining

Room No

002/5/0/001

Room Name

Dining Room

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 06 Greenhouse

Room No

002/6/0/001

002/6/0/002

Room Name

Conservatory 1

Conservatory 2

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 07 Flat 1A

Room No	Room Name
002/7/0/001	Living Room
002/7/0/002	Kitchen
002/7/0/003	Circulation Area
002/7/0/004	Bathroom
002/7/0/005	Bedroom

PROPERTY, BUILDING & ROOM LIST

Building Name : Block 08 Lodge

Room No	Room Name
002/8/0/001	Vestibule
002/8/0/002	Bedroom 1
002/8/0/003	Bedroom 2
002/8/0/004	Living Room
002/8/0/005	Bathroom
002/8/0/006	Toilet
002/8/0/007	Kitchen
002/8/0/008	Circulation Area
002/8/0/009	Bedroom 3
002/8/0/010	Bedroom 4



SECTION 5

Survey Report

ROOFS

BUILDING : Block 01 Kyd

UPRN :

FLOOR : Roof

ROOM : Roof001

No : 002/1/R/001

USE :

Element : Covering

CODE : 1

Description

Condition

Action

Cond/Ind

Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Natural slate

Fair with several slipped ,cracked
and missing slates

Repair/Replace missing,cracked
and slipped slates

B

3

25

224 m2

41,341

**Year 1
Repair Cost (£)**
500

Photo 1



Photo 2



Position

Element : Covering

CODE : 1

Description

Condition

Action

Cond/Ind

Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Mineral felt

Fair

No action required

B

15

37 m2

3,034

**Year 1
Repair Cost (£)**

Photo 1



Photo 2



Position

**Element : Structure****CODE : 1****Description**

Timber joists and rafters

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

35

Quantity

224 m2

Replacement Cost (£)

27,560

Year 1 Repair Cost (£)**Element : Flashings****CODE : 1****Description**

Lead (inc. in roof)

ConditionFair although valley sections with felt patching in isolated areas
Patching to isolated areas**Action**

Renew/replace valley, hips, ridges and gutters as required

Cond/Ind Priority

B

3

L'Expec

25

Quantity

134 m

Replacement Cost (£)

10,075

Year 1 Repair Cost (£)

2,015

Photo 1



Photo 2



Position

Element : Rainwater goods

CODE : 1

Description

Cast iron ogee gutters and
downpipes
2 No. Cast iron outlet boxes

Condition

Fair

Action

No action required

Cond/Ind

B

Priority

L'Expec

15

Quantity

37 m

**Replacement
Cost (£)**

2,529

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Rainwater goods

CODE : 1

Description

UPVC downpipe

Condition

Fair

Action

No action required

Cond/Ind

B

Priority

L'Expec

10

Quantity

4 m

**Replacement
Cost (£)**

164

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Chimney stacks/flues

CODE : 1

Description

Stone chimneys

Condition

Fair although chimney inspection required

Action

Chimney inspection required to assess condition of pointing to pots

Cond/Ind

B

Priority

4

L'Expec

30

Quantity

3

No.

**Replacement
Cost (£)**

7,341

**Year 1
Repair Cost (£)**
150

Photo 1



Photo 2



Position



Element : TV aerials/dishes etc

CODE : 1

Description

10 No. Metal aerials/dishes

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

10

Quantity

10

No.

**Replacement
Cost (£)**

1,640

**Year 1
Repair Cost (£)**

Photo 1



Photo 2



Position

Element : TV aerials/dishes etc

CODE : 1

Description

Weather vane

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

15

Quantity

1 No.

**Replacement
Cost (£)**

800

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Decoration

CODE : 1

Description

Redecorate all CI gutters and
downpipes
Gloss paint to timber finishes

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

3

Quantity

41 m2

**Replacement
Cost (£)**

336

**Year 1
Repair Cost (£)**

Element : Roof Lights

CODE : 1

Description

Leaded timber framed GW
rooflight

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

25

Quantity

1

**Replacement
Cost (£)**

600

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position



BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Roof**ROOM** : Roof002**No** : 002/1/R/002**USE** :**Element** : Covering**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Mineral felt	Fair	No action required	B		10	12 m2	984	

Photo 1



Photo 2

Position

Element : Structure**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber joists and rafters	Fair	No action required	B		35	12 m2	984	

Element : Flashings**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Felt	Fair	No action required	B		10	8 m2	656	

Element : Rainwater goods		CODE : 1							Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity			Cost (£)
CI Downpipe	Fair	No action required	B		15	4	m		273
									Year 1
									Repair Cost (£)

Photo 1



Photo 2

Position

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Roof**ROOM** : Roof003**No** : 002/1/R/003**USE** :**Element** : Covering**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Natural slate	Fair with several slipped slates	Repair/Replace missing,slipped slates	B	3	25	36 m2	5,758
							Year 1 Repair Cost (£) 150

Photo 1



Photo 2



Position

Element : Structure**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber joists and rafters	Fair	No action required	B		35	36 m2	3,986
							Year 1 Repair Cost (£)

Element : Flashings**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lead (inc. in roof)	Fair	No action required	B		25	24 m	1,804
							Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : Parapets

CODE : 1

Description

Lead gutter

Condition

Fair

Action

No action required

Cond/Ind

B

Priority

L'Expec

25

Quantity

18 m

Replacement
Cost (£)

2,706

Year 1
Repair Cost (£)

Photo 1



Photo 2

Position

Element : Rainwater goods

CODE : 1

Description

Cast iron downpipe
Cast iron outlet box

Condition

Fair but with choked outlet

Action

Clean out choked gutters

Cond/Ind

B

Priority

L'Expec

15

Quantity

4 m

Replacement
Cost (£)

273

Year 1
Repair Cost (£)

Photo 1



Photo 2



Position

Element : Decoration

CODE : 1

Description

Redecorate CI downpipe

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

3

Quantity

4 m2

Replacement Cost (£)

32

Year 1 Repair Cost (£)

Element : Roof Lights

CODE : 1

Description

Metal glazed skylight

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

15

Quantity

1

Replacement Cost (£)

300

Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : Roof Lights

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
2 No. Leaded timber framed GW rooflights	Fair	No action required	B		25	2	5,000	

Photo 1



Photo 2



Position



BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Roof**ROOM** : Roof004**No** : 002/1/R/004**USE** :**Element** : Covering**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Mineral felt	Fair	No action required	B		10	6 m2	492	

Photo 1



Photo 2

Position

Element : Structure**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber joists and rafters	Fair	No action required	B		35	6 m2	492	

Element : Flashings**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Felt	Fair	No action required	B		10	5 m2	410	

Photo 1



Photo 2

Position

Element : Rainwater goods

CODE : 1

Description

CI Downpipe and box

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

15

Quantity

4 m

**Replacement
Cost (£)**

273

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Roof**ROOM** : Roof005**No** : 002/1/R/005**USE** :**Element** : Covering**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Natural slate

Fair with several slipped slates

Repair/Replace missing,slipped
slates

B

3

25

98 m2

15,675

**Year 1
Repair Cost (£)**

100

Photo 1**Photo 2****Position****Element** : Structure**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Timber joists and rafters

Fair

No action required

B

35

98 m2

10,852

**Year 1
Repair Cost (£)****Element** : Flashings**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Lead (inc. in roof)

Fair

No action required

B

25

7 m

526

**Year 1
Repair Cost (£)**

Element : Flashings**CODE : 1**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Galvanised zinc ridging and hips	Fair	No action required	B		30	32 m	2,406	

Element : Rainwater goods**CODE : 1**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Cast iron ogee gutters and downpipes Cast iron outlet box	Fair	No action required	B		15	47 m	3,212	

Photo 1**Photo 2****Position****Element : Decoration****CODE : 1**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Redecorate all CI gutters and downpipes	Fair	No action required	B		3	47 m2	385	

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Roof**ROOM** : Roof006**No** : 002/1/R/006**USE** :**Element** : Covering**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Natural slate	Fair with several slipped slates	Repair/Replace missing,slipped slates	B	3	25	154 m2	24,632
							Year 1 Repair Cost (£) 300

Photo 1



Photo 2



Position

Element : Structure**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber joists and rafters	Fair	No action required	B		35	154 m2	17,053
							Year 1 Repair Cost (£)

Element : Flashings**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Galvanised zinc ridging and hips	Fair	No action required	B		25	24 m	1,804
							Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : Flashings**CODE :** 1**Description**

Lead (inc. in roof)

Condition

Fair with patching

Action

No action required

Cond/Ind

B

Priority**L'Expec**

25

Quantity

58 m

**Replacement
Cost (£)**

4,361

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Rainwater goods**CODE :** 1**Description**Cast iron downpipe
Cast iron outlet box**Condition**

Fair

Action

No action required

Cond/Ind

B

Priority**L'Expec**

15

Quantity

3 m

**Replacement
Cost (£)**

205

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Rainwater goods**CODE :** 1**Description**

UPVC Gutters and downpipes

Condition

Fair

Action

No action required

Cond/Ind

B

Priority**L'Expec**

15

Quantity

25 m

**Replacement
Cost (£)**

1,025

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Chimney stacks/flues**CODE :** 1**Description**

Stone chimney

Condition

Fair

ActionChimney inspection to determine
condition of pointing to pots**Cond/Ind**

B

Priority

4

L'Expec

25

Quantity

1 No.

**Replacement
Cost (£)**

2,447

**Year 1
Repair Cost (£)**
80

Photo 1



Photo 2



Position

Element : TV aerals/dishes etc

CODE : 1

Description

Metal aerals/dishes

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

10

Quantity

1 No.

Replacement
Cost (£)

164

Year 1
Repair Cost (£)

Photo 1



Photo 2

Position

Element : Decoration

CODE : 1

Description

Redecorate CI downpipe and box

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

3

Quantity

3 m2

Replacement
Cost (£)

24

Year 1
Repair Cost (£)

Element : Roof Lights

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Leaded timber framed GW rooflights	Fair	No action required	B		25	1	1,200	

Photo 1



Photo 2

Position



BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Roof**ROOM** : Roof007**No** : 002/1/R/007**USE** :**Element** : Covering**CODE** : 1**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Mineral felt

Fair

No action required

B

10

6 m2

492

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Structure**CODE** : 1**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Timber joists and rafters

Fair

No action required

B

35

6 m2

492

**Year 1
Repair Cost (£)****Element** : Flashings**CODE** : 1**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Felt

Fair

No action required

B

10

6 m2

492

**Year 1
Repair Cost (£)**

Element : Rainwater goods		CODE : 1						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)	
CI Downpipe and box	Fair	No action required	B		15	4 m	273	
							Year 1	
							Repair Cost (£)	

Photo 1



Photo 2

Position

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Roof**ROOM** : Roof008**No** : 002/1/R/008**USE** :**Element** : Covering**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Plastic translucent sheeting	Fair	No action required	B		10	5 m2	410	

Photo 1



Photo 2

Position

Element : Structure**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Metal roof sections	Fair	No action required	B		20	5 m2	847	

Element : Flashings**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Lead (inc. in roof)	Fair	No action required	B		35	4 m	300	

Element : Rainwater goods

CODE : 1

Description

uPVC Ogee gutters

Condition

Fair

Action

No action required

Cond/Ind

B

Priority

L'Expec

15

Quantity

4 m

**Replacement
Cost (£)**

164

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Rainwater goods

CODE : 1

Description

Cast iron/downpipe

Condition

Fair but joint requires refixing

Action

Refix defective joint

Cond/Ind

B

Priority

3

L'Expec

20

Quantity

3 m

**Replacement
Cost (£)**

205

**Year 1
Repair Cost (£)**
70

Element : Decoration

CODE : 1

Description

Paint CI downpipe

Condition

Fair

Action

No action required

Cond/Ind

B

Priority

L'Expec

3

Quantity

3 m2

**Replacement
Cost (£)**

24

**Year 1
Repair Cost (£)**

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : Roofs**ROOM** : Roof001**No** : 002/2/R/001**USE** :**Element** : Covering**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Metal profiled sheeting	Fair	No action required	B		20	270 m2	26,391	

Photo 1



Photo 2



Position

Element : Structure**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber joists and rafters	Fair	No action required	B		35	270 m2	28,791	

Element : Rainwater goods**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
UPVC Gutters and downpipes	Fair	No action required	B		23	45 m	1,845	

Element : Rainwater goods

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Cast iron gutters and downpipes	Fair	No action required	B		15	36 m	2,460
							Year 1 Repair Cost (£)

Element : Fascias

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plastisol fascias and soffits	Fair	No action required	B		28	32 m	2,624
							Year 1 Repair Cost (£)

Element : Chimney stacks/flues

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Brick chimney	Fair	No action required	B		20	1 No.	2,447
							Year 1 Repair Cost (£)

Element : TV aerals/dishes etc

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Metal aerals/dishes	Fair	No action required	B		10	4 No.	656
							Year 1 Repair Cost (£)

Element : Decoration

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
All timber and CI downpipes/gutters	Fair	No action required	B		3	36 m2	295	

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : Roofs**ROOM** : Roof002**No** : 002/2/R/002**USE** :**Element** : Covering**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Proprietary roof coating

Fair

No action required

B

13

56 m2

4,593

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Structure**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Timber joists and rafters

Fair

No action required

B

35

56 m2

4,593

**Year 1
Repair Cost (£)****Element** : Rainwater goods**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

UPVC downpipe

Fair

No action required

B

23

5 m

205

**Year 1
Repair Cost (£)**

Element : Fascias

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Metal profiled fascias	Fair	No action required	B		15	1 m	82	

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : Roofs**ROOM** : Roof003**No** : 002/2/R/003**USE** :**Element** : Covering**CODE** : 1**Description****Condition****Action****Cond/Ind** **Priority****L'Expec****Quantity****Replacement
Cost (£)**

Mineral felt

Fair

No action required

B

13

100 m2

4,593

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Structure**CODE** : 1**Description****Condition****Action****Cond/Ind** **Priority****L'Expec****Quantity****Replacement
Cost (£)**

Timber joists and rafters

Fair

No action required

B

35

100 m2

8,202

**Year 1
Repair Cost (£)****Element** : Rainwater goods**CODE** : 1**Description****Condition****Action****Cond/Ind** **Priority****L'Expec****Quantity****Replacement
Cost (£)**

Cast iron/downpipes

Fair

No action required

B

23

23 m

1,572

**Year 1
Repair Cost (£)**

Element : Fascias

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber softwood fascias	Fair	No action required	B		15	37 m	1,264	

Element : Decoration

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
All timber and CI downpipes/gutters	Fair	No action required	B		3	60 m2	492	

BUILDING : Block 03 Dalhousie**UPRN** :**FLOOR** : Roof**ROOM** : Roof001**No** : 002/3/R/001**USE** :**Element** : Covering**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Metal profiled sheeting

Fair

No action required

B

24

104 m2

10,165

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Structure**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Timber trusses

Fair

No action required

B

35

104 m2

11,089

**Year 1
Repair Cost (£)****Element** : Flashings**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Metal flashing detail between roofs Fair

No action required

B

25

10 m2

820

**Year 1
Repair Cost (£)**

Element : Rainwater goods		CODE : 1								Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity				Year 1 Repair Cost (£)
UPVC gutters and downpipes and soil vent	Fair but with choked gutters	Clean out choked gutters	B	3	9	43	m			1,763
										80

Photo 1



Photo 2



Position

BUILDING : Block 04 Keays**UPRN** :**FLOOR** : Roof**ROOM** : Roof001**No** : 002/4/R/001**USE** :**Element** : Covering**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Concrete interlocking tiles

Fair

No action required

B

31

324 m2

34,549

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Covering**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Mineral felt

Fair

No action required

B

8

12 m2

984

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Structure**CODE : 1****Description**

Timber joists and rafters

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

35

Quantity

324 m2

Replacement Cost (£)

34,549

Year 1 Repair Cost (£)**Element : Flashings****CODE : 1****Description**

Lead (inc. in roof)

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

41

Quantity

14 m

Replacement Cost (£)

1,052

Year 1 Repair Cost (£)**Element : Rainwater goods****CODE : 1****Description**

UPVC Gutters and downpipes

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

15

Quantity

104 m

Replacement Cost (£)

4,265

Year 1 Repair Cost (£)

Element : TV aerals/dishes etc

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	Year 1 Repair Cost (£)
Metal aerals/dishes	Fair	No action required	B		10	1	No.	164	

BUILDING : Block 04 Keays**UPRN** :**FLOOR** : Roof**ROOM** : Roof002**No** : 002/4/R/002**USE** :**Element** : Covering**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**Aluminium frame with glazing
panels

Fair

No action required

B

25

21 m2

3,466

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Structure**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Metal purlins and trusses

Fair

No action required

B

31

21 m2

4,093

**Year 1
Repair Cost (£)****Element** : Flashings**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Lead (inc. in roof)

Fair

No action required

B

41

13 m

977

**Year 1
Repair Cost (£)**

Element : Rainwater goods		CODE : 1							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
UPVC gutter	Fair but with choked gutter and heavy vegetation	Clean out choked gutter	B	3	6	7	m	287	
								Year 1 Repair Cost (£)	
								40	

Photo 1



Photo 2

Position

Element : Decoration		CODE : 1							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Paint metal finishes	Fair	No action required	B		3	26	m2	213	
								Year 1 Repair Cost (£)	

BUILDING : Block 05 Dining**UPRN** :**FLOOR** : Roof**ROOM** : Roof001**No** : 002/5/R/001**USE** :**Element** : Covering**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Metal profiled sheeting

Fair

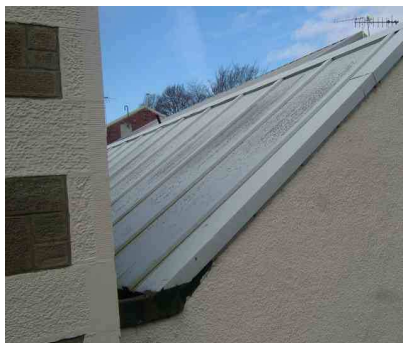
No action required

B

15

56 m2

5,473

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Structure**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Timber trusses

Fair

No action required

B

30

56 m2

5,971

**Year 1
Repair Cost (£)****Element** : Flashings**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Felt

Fair

No action required

B

13

16 m2

1,312

**Year 1
Repair Cost (£)**

BUILDING : Block 06 Greenhouse**UPRN** :**FLOOR** : Roof**ROOM** : Roof**No** : 002/6/R/001**USE** :**Element** : Covering**CODE** : 1**Description****Condition****Action****Cond/Ind** **Priority****L'Expec****Quantity****Replacement
Cost (£)**

PVC-u glazed roof sections

Fair

No action required

B

20

132

20,000

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Structure**CODE** : 1**Description****Condition****Action****Cond/Ind** **Priority****L'Expec****Quantity****Replacement
Cost (£)**

Metal frame

Fair

No action required

B

40

1

m2

170

**Year 1
Repair Cost (£)****Element** : Flashings**CODE** : 1**Description****Condition****Action****Cond/Ind** **Priority****L'Expec****Quantity****Replacement
Cost (£)**

Lead (inc. in roof)

Fair

No action required

B

50

12

m

902

**Year 1
Repair Cost (£)**

Photo 1



Photo 2



Position

Element : Rainwater goods

CODE : 1

Description

PVC-u gutters and downpipes

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

15

Quantity

30 m

**Replacement
Cost (£)**

1,230

**Year 1
Repair Cost (£)**

BUILDING : Block 07 Flat 1A**UPRN** :**FLOOR** : Roof**ROOM** : Roof001**No** : 002/7/R/001**USE** :**Element** : Covering**CODE** : 1**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Natural slate

Fair

No action required

B

30

30 m2

4,798

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Structure**CODE** : 1**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Timber joists and rafters

Fair

No action required

B

35

30 m2

3,199

**Year 1
Repair Cost (£)****Element** : Flashings**CODE** : 1**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Galvanised zinc ridging and hips

Fair

No action required

B

25

18 m

1,353

**Year 1
Repair Cost (£)**

Element : Rainwater goods

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Cast iron/downpipes	Fair	No action required	B		20	22 m	1,503	

BUILDING : Block 07 Flat 1A**UPRN** :**FLOOR** : Roof**ROOM** : Roof002**No** : 002/7/R/002**USE** :**Element** : Covering**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Mineral felt	Fair	No action required	B		13	8 m2	656	

Photo 1



Photo 2

Position

Element : Structure**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber joists and rafters	Fair	No action required	B		48	8 m2	656	

Element : Flashings**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Felt	Fair	No action required	B		13	4 m2	328	

Element : Rainwater goods

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
PVC-u gutter and downpipe	Fair	No action required	B		23	7 m	287	

Element : Fascias

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber softwood fascias	Fair	No action required	B		23	6 m	205	

Element : Decoration

CODE : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber finishes	Fair	No action required	B		3	6 m2	49	

BUILDING : Block 08 Lodge**UPRN** :**FLOOR** : Roofs**ROOM** : Roof 001**No** : 002/8/R/001**USE** :**Element** : Covering**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Natural slate	Fair with several slipped slates	Repair/Replace missing,slipped slates	B	3	41	187 m2	29,910	598

Photo 1



Photo 2



Position

Element : Structure**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber joists and rafters	Fair	No action required	B		45	187 m2	19,940	

Element : Flashings**CODE** : 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Galvanised zinc ridging and hips	Fair	No action required	B		41	55 m	4,135	

Element : Flashings		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lead (inc. in roof)	Fair	No action required	B		41	67 m		5,037
								Year 1 Repair Cost (£)

Element : Rainwater goods		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Cast iron/downpipes	Fair but with choked gutters and outlets	Clean out choked gutters	B	3	10	14 m		956
								Year 1 Repair Cost (£)
								120

Element : Rainwater goods		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
UPVC Gutters and downpipes	Fair	No action required	B		10	18 m		738
								Year 1 Repair Cost (£)

Element : Fascias		CODE : 1						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber softwood fascias	Fair	No action required	B		10	17 m		581
								Year 1 Repair Cost (£)

Element : Chimney stacks/flues **CODE :** 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone/brick chimneys	Fair	No action required	B		15	1 No.	2,447	

Photo 1



Photo 2

Position

Element : TV aerials/dishes etc **CODE :** 1

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Metal aerials/dishes	Fair	No action required	B		10	2 No.	328	

Photo 1



Photo 2

Position

Element : Decoration

CODE : 1

Description

All timber and CI
downpipes/gutters

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

3

Quantity

31 m2

**Replacement
Cost (£)**

254

**Year 1
Repair Cost (£)**

Element : Roof Lights

CODE : 1

Description

Metal glazed skylight

Condition

Fair

Action

No action required

Cond/Ind Priority

B

L'Expec

10

Quantity

1

**Replacement
Cost (£)**

500

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

BUILDING : Block 08 Lodge**UPRN** :**FLOOR** : Roofs**ROOM** : Roof 002**No** : 002/8/R/002**USE** :**Element** : Covering**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Mineral felt

Fair but signs of vegetation

Clean vegetation off roof

B

4

8

3 m2

246

**Year 1
Repair Cost (£)**

40

Photo 1**Photo 2****Position****Element** : Structure**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Timber joists and rafters

Fair

No action required

B

45

3 m2

246

**Year 1
Repair Cost (£)****Element** : Flashings**CODE** : 1**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Lead (inc. in roof)

Fair

No action required

B

41

4 m

300

**Year 1
Repair Cost (£)**

WALLS

BUILDING : Block 01 Kyd

UPRN :

FLOOR : Elevations

ROOM : Elevation001

No : 002/1/E/001

USE :

Element : External walls

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone walls	Fair	No Action Required	B		50	95 m2	16,883	

Photo 1



Photo 2

Position

Element : External walls

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Faced stone mullions and lintols	Fair	Monitor condition annually	B		20	49 m2	8,708	

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Stone pointed finish	Fair	No Action Required	B		20	95	m2	2,597
								Year 1 Repair Cost (£)
Element : Windows		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
9 No. Timber hardwood sash and case single glazed	Fair	No Action Required	B		15	22	m2	14,436
								Year 1 Repair Cost (£)
Element : Windows		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
8 No.Timber softwood sash and case double glazed	Fair	No Action Required	B		28	16	m2	7,874
								Year 1 Repair Cost (£)
Element : Decoration		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Re-decoration All timber and wall finishes	Fair	No Action Required	B		3	55	m2	751
								Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation002**No** : 002/1/E/002**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone walls	Fair	No Action Required	B		50	73 m2	12,973	

Photo 1



Photo 2



Position

Element : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Faced stone mullions and lintols	Fair	Monitor condition annually	B		20	25 m2	4,443	

Element : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone pointed finish	Fair	No Action Required	B		20	73 m2	1,995	

Element : Windows

CODE :2

Description

5 No. Timber hardwood sash and case single glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

15

Quantity

10 m2

Replacement Cost (£)

6,562

Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

Element : Windows

CODE :2

Description

4 No.Timber softwood sash and case double glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

28

Quantity

8 m2

Replacement Cost (£)

3,937

Year 1 Repair Cost (£)

Element : Decoration

CODE :2

Description

Re-decoration
All timber and wall finishes

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

78 m2

Replacement Cost (£)

1,066

Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Elevations
ROOM : Elevation003	No : 002/1/E/003	USE :

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Stone walls	Fair	No Action Required	B		50	60	m2	10,663

Photo 1



Photo 2

Position

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Faced stone mullions and lintols	Fair	Monitor condition annually	B		20	37	m2	6,575

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Stone pointed finish	Fair	No Action Required	B		20	60	m2	1,640

Element : Windows

CODE :2

Description

3 No. Aluminium double glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

15

Quantity

10 m2

**Replacement
Cost (£)**

7,519

**Year 1
Repair Cost (£)**

Element : Windows

CODE :2

Description

4 No.Timber softwood sash and
case double glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

28

Quantity

8 m2

**Replacement
Cost (£)**

3,937

**Year 1
Repair Cost (£)**

Element : Doors

CODE :2

Description

Aluminium flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

18

Quantity

1 No.

**Replacement
Cost (£)**

800

**Year 1
Repair Cost (£)**

Element : Doors

CODE :2

Description

1 No. Softwood timber flush door
1 No. Softwood timber glazed door

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

18

Quantity

2 No.

**Replacement
Cost (£)**

1,968

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration All timber and wall finishes	Fair	No Action Required	B		3	35 m2	478	

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation004**No** : 002/1/E/004**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone walls

Fair

No Action Required

B

48

20 m2

3,554

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone pointed finish

Fair

No Action Required

B

16

20 m2

546

**Year 1
Repair Cost (£)****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Metal louvre

Fair

No Action Required

B

15

1 m2

669

**Year 1
Repair Cost (£)**

Element : Windows

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber softwood sash and case double glazed	Fair	No Action Required	B		28	1 m2	492	

Element : Doors

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber flush door	Fair	No Action Required	B		10	1 No.	984	

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration All timber finishes	Fair	No Action Required	B		3	4 m2	55	

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation005**No** : 002/1/E/005**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone walls

Fair

No Action Required

B

48

25 m2

4,443

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone pointed finish

Fair

No Action Required

B

16

25 m2

683

**Year 1
Repair Cost (£)****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Faced stone

Fair

No Action Required

B

30

16 m2

7,655

**Year 1
Repair Cost (£)**

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Stone cill,lintol and jambs	Fair	No Action Required	B		30	14	m2	2,488
								Year 1 Repair Cost (£)
Element : Windows		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
3 No. Timber hardwood sash and case single glazed	Fair	No Action Required	B		15	6	m2	3,937
								Year 1 Repair Cost (£)
Element : Windows		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
1 No. Timber softwood fixed pane single glazed	Fair	No Action Required	B		7	2	m2	492
								Year 1 Repair Cost (£)
Element : Doors		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
UPVC door	Fair	No Action Required	B		15	1	No.	800
								Year 1 Repair Cost (£)

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration All timber finishes	Poor	Redecorate	C	4	Replace/In	8 m2	109	

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation006**No** : 002/1/E/006**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone walls

Fair

No Action Required

B

50

25 m2

4,443

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Faced stone mullions and lintols

Fair

Monitor condition annually

B

20

16 m2

2,843

**Year 1
Repair Cost (£)****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone pointed finish

Fair

No Action Required

B

20

25 m2

683

**Year 1
Repair Cost (£)**

Element : Windows

CODE :2

Description

2 No. Timber hardwood sash and
case single glazed

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

15

Quantity

4 m2

**Replacement
Cost (£)**

2,624

**Year 1
Repair Cost (£)**

Element : Windows

CODE :2

Description

1 No. Timber softwood sash and
case double glazed

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

28

Quantity

2 m2

**Replacement
Cost (£)**

984

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :2

Description

Re-decoration
All timber and wall finishes

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

3

Quantity

21 m2

**Replacement
Cost (£)**

287

**Year 1
Repair Cost (£)**

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation007**No** : 002/1/E/007**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone walls

Fair

No Action Required

B

50

24 m2

4,265

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Faced stone window surrounds

Fair

No Action Required

B

20

20 m2

3,554

**Year 1
Repair Cost (£)****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone featured panel

Fair

No Action Required

B

50

1 m2

1,500

**Year 1
Repair Cost (£)**

Element : Windows

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
4 No. Timber sash and case double glazed	Fair	No Action Required	B		28	8 m2	3,937	

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration All timber finishes	Fair	No Action Required	B		3	8 m2	109	

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation008**No** : 002/1/E/008**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone walls	Fair	No Action Required	B		50	22 m2	3,909	

Photo 1



Photo 2

Position

Element : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Cement render	Fair	No Action Required	B		10	2 m2	109	

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
5 No. Timber softwood casement single glazed frames	Fair	No Action Required	B		15	8 m2	3,281	

Element : Doors

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Timber glazed door single glazed

Fair

No Action Required

B

15

2

No.

1,968

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration

Fair

No Action Required

B

3

12

m2

164

**Year 1
Repair Cost (£)**

All timber finishes

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation009**No** : 002/1/E/009**USE** :**Element** : External walls**CODE** : 2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone walls

Fair

No Action Required

B

50

9 m2

1,599

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** : 2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Faced stone mullions and lintols

Fair but with spalling to face in isolated areas

Monitor condition annually

B

20

22 m2

3,909

**Year 1
Repair Cost (£)****Element** : Windows**CODE** : 2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

5 No. Timber softwood sash and case single glazed

Fair but requires redecoration

Refer to decoration

B

15

10 m2

4,101

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration All timber finishes	Poor	Redecorate	C	4	Replace/In	10	m2	136
								Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation010**No** : 002/1/E/010**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone walls

Fair

No Action Required

B

48

2 m2

355

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Render

Fair

No Action Required

B

16

1 m2

54

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Softwood timber flush door

Fair

No Action Required

B

18

1 No.

984

**Year 1
Repair Cost (£)**

Element : External joinery

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber shiplap boarding	Fair	No Action Required	B		23	2 m2	109	

Element : External joinery

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber board	Fair	No Action Required	B		23	2 m2	109	

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration All timber finishes	Fair	No Action Required	B		3	6 m2	82	

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation011 (High level)**No** : 002/1/E/011**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone walls

Fair

No Action Required

B

48

12 m2

2,132

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Render

Fair

No Action Required

B

16

2 m2

109

**Year 1
Repair Cost (£)****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**Timber softwood sash and case
double glazed

Fair

No Action Required

B

28

2 m2

984

**Year 1
Repair Cost (£)**

BUILDING : Block 01 Kyd

UPRN :

FLOOR : Roof

ROOM : Roof001

No : 002/1/R/001

USE :

Element : Windows

CODE : 2

Description

Condition

Action

Cond/Ind

Priority

L'Expec

Quantity

**Replacement
Cost (£)**

2 No.Timber softwood casement
single glazed

Fair but at end of economic life

No Action Required

B

5

4 m2

1,640

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Roof
ROOM : Roof002	No : 002/1/R/002	USE :

Element : Decoration	CODE : 2							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration	Fair	No Action Required	B		3	4	m2	54
Cast iron downpipe								
								Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Roof
ROOM : Roof004	No : 002/1/R/004	USE :

Element : Decoration	CODE : 2							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration	Fair	No Action Required	B		3	4	m2	54
Cast iron downpipe with box at the top								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation001**No** : 002/2/E/001**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Facing brick	Fair	No Action Required	B		48	28 m2	2,870	

Photo 1



Photo 2



Position

Element : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Wet Dash	Fair	No Action Required	B		33	35 m2	1,913	

Element : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Pointing	Fair	No Action Required	B		28	28 m2	765	

Element : Windows**CODE :2****Description**

7 No. PVC-u tilt and turn double glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

28

Quantity

7 m2

Replacement Cost (£)

5,263

Year 1 Repair Cost (£)**Element : External joinery****CODE :2****Description**

uPVC fascia and soffit

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

23

Quantity

7 m2

Replacement Cost (£)

382

Year 1 Repair Cost (£)**Element : Cills****CODE :2****Description**

Concrete cills

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

38

Quantity

7 m

Replacement Cost (£)

3,500

Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation002**No** : 002/2/E/002**USE** :**Element** : External walls**CODE** : 2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Wet Dash

Fair

No Action Required

B

33

29 m2

1,585

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** : 2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**PVC-u casement double glazed
transome

Fair

No Action Required

B

28

2 m2

1,503

**Year 1
Repair Cost (£)****Element** : Windows**CODE** : 2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**6 No. PVC-u tilt and turn double
glazed

Fair

No Action Required

B

28

13 m2

9,774

**Year 1
Repair Cost (£)**

Element : Doors

CODE :2

Description

UPVC glazed doors

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

18

Quantity

2 No.

**Replacement
Cost (£)**

3,253

**Year 1
Repair Cost (£)**

Element : External joinery

CODE :2

Description

uPVC fascia and soffit

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

23

Quantity

7 m2

**Replacement
Cost (£)**

382

**Year 1
Repair Cost (£)**

Element : Cills

CODE :2

Description

Concrete cills

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

38

Quantity

7 m

**Replacement
Cost (£)**

3,500

**Year 1
Repair Cost (£)**

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation003**No** : 002/2/E/003**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Facing brick	Fair	No Action Required	B		48	3 m2	307	

Photo 1



Photo 2

Position

Element : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Pointing	Fair	No Action Required	B		28	3 m2	82	

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
2 No. PVC-u casement double glazed	Fair	No Action Required	B		28	2 m2	1,503	

Element : External joinery

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber shiplap boarding	Fair	No Action Required	B		23	3 m2	164
							Year 1 Repair Cost (£)

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration All timber finishes	Fair	No Action Required	B		3	3 m2	41
							Year 1 Repair Cost (£)

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete cills	Fair	No Action Required	B		38	2 m	1,000
							Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Elevations
ROOM : Elevation004	No : 002/2/E/004	USE :

Element : External walls		CODE :2							Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity			
Facing brick	Fair	No Action Required	B		48	14	m2		1,435
									Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : External walls		CODE :2							Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity			
Pointing	Fair	No Action Required	B		28	14	m2		382
									Year 1 Repair Cost (£)

Element : External walls		CODE :2							Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity			
Wet Dash	Fair	No Action Required	B		33	28	m2		1,531
									Year 1 Repair Cost (£)

Element : Windows

CODE :2

Description

6 No. PVC-u tilt and turn double glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

28

Quantity

12 m2

**Replacement
Cost (£)**

9,022

**Year 1
Repair Cost (£)**

Element : Windows

CODE :2

Description

9 No. PVC-u casement double glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

28

Quantity

18 m2

**Replacement
Cost (£)**

13,534

**Year 1
Repair Cost (£)**

Element : External joinery

CODE :2

Description

Timber shiplap boarding

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

23

Quantity

11 m2

**Replacement
Cost (£)**

601

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :2

Description

Re-decoration
All timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

11 m2

**Replacement
Cost (£)**

150

**Year 1
Repair Cost (£)**

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		38	17 m	8,500	

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation005**No** : 002/2/E/005**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Facing brick	Fair	No Action Required	B		48	3 m2	307
							Year 1 Repair Cost (£)

Element : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Pointing	Fair	No Action Required	B		28	3 m2	82
							Year 1 Repair Cost (£)

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
2 No. PVC-u casement double glazed	Fair	No Action Required	B		28	2 m2	1,503
							Year 1 Repair Cost (£)

Element : External joinery**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber shiplap boarding	Fair	No Action Required	B		23	2 m2	109
							Year 1 Repair Cost (£)

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration All timber finishes	Fair	No Action Required	B		3	2 m2	27	

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		38	3 m	1,500	

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation006**No** : 002/2/E/006**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Facing brick	Fair	No Action Required	B		48	8 m2	820	

Photo 1



Photo 2

Position

Element : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Pointing	Fair	No Action Required	B		28	8 m2	218	

Element : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Glass bricks	Fair	No Action Required	B		48	4 m2	410	

Element : Windows**CODE :2****Description**

1 No. PVC-u casement double glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

28

Quantity

2 m2

Replacement Cost (£)

1,503

Year 1 Repair Cost (£)**Element : Doors****CODE :2****Description**

Timber glazed fire exit door

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

18

Quantity

1 No.

Replacement Cost (£)

984

Year 1 Repair Cost (£)**Element : Decoration****CODE :2****Description**Re-decoration
All timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

2 m2

Replacement Cost (£)

27

Year 1 Repair Cost (£)**Element : Cills****CODE :2****Description**

Concrete cill and lintol

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

38

Quantity

4 m

Replacement Cost (£)

2,000

Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation007**No** : 002/2/E/007**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Dry dash

Fair

No Action Required

B

33

3

m2

164

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Render to soffit

Fair

No Action Required

B

33

12

m2

656

**Year 1
Repair Cost (£)****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**1No. PVC-u tilt and turn double
glazed

Fair

No Action Required

B

28

2

m2

1,503

**Year 1
Repair Cost (£)**

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cill	Fair	No Action Required	B		38	1 m	500	

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation008**No** : 002/2/E/008**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Dry dash

Fair

No Action Required

B

33

5

m2

273

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

1No. PVC-u tilt and turn double glazed

Fair

No Action Required

B

28

3

m2

2,255

**Year 1
Repair Cost (£)****Element** : Cills**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Concrete cill

Fair

No Action Required

B

38

2

m

1,000

**Year 1
Repair Cost (£)**

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation009**No** : 002/2/E/009**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Dry dash

Fair

No Action Required

B

33

12 m2

656

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Facing brick

Fair

No Action Required

B

48

1 m2

102

**Year 1
Repair Cost (£)****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Pointing

Fair

No Action Required

B

28

1 m2

27

**Year 1
Repair Cost (£)**

Element : External joinery

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber fascia	Fair	No Action Required	B		23	2 m2	109	

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration All timber finishes	Fair	No Action Required	B		3	2 m2	27	

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation010**No** : 002/2/E/010**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Dry dash

Fair

No Action Required

B

33

18 m2

984

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Facing brick

Fair

No Action Required

B

48

2 m2

205

**Year 1
Repair Cost (£)****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Pointing

Fair

No Action Required

B

28

2 m2

54

**Year 1
Repair Cost (£)**

Element : Windows**CODE :2****Description**

1 No. PVC-u casement double glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

28

Quantity

5 m2

Replacement Cost (£)

3,759

Year 1 Repair Cost (£)**Element : Doors****CODE :2****Description**

UPVC glazed fire exit door

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

18

Quantity

1 No.

Replacement Cost (£)

1,626

Year 1 Repair Cost (£)**Element : External joinery****CODE :2****Description**

Timber fascia

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

23

Quantity

3 m2

Replacement Cost (£)

164

Year 1 Repair Cost (£)**Element : Decoration****CODE :2****Description**Re-decoration
All timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

3 m2

Replacement Cost (£)

41

Year 1 Repair Cost (£)

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		38	3 m	1,500	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Elevations
ROOM : Elevation011(High level)	No : 002/2/E/011	USE :

Element : External walls	CODE :2							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Wet Dash	Fair	No Action Required	B		16	8 m2	437	
							Year 1 Repair Cost (£)	

Photo 1



Photo 2

Position

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Elevations
ROOM : Elevation001	No : 002/3/E/001	USE :

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Wet Dash	Fair	No Action Required	B		11	55	m2	3,007

Photo 1



Photo 2

Position

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Facing brick	Fair	No Action Required	B		26	3	m2	307

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Cement render	Fair	No Action Required	B		11	3	m2	164

Element : Windows

CODE :2

Description

7 No. PVC-u tilt and turn double glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

23

Quantity

14 m2

**Replacement
Cost (£)**

10,526

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : External joinery

CODE :2

Description

Timber fascia and soffit boards

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

9

Quantity

14 m2

**Replacement
Cost (£)**

765

**Year 1
Repair Cost (£)**

Element : External joinery

CODE :2

Description

Board infill panels

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

5

Quantity

6 m2

**Replacement
Cost (£)**

328

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Paint infill panels and lintols	Fair	No Action Required	B		3	9 m2	123	

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		16	4 m	2,000	

BUILDING : Block 03 Dalhousie**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation002**No** : 002/3/E/002**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Facing brick	Fair	No Action Required	B		26	2 m2	205	

Element : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Wet Dash	Fair	No Action Required	B		11	41 m2	2,242	

Photo 1



Photo 2

Position

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
2 No. PVC-u tilt and turn double glazed	Fair	No Action Required	B		23	4 m2	3,007	

Photo 1



Photo 2

Position

Element : External joinery**CODE :**2**Description**

Upvc fascia and soffit boards

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

9

Quantity

12 m2

Replacement Cost (£)

656

Year 1 Repair Cost (£)**Element :** External joinery**CODE :**2**Description**

Board infill panels

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

5

Quantity

3 m2

Replacement Cost (£)

164

Year 1 Repair Cost (£)**Element :** Decoration**CODE :**2**Description**Re-decoration
Paint infill panels and lintols**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

3 m2

Replacement Cost (£)

41

Year 1 Repair Cost (£)

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cill	Fair	No Action Required	B		16	1 m	500	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Elevations
ROOM : Elevation003	No : 002/3/E/003	USE :

Element : External walls		CODE :2						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Wet Dash	Fair	No Action Required	B		11	65 m2	3,554	
							Year 1 Repair Cost (£)	

Photo 1



Photo 2

Position

Element : External walls		CODE :2						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Facing brick	Fair	No Action Required	B		26	4 m2	410	
							Year 1 Repair Cost (£)	

Element : External walls		CODE :2						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Cement render	Fair	No Action Required	B		11	3 m2	164	
							Year 1 Repair Cost (£)	

Element : Windows

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
7 No. PVC-u tilt and turn double glazed 1 No. PVC-u frame double glazing	Fair	No Action Required	B		23	16 m2	12,030	

Photo 1



Photo 2

Position

Element : Doors

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
UPVC Fire exit door	Fair	No Action Required	B		13	1 No.	1,626	

Photo 1



Photo 2

Position

Element : External joinery		CODE : 2							Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity			
Timber fascia and soffit boards	Fair	No Action Required	B		9	14	m2		765
									Year 1 Repair Cost (£)

Element : External joinery		CODE : 2							Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity			
Board infill panels	Fair	No Action Required	B		5	14	m2		765
									Year 1 Repair Cost (£)

Element : Decoration		CODE : 2							Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity			
Re-decoration Paint infill panels and lintols	Fair	No Action Required	B		3	28	m2		382
									Year 1 Repair Cost (£)

Element : Cills		CODE : 2							Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity			
Concrete cills	Fair	No Action Required	B		16	3	m		1,500
									Year 1 Repair Cost (£)

BUILDING : Block 04 Keays**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation001**No** : 002/4/E/001**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Facing brick	Fair	No Action Required	B		31	13 m2	1,332	

Photo 1



Photo 2

Position

Element : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Dry dash	Fair	No Action Required	B		16	15 m2	820	

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
2 No. PVC-u tilt and turn double glazed	Fair	No Action Required	B		11	3 m2	2,255	

Photo 1



Photo 2

Position

Element : Doors

CODE :2

Description

Softwood timber flush door

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

10

Quantity

1

No.

Replacement
Cost (£)

984

Year 1
Repair Cost (£)

Photo 1



Photo 2

Position

Element : Doors

CODE :2

Description

UPVC Fire exit doors

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

10

Quantity

2

No.

Replacement
Cost (£)

3,253

Year 1
Repair Cost (£)

Element : External joinery

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber fascia and soffit boards	Fair	No Action Required	B		6	9 m2	492	

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration All timber finishes	Fair	No Action Required	B		3	11 m2	150	

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		21	3 m	1,500	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Elevations
ROOM : Elevation002	No : 002/4/E/002	USE :

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Facing brick	Fair	No Action Required	B		31	3	m2	307
								Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Dry dash	Fair	No Action Required	B		16	43	m2	2,351
								Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : Windows

CODE :2

Description

4 No. PVC-u tilt and turn double glazed

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

11

Quantity

4 m2

Replacement Cost (£)

3,007

Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : External joinery

CODE :2

Description

Timber fascia and soffit boards

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

6

Quantity

10 m2

Replacement Cost (£)

546

Year 1 Repair Cost (£)

Element : Decoration

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
All timber finishes

Fair

No Action Required

B

3

10 m2

136

**Year 1
Repair Cost (£)**

Element : Cills

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Concrete cills

Fair

No Action Required

B

21

4 m

2,000

**Year 1
Repair Cost (£)**

BUILDING : Block 04 Keays**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation003**No** : 002/4/E/003**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Facing brick

Fair

No Action Required

B

31

3 m2

307

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Dry dash

Fair

No Action Required

B

16

65 m2

3,554

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Windows

CODE :2

Description

4 No. PVC-u tilt and turn double glazed

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

11

Quantity

4 m2

Replacement Cost (£)

3,007

Year 1

Repair Cost (£)

Photo 1



Photo 2

Position

Element : External joinery

CODE :2

Description

Timber fascia and soffit boards

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

6

Quantity

14 m2

Replacement Cost (£)

765

Year 1

Repair Cost (£)

Element : Decoration

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
All timber finishes

Fair

No Action Required

B

3

14 m2

191

**Year 1
Repair Cost (£)**

Element : Cills

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Concrete cills

Fair

No Action Required

B

21

4 m

2,000

**Year 1
Repair Cost (£)**

BUILDING : Block 04 Keays	UPRN :	FLOOR : Elevations
ROOM : Elevation004	No : 002/4/E/004	USE :

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Facing brick	Fair	No Action Required	B		31	33	m2	3,383

Photo 1



Photo 2

Position

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Dry dash	Fair	No Action Required	B		16	72	m2	3,937

Photo 1



Photo 2

Position

Element : Windows**CODE :2****Description**

12 No. PVC-u tilt and turn double glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

11

Quantity

13 m2

Replacement Cost (£)

9,774

Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

Element : Doors**CODE :2****Description**

Timber louvred door

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

10

Quantity

1 m2

Replacement Cost (£)

328

Year 1 Repair Cost (£)

Element : Doors**CODE :2****Description**

UPVC fire exit door

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

10

Quantity

1 No.

**Replacement
Cost (£)**

1,626

**Year 1
Repair Cost (£)****Element : External joinery****CODE :2****Description**

Timber fascia and soffit boards

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

6

Quantity

27 m2

**Replacement
Cost (£)**

1,476

**Year 1
Repair Cost (£)****Element : Decoration****CODE :2****Description**Re-decoration
All timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

29 m2

**Replacement
Cost (£)**

396

**Year 1
Repair Cost (£)****Element : Cills****CODE :2****Description**

Concrete cills

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

21

Quantity

12 m

**Replacement
Cost (£)**

6,000

**Year 1
Repair Cost (£)**

BUILDING : Block 04 Keays**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation005**No** : 002/4/E/005**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Facing brick

Fair

No Action Required

B

31

3 m2

307

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Dry dash

Fair

No Action Required

B

16

65 m2

3,554

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Windows**CODE :**2**Description**

4 No. PVC-u tilt and turn double glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

11

Quantity

4 m2

Replacement Cost (£)

3,007

Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : External joinery**CODE :**2**Description**

Timber fascia and soffit boards

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

6

Quantity

14 m2

Replacement Cost (£)

765

Year 1 Repair Cost (£)

Element : Decoration

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
All timber finishes

Fair

No Action Required

B

3

14 m2

191

**Year 1
Repair Cost (£)**

Element : Cills

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Concrete cills

Fair

No Action Required

B

21

4 m

2,000

**Year 1
Repair Cost (£)**

BUILDING : Block 04 Keays	UPRN :	FLOOR : Elevations
ROOM : Elevation006	No : 002/4/E/006	USE :

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Facing brick	Fair	No Action Required	B		31	3	m2	307
								Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Dry dash	Fair	No Action Required	B		16	40	m2	2,187
								Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : Windows**CODE :**2**Description**

3 No. PVC-u tilt and turn double glazed

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

11

Quantity

3 m2

Replacement Cost (£)

2,255

Year 1**Repair Cost (£)**

Photo 1



Photo 2

Position

Element : External joinery**CODE :**2**Description**

Timber fascia and soffit boards

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

6

Quantity

12 m2

Replacement Cost (£)

656

Year 1**Repair Cost (£)**

Element : Decoration

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
All timber finishes

Fair

No Action Required

B

3

12 m2

164

**Year 1
Repair Cost (£)**

Element : Cills

CODE :2

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Concrete cills

Fair

No Action Required

B

21

3 m

1,500

**Year 1
Repair Cost (£)**

BUILDING : Block 04 Keays**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation007**No** : 002/4/E/007**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind** **Priority****L'Expec****Quantity****Replacement
Cost (£)**

Facing brick

Fair

No Action Required

B

31

2 m2

205

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind** **Priority****L'Expec****Quantity****Replacement
Cost (£)**

Dry dash

Fair

No Action Required

B

16

22 m2

1,203

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Windows**CODE :**2**Description**

4 No. PVC-u tilt and turn double glazed

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

11

Quantity

6 m2

Replacement Cost (£)

4,511

Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : External joinery**CODE :**2**Description**

Timber fascia and soffit boards

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

6

Quantity

14 m2

Replacement Cost (£)

765

Year 1 Repair Cost (£)

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration All timber finishes	Fair	No Action Required	B		3	14 m2	191	

Element : Cills

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Concrete cills	Fair	No Action Required	B		21	8 m	4,000	

BUILDING : Block 05 Dining**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation001**No** : 002/5/E/001**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Wet Dash	Fair	No Action Required	B		10	22 m2	1,203	

Photo 1



Photo 2

Position

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
PVC-u casement double glazed	Fair	No Action Required	B		8	6 m2	4,511	

Element : Doors**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
UPVC fire exit doors	Fair	No Action Required	B		13	2 No.	3,253	

Element : Wall fixture & fittings

CODE :2

Description

Metal grille

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

10

Quantity

1

No

**Replacement
Cost (£)**

68

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :2

Description

Re-decoration
All wall finishes

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

3

Quantity

22

m2

**Replacement
Cost (£)**

300

**Year 1
Repair Cost (£)**

Element : Cills

CODE :2

Description

3 No. Concrete cills

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

20

Quantity

5

m

**Replacement
Cost (£)**

2,500

**Year 1
Repair Cost (£)**

BUILDING : Block 05 Dining**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation002**No** : 002/5/E/002**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Wet Dash

Fair

No Action Required

B

10

13 m2

710

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**Steel casements frames single
glazed

Fair

No Action Required

B

10

5 m2

2,050

**Year 1
Repair Cost (£)**

Photo 1**Photo 2****Position****Element : Decoration****CODE :2****Description**

Re-decoration
All wall finishes

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

13 m2

Replacement Cost (£)

177

Year 1 Repair Cost (£)**Element : Cills****CODE :2****Description**

1 No. Concrete cills

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

5 m

Replacement Cost (£)

2,500

Year 1 Repair Cost (£)

BUILDING : Block 06 Greenhouse**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 002/6/E/001**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Render finish	Fair	No Action Required	B		25	6 m2	328	

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
PVC-u casement double-glazed window sections	Fair	No Action Required	B		20	9 m2	6,767	

Photo 1



Photo 2



Position

Element : Doors**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
PVC-u glazed door	Fair	No Action Required	B		10	1 No.	1,626	

Photo 1



Photo 2

Position

Element : Decoration

CODE :2

Description

Masonry paint

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

6 m2

**Replacement
Cost (£)**

82

**Year 1
Repair Cost (£)**

BUILDING : Block 06 Greenhouse**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 002/6/E/002**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Render finish	Fair	No Action Required	B		25	3 m2	164	

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
PVC-u casement double-glazed window sections	Fair	No Action Required	B		20	18 m2	13,534	

Photo 1**Photo 2****Position****Element** : Decoration**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Masonry paint	Fair	No Action Required	B		2	3 m2	41	

BUILDING : Block 06 Greenhouse**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 002/6/E/003**USE** :**Element** : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
PVC-u casement double-glazed window sections	Fair	No Action Required	B		20	16 m2	12,030	

Photo 1



Photo 2

Position

Element : Doors**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
PVC-u glazed door	Fair	No Action Required	B		10	1 No.	1,626	

BUILDING : Block 06 Greenhouse**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation**No** : 002/6/E/004**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Render finish	Fair	No Action Required	B		25	3 m2	164	

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
PVC-u casement double-glazed window sections	Fair	No Action Required	B		20	18 m2	13,534	

Photo 1



Photo 2



Position

Element : Decoration**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Masonry paint	Fair	No Action Required	B		2	3 m2	41	

BUILDING : Block 06 Greenhouse	UPRN :	FLOOR : Elevations
ROOM : Elevation	No : 002/6/E/005	USE :

Element : External walls	CODE :2							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Block pointed finish	Fair	No Action Required	B		20	4 m2		109
								Year 1 Repair Cost (£)

Photo 1



Photo 2



Position

BUILDING : Block 07 Flat 1A**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation001**No** : 002/7/E/001**USE** :**Element** : External walls**CODE** : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone / render Window surrounds :cills,lintols and jambs	Fair	No Action Required	B		35	9 m2	1,599	

Element : External walls**CODE** : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone walls	Fair	No Action Required	B		50	28 m2	4,976	

Photo 1**Photo 2****Position****Element** : Windows**CODE** : 2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
PVC-u tilt and turn double glazed	Fair	No Action Required	B		28	4 m2	3,007	

PVC-u frame double glazed

Element : Windows		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Timber sash and case double glazed	Fair	No Action Required	B		28	2	m2	984

Element : Windows		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Year 1 Repair Cost (£)	
PVC-u fixed pane double glazed in porch frame	Fair	No Action Required	B		28	3 m2	2,255	

Element : Doors		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
UPVC door	Fair	No Action Required	B		18	1	No.	1,626
								Year 1 Repair Cost (£)

Element : External joinery

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber boarding	Fair	No Action Required	B		23	2 m2	109
							Year 1 Repair Cost (£)

Element : External joinery

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Timber fascia	Fair	No Action Required	B		23	2 m2	109
							Year 1 Repair Cost (£)

Element : Decoration

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration All timber finishes	Fair	No Action Required	B		3	6 m2	82
							Year 1 Repair Cost (£)

BUILDING : Block 07 Flat 1A**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation002**No** : 002/7/E/002**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone walls	Fair	No Action Required	B		50	24 m2	4,265	

Photo 1**Photo 2****Position****Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone / render Window surrounds :cills,lintols and jambs	Fair	No Action Required	B		35	9 m2	1,599	

Element : Windows**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber sash and case double	Fair	No Action Required	B		28	4 m2	1,968	

glazed

Description		Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
PVC-u tilt and turn double glazed		Fair	No Action Required	B		28	2 m2	1,503
								Year 1 Repair Cost (£)

Element : Decoration		CODE : 2															
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity											Replacement Cost (£)
Re-decoration All timber finishes	Fair	No Action Required	B		3	4	m2										54
																Year 1 Repair Cost (£)	

BUILDING : Block 07 Flat 1A**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation003**No** : 002/7/E/003**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone walls

Fair

No Action Required

B

50

11 m2

1,954

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Stone / render

Fair

No Action Required

B

35

6 m2

1,066

Window surrounds :cills,lintols
and jambs**Year 1
Repair Cost (£)****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Timber sash and case double

Fair

No Action Required

B

28

4 m2

1,968

**Year 1
Repair Cost (£)**

glazed

Element : Decoration		CODE :2						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Re-decoration All timber finishes	Fair	No Action Required	B		3	4 m2	54	
							Year 1 Repair Cost (£)	

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Elevations
ROOM : Elevation001	No : 002/8/E/001	USE :

Element : External walls		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Stone pointed finish	Fair	No Action Required	B		28	31	m2	847
								Year 1 Repair Cost (£)
Element : External walls		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Window surrounds :cills,lintols and jambs	Fair	No Action Required	B		48	40	m2	7,108
								Year 1 Repair Cost (£)
Element : External walls		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Render	Fair	No Action Required	B		33	12	m2	656
								Year 1 Repair Cost (£)
Element : External walls		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Stone walls	Fair	No Action Required	B		35	31	m2	5,509
								Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : Windows**CODE :2****Description**

Aluminium casement double glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

28

Quantity

8 m2

Replacement Cost (£)

6,015

Year 1 Repair Cost (£)**Element : Decoration****CODE :2****Description**Re-decoration
All wall and timber finishes**Condition**

Fair but requires minor redecoration

Action

Redecorate flaking paint

Cond/Ind Priority

B

4

L'Expec

3

Quantity

141 m2

Replacement Cost (£)

1,927

Year 1 Repair Cost (£)

80

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Elevations
ROOM : Elevation002	No : 002/8/E/002	USE :

Element : External walls	CODE :2							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Wet Dash	Fair	No Action Required	B		33	15 m2		820
								Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Elevations
ROOM : Elevation003	No : 002/8/E/003	USE :

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Wet Dash	Fair	No Action Required	B		33	13	m2	710
								Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Elevations
ROOM : Elevation004	No : 002/8/E/004	USE :

Element : External walls	CODE :2							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Wet Dash	Fair	No Action Required	B		33	4 m2		218
								Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

BUILDING : Block 08 Lodge**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation005**No** : 002/8/E/005**USE** :**Element** : External walls**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**

Wet Dash

Fair

No Action Required

B

33

8

m2

437

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Windows**CODE** :2**Description****Condition****Action****Cond/Ind Priority****L'Expec****Quantity****Replacement
Cost (£)**Aluminium casement double
glazed

Fair

No Action Required

B

28


1

m2

751

**Year 1
Repair Cost (£)**


BUILDING : Block 08 Lodge	UPRN :	FLOOR : Elevations
ROOM : Elevation006	No : 002/8/E/006	USE :

Element : External walls		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Wet Dash	Fair	No Action Required	B		33	9	m2	492
Photo 1		Photo 2		Position				
								

Element : Windows		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Aluminium casement double glazed	Fair	No Action Required	B		28	2	m2	1,503

Element : Windows		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Timber softwood casement single glazed	Fair	No Action Required	B		15	1	m2	410

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Elevations
ROOM : Elevation007	No : 002/8/E/007	USE :

Element : External walls		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Wet Dash	Fair	No Action Required	B		33	6	m2	328
Photo 1		Photo 2		Position				
								

Element : External walls		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Cement render	Fair	No Action Required	B		20	2	m2	355

Element : External walls		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Stone walls	Fair	No Action Required	B		48	31	m2	5,509

Element : External walls		CODE : 2							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Stone wall pointing	Fair	No Action Required	B		28	31	m2	848	
								Year 1 Repair Cost (£)	

Element : External walls		CODE : 2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Window surrounds :cills,lintols and jambs	Fair	No Action Required	B		48	10 m2		

Element : Windows		CODE : 2						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)	
Aluminium casement double glazed	Fair	No Action Required	B		28	2 m2	1,503	
							Year 1 Repair Cost (£)	

Element : Windows		CODE : 2						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Timber softwood casement single glazed	Fair	No Action Required	B		15	1 m2		410
								Year 1 Repair Cost (£)

Element : Doors

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Aluminium glazed	Fair	No Action Required	B		18	1 No.	1,200
							Year 1 Repair Cost (£)

BUILDING : Block 08 Lodge**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation008**No** : 002/8/E/008**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone walls	Fair	No Action Required	B		35	9 m2	1,599	

Photo 1



Photo 2

Position

Element : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone pointed finish	Fair	No Action Required	B		28	9 m2	246	

Element : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Window surrounds :cills,lintols and jambs	Fair	No Action Required	B		48	10 m2	1,777	

Element : Windows

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Aluminium casement double glazed	Fair	No Action Required	B		28	3 m2	2,255	

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Elevations
ROOM : Elevation009	No : 002/8/E/009	USE :

Element : External walls		CODE :2															
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity											Replacement Cost (£)
Stone walls	Fair	No Action Required	B		35	3	m2										533
																Year 1 Repair Cost (£)	

Element : External walls		CODE :2																
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity											Replacement Cost (£)	
Stone pointed finish	Fair	No Action Required	B		28	3	m2										82	
																	Year 1 Repair Cost (£)	

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Elevations
ROOM : Elevation010	No : 002/8/E/010	USE :

Element : External walls		CODE :2															
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity											Replacement Cost (£)
Stone pointed finish	Fair	No Action Required	B		28	8	m2										218
																Year 1 Repair Cost (£)	

Element : External walls		CODE :2															
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity											Replacement Cost (£)
Window surrounds :cills,lintols and jambs	Fair	No Action Required	B		48	6	m2										1,066
																Year 1 Repair Cost (£)	

Element : External walls		CODE :2																	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity												Replacement Cost (£)	
Stone walls	Fair	No Action Required	B		35	8	m2											1,421	
																	Year 1 Repair Cost (£)		

Element : Windows		CODE :2											
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)					
Aluminium casement double glazed	Fair	No Action Required	B		28	2	m2	1,503					
								Year 1 Repair Cost (£)					

BUILDING : Block 08 Lodge**UPRN** :**FLOOR** : Elevations**ROOM** : Elevation011**No** : 002/8/E/011**USE** :**Element** : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone walls	Fair	No Action Required	B		35	3 m2	533	

Photo 1



Photo 2

Position

Element : External walls**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Stone pointed finish	Fair	No Action Required	B		28	3 m2	82	

Element : Doors**CODE** :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber panelled door with glazed transome	Fair	No Action Required	B		18	1 No.	1,200	

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Elevations
ROOM : Elevation012	No : 002/8/E/012	USE :

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Stone pointed finish	Fair	No Action Required	B		28	8	m2	218

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Window surrounds :cills,lintols and jambs	Fair	No Action Required	B		48	6	m2	1,066

Element : External walls		CODE :2						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Stone walls	Fair	No Action Required	B		35	8	m2	1,421

Photo 1



Photo 2

Position

Element : Windows

CODE :2

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Aluminium casement double glazed	Fair	No Action Required	B		28	2 m2	1,503	

EXTERNAL GROUNDS

BUILDING : Block 01 Kyd

UPRN :

FLOOR : External Grounds

ROOM : External Grounds

No : 002/1/EG/EG

USE :

Element : Roads & Parking Areas

CODE : 3

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Concrete roads and parking

Fair

No Action Required

B

20

938 m2

76,940

**Year 1
Repair Cost (£)**

Photo 1



Photo 2



Position



Element : Underground Drainage

CODE : 3

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Foul and surface water drainage

Fair

No Action Required

B

35

1

**Year 1
Repair Cost (£)**

Element : Paths & Paving**CODE :3****Description**

Concrete slab paths/paving

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

656 m2

**Replacement
Cost (£)**

44,840

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element : Paths & Paving****CODE :3****Description**

Chips

ConditionFair, although isolated areas
require additional chips**Action**

Make good as required

Cond/Ind Priority

B

4

L'Expec

10

Quantity

104 m2

**Replacement
Cost (£)**

4,265

**Year 1
Repair Cost (£)**

300

Photo 1**Photo 2****Position**

Element : Paths & Paving

CODE :3

Description

Monoblock paths

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

15

Quantity

286 m2

**Replacement
Cost (£)**

15,639

**Year 1
Repair Cost (£)**

Photo 1



Photo 2



Position



Element : Paths & Paving

CODE :3

Description

Concrete paths/paving

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

20 m2

**Replacement
Cost (£)**

820

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Steps/ramps

CODE : 3

Description

Concrete steps/ramps

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

35

Quantity

24 m2

**Replacement
Cost (£)**

4,921

**Year 1
Repair Cost (£)**

Photo 1



Photo 2



Position



Element : Handrails

CODE : 3

Description

Metal handrails

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

18 m

**Replacement
Cost (£)**

1,230

**Year 1
Repair Cost (£)**

Element : Boundary fencing/walls

CODE : 3

Description

Stone boundary wall

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

424 m2

**Replacement
Cost (£)**

11,593

Note: Cost relates to re-pointing

**Year 1
Repair Cost (£)**

Photo 1



Photo 2



Position



Element : Boundary fencing/walls **CODE :**3

Description

Timber slatted fencing

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

12

Quantity

168 m2

Replacement Cost (£)

10,335

Year 1 Repair Cost (£)

Photo 1



Photo 2



Position



Element : Boundary fencing/walls **CODE :**3

Description

Stone pointed finish

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

20

Quantity

46 m2

Replacement Cost (£)

1,257

Year 1 Repair Cost (£)

Photo 1



Photo 2

Position

Element : Boundary fencing/walls **CODE :** 3

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Block painted finish retaining wall	Fair	No action required	B		15	34 m2	929	

Photo 1



Photo 2



Position

Element : Boundary fencing/walls **CODE :** 3

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber gate	Fair	No Action Required	B		15	1	300	

Photo 1



Photo 2

Position

Element : Boundary fencing/walls

CODE : 3

Description

Brick pointed finish

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

28

Quantity

14 m2

**Replacement
Cost (£)**

382

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Boundary fencing/walls

CODE : 3

Description

Timber slatted fencing

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

15

Quantity

14 m2

**Replacement
Cost (£)**

861

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Outdoor Sports Facilities / **CODE :**3
Fixed Furniture

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 no. timber shelter	Fair	No action required	B		10	4	10,000
2 no. timber huts							Year 1
1 no. gardners hut							Repair Cost (£)

Photo 1



Photo 2



Position



Element : Outdoor Sports Facilities /
 Fixed Furniture

CODE : 3

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
2 no Garages	Fair	No Action Required	B		20	2	7,000	

Photo 1



Photo 2

Position

BUILDING : Block 08 Lodge
ROOM : External Grounds

UPRN :
No : 002/8/EG/EG

FLOOR : External Grounds
USE :

Element : Paths & Paving		CODE :3							Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity			Year 1 Repair Cost (£)
Concrete slab paths/paving	Fair	No Action Required	B		25	40	m2		2,734

Element : Paths & Paving		CODE :3							Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity			Year 1 Repair Cost (£)
Concrete paths	Fair	No Action Required	B		30	28	m2		1,148

Element : Paths & Paving		CODE :3							Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity			Year 1 Repair Cost (£)
Monoblock paths/paving	Fair	No Action Required	B		23	25	m2		1,367

Photo 1



Photo 2



Position

Element : Steps/ramps

CODE : 3

Description

1 - 2 step concrete stair
1 - 3 step concrete stair
1 - 6 step concrete stair

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

28

Quantity

11 m2

**Replacement
Cost (£)**

2,255

**Year 1
Repair Cost (£)**

Photo 1



Photo 2



Position



Element : Walls/dwarf walls

CODE : 3

Description

Stone wall and concrete cope

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

48

Quantity

21 m2

**Replacement
Cost (£)**

6,890

**Year 1
Repair Cost (£)**

Element : Walls/dwarf walls

CODE : 3

Description

Brick retaining wall with concrete
cope

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

30

Quantity

35 m2

**Replacement
Cost (£)**

3,588

**Year 1
Repair Cost (£)**

Element : Decoration

CODE : 3

Description

All timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

3

Quantity

94 m2

**Replacement
Cost (£)**

1,927

**Year 1
Repair Cost (£)**

Element : Landscaping

CODE : 3

Description

Various landscaping
Grassed areas

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

1

Quantity

1 m2

**Replacement
Cost (£)**

400

**Year 1
Repair Cost (£)**

Element : Boundary fencing/walls

CODE : 3

Description

Stone built boundary wall

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

35

Quantity

20 m2

**Replacement
Cost (£)**

8,202

**Year 1
Repair Cost (£)**

Element : Boundary fencing/walls

CODE : 3

Description

Timber spar fencing and gate

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority

L'Expec

10

Quantity

4 m2

**Replacement
Cost (£)**

246

**Year 1
Repair Cost (£)**

Element : Boundary fencing/walls **CODE :** 3

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber slatted fencing	Fair	No Action Required	B		10	84 m2	5,167	

Photo 1



Photo 2

Position

Element : Outdoor Sports Facilities / Fixed Furniture **CODE :** 3

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Garden shed	Fair	No Action Required	B		15	1	600	

STRUCTURE

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Hall	No : 002/1/0/002	USE :

Element : Stairs		CODE : 4							Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)	
Timber stair	Fair	No action required	B		40	34	m2	3,486	
									Year 1
									Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Structure
ROOM : Structure	No : 002/1/St/St	USE :

Element : Floors	CODE : 4							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber floor	Fair	No action required	B		40	1 m2		103
								Year 1 Repair Cost (£)

Element : Walls	CODE : 4							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Stone / plastered walls	Fair	No action required	B		40	1 m2		205
								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney

UPRN :

FLOOR : Ground

ROOM : Circulation Area

No : 002/2/0/001

USE :

Element : Stairs

CODE : 4

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Concrete stair

Fair

No action required

B

40

4 m2

1,367

Year 1
Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Plant Room	No : 002/2/0/007	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Plant Room	No : 002/2/0/007	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Plant Room	No : 002/2/0/007	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Plant Room	No : 002/2/0/007	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Plant Room	No : 002/2/0/007	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Plant Room	No : 002/2/0/007	USE :

Element : Stairs **CODE :4**

Element : Stairs **CODE :4**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber stair	Fair	No action required	B		15	4 m2	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber stair	Fair	No action required	B		15	4 m2	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber stair	Fair	No action required	B		15	4 m2	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber stair	Fair	No action required	B		15	4 m2	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber stair	Fair	No action required	B		15	4 m2	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber stair	Fair	No action required	B		15	4 m2	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber stair	Fair	No action required	B		15	4 m2	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber stair	Fair	No action required	B		15	4 m2	410

Timber stair	Fair	No action required	B	15	4	m2	410
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Timber stair	Fair	No action required	B	15	4	m2	410
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Timber stair	Fair	No action required	B	15	4	m2	410
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Timber stair	Fair	No action required	B	15	4	m2	410
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Timber stair	Fair	No action required	B	15	4	m2	410
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Timber stair	Fair	No action required	B	15	4	m2	410
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Timber stair	Fair	No action required	B	15	4	m2	410
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	Year 1
	Repair Cost (£)
1. Replace front suspension arms	150
2. Replace front suspension springs	200
3. Replace front suspension struts	250
4. Replace front suspension ball joints	100
5. Replace front suspension tie rods	120
6. Replace front suspension control arms	180
7. Replace front suspension stabilizer bars	140
8. Replace front suspension bushings	90
9. Replace front suspension sway bars	110
10. Replace front suspension lower control arms	130
11. Replace front suspension upper control arms	160
12. Replace front suspension steering knuckles	170
13. Replace front suspension shock absorbers	190
14. Replace front suspension coil springs	210
15. Replace front suspension strut assemblies	230
16. Replace front suspension lower ball joints	100
17. Replace front suspension upper ball joints	120
18. Replace front suspension tie rod ends	140
19. Replace front suspension control arm bushings	160
20. Replace front suspension stabilizer bar bushings	180
21. Replace front suspension sway bar bushings	200
22. Replace front suspension lower control arm bushings	220
23. Replace front suspension upper control arm bushings	240
24. Replace front suspension steering knuckle bushings	260
25. Replace front suspension shock absorber bushings	280
26. Replace front suspension coil spring bushings	300
27. Replace front suspension strut assembly bushings	320
28. Replace front suspension lower ball joint bushings	340
29. Replace front suspension upper ball joint bushings	360
30. Replace front suspension tie rod end bushings	380
31. Replace front suspension control arm bushings	400
32. Replace front suspension stabilizer bar bushings	420
33. Replace front suspension sway bar bushings	440
34. Replace front suspension lower control arm bushings	460
35. Replace front suspension upper control arm bushings	480
36. Replace front suspension steering knuckle bushings	500
37. Replace front suspension shock absorber bushings	520
38. Replace front suspension coil spring bushings	540
39. Replace front suspension strut assembly bushings	560
40. Replace front suspension lower ball joint bushings	580
41. Replace front suspension upper ball joint bushings	600
42. Replace front suspension tie rod end bushings	620
43. Replace front suspension control arm bushings	640
44. Replace front suspension stabilizer bar bushings	660
45. Replace front suspension sway bar bushings	680
46. Replace front suspension lower control arm bushings	700
47. Replace front suspension upper control arm bushings	720
48. Replace front suspension steering knuckle bushings	740
49. Replace front suspension shock absorber bushings	760
50. Replace front suspension coil spring bushings	780
51. Replace front suspension strut assembly bushings	800
52. Replace front suspension lower ball joint bushings	820
53. Replace front suspension upper ball joint bushings	840
54. Replace front suspension tie rod end bushings	860
55. Replace front suspension control arm bushings	880
56. Replace front suspension stabilizer bar bushings	900
57. Replace front suspension sway bar bushings	920
58. Replace front suspension lower control arm bushings	940
59. Replace front suspension upper control arm bushings	960
60. Replace front suspension steering knuckle bushings	980
61. Replace front suspension shock absorber bushings	1000
62. Replace front suspension coil spring bushings	1020
63. Replace front suspension strut assembly bushings	1040
64. Replace front suspension lower ball joint bushings	1060
65. Replace front suspension upper ball joint bushings	1080
66. Replace front suspension tie rod end bushings	1100
67. Replace front suspension control arm bushings	1120
68. Replace front suspension stabilizer bar bushings	1140
69. Replace front suspension sway bar bushings	1160
70. Replace front suspension lower control arm bushings	1180
71. Replace front suspension upper control arm bushings	1200
72. Replace front suspension steering knuckle bushings	1220
73. Replace front suspension shock absorber bushings	1240
74. Replace front suspension coil spring bushings	1260
75. Replace front suspension strut assembly bushings	1280
76. Replace front suspension lower ball joint bushings	1300
77. Replace front suspension upper ball joint bushings	1320
78. Replace front suspension tie rod end bushings	1340
79. Replace front suspension control arm bushings	1360
80. Replace front suspension stabilizer bar bushings	1380
81. Replace front suspension sway bar bushings	1400
82. Replace front suspension lower control arm bushings	1420
83. Replace front suspension upper control arm bushings	1440
84. Replace front suspension steering knuckle bushings	1460
85. Replace front suspension shock absorber bushings	1480
86. Replace front suspension coil spring bushings	1500
87. Replace front suspension strut assembly bushings	1520
88. Replace front suspension lower ball joint bushings	1540
89. Replace front suspension upper ball joint bushings	1560
90. Replace front suspension tie rod end bushings	1580
91. Replace front suspension control arm bushings	1600
92. Replace front suspension stabilizer bar bushings	1620
93. Replace front suspension sway bar bushings	1640
94. Replace front suspension lower control arm bushings	1660
95. Replace front suspension upper control arm bushings	1680
96. Replace front suspension steering knuckle bushings	1700
97. Replace front suspension shock absorber bushings	1720
98. Replace front suspension coil spring bushings	1740
99. Replace front suspension strut assembly bushings	1760
100. Replace front suspension lower ball joint bushings	1780
101. Replace front suspension upper ball joint bushings	1800
102. Replace front suspension tie rod end bushings	1820
103. Replace front suspension control arm bushings	1840
104. Replace front suspension stabilizer bar bushings	1860
105. Replace front suspension sway bar bushings	1880
106. Replace front suspension lower control arm bushings	1900
107. Replace front suspension upper control arm bushings	1920
108. Replace front suspension steering knuckle bushings	1940
109. Replace front suspension shock absorber bushings	1960
110. Replace front suspension coil spring bushings	1980
111. Replace front suspension strut assembly bushings	2000
112. Replace front suspension lower ball joint bushings	2020
113. Replace front suspension upper ball joint bushings	2040
114. Replace front suspension tie rod end bushings	2060
115. Replace front suspension control arm bushings	2080
116. Replace front suspension stabilizer bar bushings	2100
117. Replace front suspension sway bar bushings	2120
118. Replace front suspension lower control arm bushings	2140
119. Replace front suspension upper control arm bushings	2160
120. Replace front suspension steering knuckle bushings	2180
121. Replace front suspension shock absorber bushings	2200
122. Replace front suspension coil spring bushings	2220
123. Replace front suspension strut assembly bushings	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Circulation Area/Stairs	No : 002/2/0/014	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Circulation Area/Stairs	No : 002/2/0/014	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Circulation Area/Stairs	No : 002/2/0/014	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Circulation Area/Stairs	No : 002/2/0/014	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Circulation Area/Stairs	No : 002/2/0/014	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Circulation Area/Stairs	No : 002/2/0/014	USE :

Element : Stairs **CODE :4**

Element : Stairs **CODE :4**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	19 m2	6,600

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	19 m2	6,600

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	19 m2	6,600

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	19 m2	6,600

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	19 m2	6,600

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	19 m2	6,600

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	19 m2	6,600

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		40	19 m2	6,600

Concrete stair	Fair	No action required	B	40	19	m2	6,600
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Concrete stair	Fair	No action required	B	40	19	m2	6,600
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Concrete stair	Fair	No action required	B	40	19	m2	6,600
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Concrete stair	Fair	No action required	B	40	19	m2	6,600
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Concrete stair	Fair	No action required	B	40	19	m2	6,600
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Concrete stair	Fair	No action required	B	40	19	m2	6,600
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Concrete stair	Fair	No action required	B	40	19	m2	6,600
							Year 1 Repair Cost (£)

Concrete stair	Fair	No action required	B	40	19	m2	6,600
							Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/2/1/001	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/2/1/001	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/2/1/001	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/2/1/001	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/2/1/001	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/2/1/001	USE :

Element : Stairs **CODE :4**

Element : Stairs **CODE :4**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		58	2 m2	683

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		58	2 m2	683

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		58	2 m2	683

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		58	2 m2	683

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		58	2 m2	683

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		58	2 m2	683

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		58	2 m2	683

Description		Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair		Fair	No action required	B		58	2 m2	683

Concrete stair	Fair	No action required	B	58	2	m2	683
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Concrete stair	Fair	No action required	B	58	2	m2	683
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Concrete stair	Fair	No action required	B	58	2	m2	683
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Concrete stair	Fair	No action required	B	58	2	m2	683
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Concrete stair	Fair	No action required	B	58	2	m2	683
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Concrete stair	Fair	No action required	B	58	2	m2	683
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Concrete stair	Fair	No action required	B	58	2	m2	683
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	Year 1 Repair Cost (£)
1. Replace front suspension	1,200
2. Replace rear suspension	1,500
3. Replace front brakes	800
4. Replace rear brakes	700
5. Replace front wheel bearings	600
6. Replace rear wheel bearings	500
7. Replace front struts	900
8. Replace rear struts	800
9. Replace front shock absorbers	700
10. Replace rear shock absorbers	600
11. Replace front tie rods	400
12. Replace rear tie rods	300
13. Replace front control arms	500
14. Replace rear control arms	400
15. Replace front sway bar	300
16. Replace rear sway bar	200
17. Replace front lower ball joints	400
18. Replace rear lower ball joints	300
19. Replace front upper ball joints	300
20. Replace rear upper ball joints	200
21. Replace front steering knuckles	500
22. Replace rear steering knuckles	400
23. Replace front steering rack	600
24. Replace rear steering rack	500
25. Replace front steering idler arms	200
26. Replace rear steering idler arms	100
27. Replace front steering tie rod ends	300
28. Replace rear steering tie rod ends	200
29. Replace front steering knuckle boots	100
30. Replace rear steering knuckle boots	100
31. Replace front steering knuckle bushings	100
32. Replace rear steering knuckle bushings	100
33. Replace front steering knuckle ball joints	100
34. Replace rear steering knuckle ball joints	100
35. Replace front steering knuckle tie rod ends	100
36. Replace rear steering knuckle tie rod ends	100
37. Replace front steering knuckle idler arms	100
38. Replace rear steering knuckle idler arms	100
39. Replace front steering knuckle sway bar	100
40. Replace rear steering knuckle sway bar	100
41. Replace front steering knuckle control arms	100
42. Replace rear steering knuckle control arms	100
43. Replace front steering knuckle struts	100
44. Replace rear steering knuckle struts	100
45. Replace front steering knuckle shock absorbers	100
46. Replace rear steering knuckle shock absorbers	100
47. Replace front steering knuckle tie rods	100
48. Replace rear steering knuckle tie rods	100
49. Replace front steering knuckle control arm bushings	100
50. Replace rear steering knuckle control arm bushings	100
51. Replace front steering knuckle ball joint bushings	100
52. Replace rear steering knuckle ball joint bushings	100
53. Replace front steering knuckle tie rod bushings	100
54. Replace rear steering knuckle tie rod bushings	100
55. Replace front steering knuckle idler arm bushings	100
56. Replace rear steering knuckle idler arm bushings	100
57. Replace front steering knuckle sway bar bushings	100
58. Replace rear steering knuckle sway bar bushings	100
59. Replace front steering knuckle control arm bushings	100
60. Replace rear steering knuckle control arm bushings	100
61. Replace front steering knuckle strut bushings	100
62. Replace rear steering knuckle strut bushings	100
63. Replace front steering knuckle shock absorber bushings	100
64. Replace rear steering knuckle shock absorber bushings	100
65. Replace front steering knuckle tie rod bushings	100
66. Replace rear steering knuckle tie rod bushings	100
67. Replace front steering knuckle idler arm bushings	100
68. Replace rear steering knuckle idler arm bushings	100
69. Replace front steering knuckle sway bar bushings	100
70. Replace rear steering knuckle sway bar bushings	100
71. Replace front steering knuckle control arm bushings	100
72. Replace rear steering knuckle control arm bushings	100
73. Replace front steering knuckle ball joint bushings	100
74. Replace rear steering knuckle ball joint bushings	100
75. Replace front steering knuckle tie rod bushings	100
76. Replace rear steering knuckle tie rod bushings	100
77. Replace front steering knuckle idler arm bushings	100
78. Replace rear steering knuckle idler arm bushings	100
79. Replace front steering knuckle sway bar bushings	100
80. Replace rear steering knuckle sway bar bushings	100
81. Replace front steering knuckle control arm bushings	100
82. Replace rear steering knuckle control arm bushings	100
83. Replace front steering knuckle strut bushings	100
84. Replace rear steering knuckle strut bushings	100
85. Replace front steering knuckle shock absorber bushings	100
86. Replace rear steering knuckle shock absorber bushings	100
87. Replace front steering knuckle tie rod bushings	100
88. Replace rear steering knuckle tie rod bushings	100
89. Replace front steering knuckle idler arm bushings	100
90. Replace rear steering knuckle idler arm bushings	100
91. Replace front steering knuckle sway bar bushings	100
92. Replace rear steering knuckle sway bar bushings	100
93. Replace front steering knuckle control arm bushings	100
94. Replace rear steering knuckle control arm bushings	100
95. Replace front steering knuckle ball joint bushings	100
96. Replace rear steering knuckle ball joint bushings	100
97. Replace front steering knuckle tie rod bushings	100
98. Replace rear steering knuckle tie rod bushings	100
99. Replace front steering knuckle idler arm bushings	100
100. Replace rear steering knuckle idler arm bushings	100
101. Replace front steering knuckle sway bar bushings	100
102. Replace rear steering knuckle sway bar bushings	100
103. Replace front steering knuckle control arm bushings	100
104. Replace rear steering knuckle control arm bushings	100
105. Replace front steering knuckle strut bushings	100
106. Replace rear steering knuckle strut bushings	100
107. Replace front steering knuckle shock absorber bushings	100
108. Replace rear steering knuckle shock absorber bushings	100
109. Replace front steering knuckle tie rod bushings	100
110. Replace rear steering knuckle tie rod bushings	100
111. Replace front steering knuckle idler arm bushings	100
112. Replace rear steering knuckle idler arm bushings	100
113. Replace front steering knuckle sway bar bushings	100
114. Replace rear steering knuckle sway bar bushings	100
115. Replace front steering knuckle control arm bushings	100
116. Replace rear steering knuckle control arm bushings	100
117. Replace front steering knuckle ball joint bushings	100
118. Replace rear steering knuckle ball joint bushings	100
119. Replace front steering knuckle tie rod bushings	100
120. Replace rear steering knuckle tie rod bushings	100
121. Replace front steering knuckle idler arm bushings	100
122. Replace rear steering knuckle idler arm bushings	100
123. Replace front steering knuckle sway bar bushings	100

BUILDING : Block 02 McKinney

UPRN :

FLOOR : First

ROOM : Circulation Area 20

No : 002/2/1/009

USE :

Element : Stairs

CODE : 4

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Timber stair

Fair

No action required

B

38

2 m2

205

Year 1
Repair Cost (£)

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Structure
ROOM : Structure	No : 002/3/St/St	USE :

Element : Floors		CODE : 4							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Timber floor	Fair	No action required	B		40	1	m2	103	
								Year 1 Repair Cost (£)	

Element : Walls		CODE : 4					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Brick/block on plaster	Fair	No action required	B		40	1 m2	137
							Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Circulation Area/Stairs	No : 002/4/0/016	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Circulation Area/Stairs	No : 002/4/0/016	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Circulation Area/Stairs	No : 002/4/0/016	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Circulation Area/Stairs	No : 002/4/0/016	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Circulation Area/Stairs	No : 002/4/0/016	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Circulation Area/Stairs	No : 002/4/0/016	USE :

Element : Stairs	CODE : 4	Parlagement
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Element : Stairs	CODE : 4	Parlagement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	10 m2	3,417

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	10 m2	3,417

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	10 m2	3,417

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	10 m2	3,417

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	10 m2	3,417

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	10 m2	3,417

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	10 m2	3,417

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	10 m2	3,417

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	10 m2	3,417

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	10 m2	3,417

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	10 m2	3,417

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	10 m2	3,417

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	10 m2	3,417

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	10 m2	3,417

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	10 m2	3,417
							Year 1 Repair Cost (£)

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair	Fair	No action required	B		40	10 m2	3,417
							Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Structure
ROOM : Structure	No : 002/4/St/St	USE :

BUILDING : Block 05 Dining	UPRN :	FLOOR : Structure
ROOM : Structure	No : 002/5/St/St	USE :

BUILDING : Block 06 Greenhouse	UPRN :	FLOOR : Structure
ROOM : Structure	No : 002/6/St/St	USE :

Element : Frame/Columns		CODE : 4						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Metal frame	Fair	No action required	B		50	1	tonne	2,734
								Year 1 Repair Cost (£)
Element : Floors		CODE : 4						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Concrete floor	Fair	No action required	B		50	1	m2	164
								Year 1 Repair Cost (£)
Element : Walls		CODE : 4						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Blockwork	Fair	No action required	B		50	1	m2	137
								Year 1 Repair Cost (£)

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Bedroom	No : 002/7/0/005	USE :

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Bedroom	No : 002/7/0/005	USE :

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Bedroom	No : 002/7/0/005	USE :

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Bedroom	No : 002/7/0/005	USE :

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Bedroom	No : 002/7/0/005	USE :

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Bedroom	No : 002/7/0/005	USE :

Element : Stairs **CODE :4**

Element : Stairs **CODE :4**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		35	2 m2	683

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		35	2 m2	683

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		35	2 m2	683

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		35	2 m2	683

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		35	2 m2	683

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		35	2 m2	683

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Concrete stair	Fair	No action required	B		35	2 m2	683

Description		Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Concrete stair		Fair	No action required	B		35	2 m2	683

Concrete stair	Fair	No action required	B	35	2	m2	683
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Concrete stair	Fair	No action required	B	35	2	m2	683
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Concrete stair	Fair	No action required	B	35	2	m2	683
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Concrete stair	Fair	No action required	B	35	2	m2	683
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Concrete stair	Fair	No action required	B	35	2	m2	683
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Concrete stair	Fair	No action required	B	35	2	m2	683
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Concrete stair	Fair	No action required	B	35	2	m2	683
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	Year 1 Repair Cost (£)
1. Replace front suspension	1,200
2. Replace rear suspension	1,500
3. Replace front brakes	800
4. Replace rear brakes	700
5. Replace front wheel alignment	150
6. Replace rear wheel alignment	150
7. Replace front shock absorbers	900
8. Replace rear shock absorbers	1,100
9. Replace front steering rack	1,300
10. Replace rear steering rack	1,400
11. Replace front suspension arms	600
12. Replace rear suspension arms	700
13. Replace front suspension springs	500
14. Replace rear suspension springs	600
15. Replace front suspension bushings	400
16. Replace rear suspension bushings	500
17. Replace front suspension ball joints	300
18. Replace rear suspension ball joints	400
19. Replace front suspension tie rods	200
20. Replace rear suspension tie rods	300
21. Replace front suspension struts	1,000
22. Replace rear suspension struts	1,200
23. Replace front suspension control arms	700
24. Replace rear suspension control arms	800
25. Replace front suspension stabilizer bars	600
26. Replace rear suspension stabilizer bars	700
27. Replace front suspension sway bars	500
28. Replace rear suspension sway bars	600
29. Replace front suspension lower control arms	400
30. Replace rear suspension lower control arms	500
31. Replace front suspension upper control arms	300
32. Replace rear suspension upper control arms	400
33. Replace front suspension steering knuckles	200
34. Replace rear suspension steering knuckles	300
35. Replace front suspension steering rack boots	100
36. Replace rear suspension steering rack boots	100
37. Replace front suspension steering rack tie rods	100
38. Replace rear suspension steering rack tie rods	100
39. Replace front suspension steering rack tie rod ends	100
40. Replace rear suspension steering rack tie rod ends	100
41. Replace front suspension steering rack tie rod ends	100
42. Replace rear suspension steering rack tie rod ends	100
43. Replace front suspension steering rack tie rod ends	100
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45. Replace front suspension steering rack tie rod ends	100
46. Replace rear suspension steering rack tie rod ends	100
47. Replace front suspension steering rack tie rod ends	100
48. Replace rear suspension steering rack tie rod ends	100
49. Replace front suspension steering rack tie rod ends	100
50. Replace rear suspension steering rack tie rod ends	100
51. Replace front suspension steering rack tie rod ends	100
52. Replace rear suspension steering rack tie rod ends	100
53. Replace front suspension steering rack tie rod ends	100
54. Replace rear suspension steering rack tie rod ends	100
55. Replace front suspension steering rack tie rod ends	100
56. Replace rear suspension steering rack tie rod ends	100
57. Replace front suspension steering rack tie rod ends	100
58. Replace rear suspension steering rack tie rod ends	100
59. Replace front suspension steering rack tie rod ends	100
60. Replace rear suspension steering rack tie rod ends	100
61. Replace front suspension steering rack tie rod ends	100
62. Replace rear suspension steering rack tie rod ends	100
63. Replace front suspension steering rack tie rod ends	100
64. Replace rear suspension steering rack tie rod ends	100
65. Replace front suspension steering rack tie rod ends	100
66. Replace rear suspension steering rack tie rod ends	100
67. Replace front suspension steering rack tie rod ends	100
68. Replace rear suspension steering rack tie rod ends	100
69. Replace front suspension steering rack tie rod ends	100
70. Replace rear suspension steering rack tie rod ends	100
71. Replace front suspension steering rack tie rod ends	100
72. Replace rear suspension steering rack tie rod ends	100
73. Replace front suspension steering rack tie rod ends	100
74. Replace rear suspension steering rack tie rod ends	100
75. Replace front suspension steering rack tie rod ends	100
76. Replace rear suspension steering rack tie rod ends	100
77. Replace front suspension steering rack tie rod ends	100
78. Replace rear suspension steering rack tie rod ends	100
79. Replace front suspension steering rack tie rod ends	100
80. Replace rear suspension steering rack tie rod ends	100
81. Replace front suspension steering rack tie rod ends	100
82. Replace rear suspension steering rack tie rod ends	100
83. Replace front suspension steering rack tie rod ends	100
84. Replace rear suspension steering rack tie rod ends	100
85. Replace front suspension steering rack tie rod ends	100
86. Replace rear suspension steering rack tie rod ends	100
87. Replace front suspension steering rack tie rod ends	100
88. Replace rear suspension steering rack tie rod ends	100
89. Replace front suspension steering rack tie rod ends	100
90. Replace rear suspension steering rack tie rod ends	100
91. Replace front suspension steering rack tie rod ends	100
92. Replace rear suspension steering rack tie rod ends	100
93. Replace front suspension steering rack tie rod ends	100
94. Replace rear suspension steering rack tie rod ends	100
95. Replace front suspension steering rack tie rod ends	100
96. Replace rear suspension steering rack tie rod ends	100
97. Replace front suspension steering rack tie rod ends	100
98. Replace rear suspension steering rack tie rod ends	100
99. Replace front suspension steering rack tie rod ends	100
100. Replace rear suspension steering rack tie rod ends	100

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Structure
ROOM : Structure	No : 002/7/St/St	USE :

Element : Floors		CODE : 4																	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity												Replacement Cost (£)	
Timber floor	Fair	No action required	B		40	1	m2											102	
																		Year 1 Repair Cost (£)	

Element : Walls		CODE : 4						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Stone / plastered walls	Fair	No action required	B		40	1	m2	205
								Year 1 Repair Cost (£)

ROOMS

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Entrance Foyer	No : 002/1/0/001	USE :

Element : Ceilings

CODE :5

Description

Lath & plaster ceiling, including ornate cornice and ceiling rose

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

10

Quantity

9 m2

Replacement Cost (£)

1,000

Year 1 Repair Cost (£)

Element : Walls

CODE :5

Description

Lath & plaster to walls

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

15

Quantity

13 m2

Replacement Cost (£)

710

Year 1 Repair Cost (£)

Element : Walls

CODE :5

Description

Timber panelling to dado level

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

15

Quantity

5 m2

Replacement Cost (£)

341

Year 1 Repair Cost (£)

Element : Windows

CODE :5

Description

Timber window surround

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

15

Quantity

10 m2

Replacement Cost (£)

700

Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Tiled mosaic floor finish

Fair

No Action Required

B

15

9 m2

1,000

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Emulsion to ceiling and walls;
varnish to timber finishes

Fair

No Action Required

B

3

50 m2

410

**Year 1
Repair Cost (£)**

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Hall	No : 002/1/0/002	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster ceiling, including ornate cornice	Fair	No Action Required	B		10	70 m2		8,000
								Year 1 Repair Cost (£)
Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		25	7 m2		239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		15	280 m2		15,311
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber panelling to dado level	Fair	No Action Required	B		15	30 m2		2,050
								Year 1 Repair Cost (£)

Element : Partitions		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber part glazed partitions	Fair	No Action Required	B		15	9	m2	1,968
								Year 1 Repair Cost (£)
Element : Windows		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber window surround	Fair	No Action Required	B		15	11	m2	4,511
								Year 1 Repair Cost (£)
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber door with viewing panel	Fair	No Action Required	B		15	1	No	1,093
								Year 1 Repair Cost (£)
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	2	No	2,734
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet sheet finish, with colour contrasted non-slip nosings to steps .	Fair	No Action Required	B		8	77 m2	3,500	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	407 m2	3,338	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Office	No : 002/1/0/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster ceiling, including ornate cornice and ceiling rose	Fair	No Action Required	B		10	40 m2		4,400
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		15	80 m2		4,374
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to fireplace	Fair	No Action Required	B		15	2 m2		164
								Year 1 Repair Cost (£)
Element : Windows		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber window surround	Fair	No Action Required	B		15	19 m2		950
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber panelled door

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

10

Quantity

1 No

**Replacement
Cost (£)**

656

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Carpet floor finish

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

8

Quantity

40 m2

**Replacement
Cost (£)**

1,640

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

50 m2

**Replacement
Cost (£)**

410

**Year 1
Repair Cost (£)**

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Ground**ROOM** : Library**No** : 002/1/0/004**USE** :**Element** : Ceilings**CODE** :5**Description**Lath & plaster ceiling, including
ornate cornice and ceiling rose**Condition**

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

10

Quantity

34 m2

**Replacement
Cost (£)**

4,000

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description**

Lath & plaster to walls

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

15

Quantity

64 m2

**Replacement
Cost (£)**

3,499

**Year 1
Repair Cost (£)****Element** : Windows**CODE** :5**Description**

Timber window surround

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

15

Quantity

10 m2

**Replacement
Cost (£)**

700

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description**

Softwood timber panelled door

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

10

Quantity

1 No

**Replacement
Cost (£)**

656

**Year 1
Repair Cost (£)**

Element : Doors**CODE :5****Description**Softwood timber panelled/glazed
sliding doors**Condition**

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

15

Quantity

2 No

**Replacement
Cost (£)**

2,624

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Carpet floor finish

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

8

Quantity

34 m2

**Replacement
Cost (£)**

1,394

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**Fair, although slight flaking of
painterwork in isolated area**Action**

Make good finish

Cond/Ind

B

Priority

4

L'Expec

3

Quantity

124 m2

**Replacement
Cost (£)**

1,017

**Year 1
Repair Cost (£)**
50

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Games	No : 002/1/0/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster ceiling, including ornate cornice and ceiling rose	Fair	No Action Required	B		10	32 m2		3,500
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		15	48 m2		2,624
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		15	2 m2		164
								Year 1 Repair Cost (£)
Element : Windows		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber window surround	Fair	No Action Required	B		15	14 m2		700
								Year 1 Repair Cost (£)

Element : Doors		CODE :5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Softwood timber panelled door	Fair	No Action Required	B		10	1	No	656
								Year 1 Repair Cost (£)

Element : Doors		CODE :5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Softwood timber panelled top glazed	Fair	No Action Required	B		15	1	No	656
								Year 1 Repair Cost (£)

Element : Doors		CODE :5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Softwood timber flush	Fair	No Action Required	B		15	1	No	492
								Year 1 Repair Cost (£)

Element : Floors		CODE :5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Carpet floor finish	Fair	No Action Required	B		8	32	m2	1,312
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	126 m2	1,033	

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Ground**ROOM** : Reception**No** : 002/1/0/006**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Suspended grid system with fibreboard tiles	Fair	No Action Required	B		10	9 m2	307
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		15	9 m2	492
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		25	15 m2	512
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber panelled top glazed	Fair	No Action Required	B		10	1 No	656
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	9 m2	369	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	30 m2	246	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Hall	No : 002/1/0/007	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Suspended grid system with fibreboard tiles	Fair	No Action Required	B		10	6 m2		205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		15	15 m2		820
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		15	11 m2		451
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber with viewing panel	Fair	No Action Required	B		10	1 No		656
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber panelled top glazed

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

10

Quantity

1 No

Replacement Cost (£)

656

Year 1 Repair Cost (£)**Element : Floors****CODE :5****Description**

Carpet floor finish

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

8

Quantity

9 m2

Replacement Cost (£)

369

Year 1 Repair Cost (£)**Element : Decoration****CODE :5****Description**

Emulsion to ceiling and walls; gloss/varnish to timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

3

Quantity

34 m2

Replacement Cost (£)

278

Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Manager	No : 002/1/0/008	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster ceiling, including ornate cornice	Fair	No Action Required	B		10	37 m2		4,100
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		15	46 m2		2,515
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber panelling to walls	Fair	No Action Required	B		15	19 m2		1,298
								Year 1 Repair Cost (£)
Element : Windows		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber window surround	Fair	No Action Required	B		15	20 m2		1,000
								Year 1 Repair Cost (£)

Element : Doors

CODE :5

Description

Timber panelled door

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

10

Quantity

2 No

**Replacement
Cost (£)**

1,312

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description

Carpet floor finish

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

8

Quantity

37 m2

**Replacement
Cost (£)**

1,517

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

126 m2

**Replacement
Cost (£)**

1,033

**Year 1
Repair Cost (£)**

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/1/0/009	USE :

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Stone pointed finish (painted)	Fair	No Action Required	B		40	10 m2		273
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted Concrete	Fair	No Action Required	B		40	4 m2		273
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	32 m2		262
								Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/1/0/010	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Suspended grid system with fibreboard tiles	Fair	No Action Required	B		10	7 m2		239
							Year 1 Repair Cost (£)	
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		15	6 m2		328
							Year 1 Repair Cost (£)	
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		25	10 m2		341
							Year 1 Repair Cost (£)	
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
							Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Quarry tiled floor	Fair	No Action Required	B		20	7 m2	574	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	16 m2	131	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/1/0/011	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Suspended grid system with fibreboard tiles	Fair	No Action Required	B		10	8	m2	273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		25	26	m2	1,066
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair, although door frame damaged	Make good door frame	B	4	23	1	No	492
								Year 1 Repair Cost (£)
								150
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		20	8	m2	328
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	26 m2	213	

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Ground**ROOM** : Lounge**No** : 002/1/0/012**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Lath & plaster ceiling, including ornate cornice and ceiling rose	Fair	No Action Required	B		10	50 m2	5,500	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		15	49 m2	2,679	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Timber panelling to dado level	Fair	No Action Required	B		15	24 m2	1,640	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
1/2 hour fire door set, including 2 no. timber/glazed doors	Fair	No Action Required	B		15	2 No	2,050	

Element : Doors**CODE :5****Description**

Softwood timber panelled door

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

10

Quantity

1 No

**Replacement
Cost (£)**

656

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Carpet floor finish

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

8

Quantity

50 m2

**Replacement
Cost (£)**

2,050

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

139 m2

**Replacement
Cost (£)**

1,140

**Year 1
Repair Cost (£)**

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Ground**ROOM** : Laundry**No** : 002/1/0/013**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair, with hairline cracking in isolated areas	Make good prior to redecoration	B	4	10	19 m2	273
							Year 1 Repair Cost (£) 50

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair, although slightly marked in areas	Make good prior to redecoration	B	4	25	43 m2	1,763
							Year 1 Repair Cost (£) 100

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair, although slightly marked in areas	Make good prior to redecoration	B	4		11 m2	451
							Year 1 Repair Cost (£) 50

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No	492
							Year 1 Repair Cost (£) 150

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		5	19 m2	779	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Poor	Redecorate	D	4	Replace/In	73 m2	598	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/1/0/014	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster ceilin	Fair	No Action Required	B		10	3 m2		164
								Year 1 Repair Cost (£)
Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		25	25 m2		854
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		15	30 m2		1,640
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		25	70 m2		2,392
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

1 hour fire door set

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

15

Quantity

2 No

**Replacement
Cost (£)**

2,734

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Carpet sheet finish

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

8

Quantity

28 m2

**Replacement
Cost (£)**

1,148

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

128 m2

**Replacement
Cost (£)**

1,049

**Year 1
Repair Cost (£)**

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Ground**ROOM** : Kitchen Store**No** : 002/1/0/015**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster ceiling	Fair, with slight cracking in isolated areas	Make good prior to redecoration	B	4	10	4 m2	218
							Year 1 Repair Cost (£) 50

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		15	23 m2	943
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		10	1 No	492
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	4 m2	164
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	30 m2	246	

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Ground**ROOM** : Kitchen**No** : 002/1/0/016**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Suspended grid system with fibreboard tiles	Fair	No Action Required	B		18	47 m2	1,606	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Pre-finished board	Fair	No Action Required	B		15	49 m2	2,009	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Metal lining sheet to walls	Fair	No Action Required	B		15	11 m2	451	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber with viewing panel	Fair	No Action Required	B		10	1 No	656	

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	47 m2	1,927	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Kitchen (small area)	No : 002/1/0/017	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Suspended grid system with fibreboard tiles	Fair	No Action Required	B		18	14 m2		478
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		15	28 m2		1,148
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		10	1 No		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Aluminium insect barrier door	Fair	No Action Required	B		10	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	14 m2	574	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/1/0/017A	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		35	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		35	31 m2		1,059
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		10	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	8 m2		328
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	39 m2	319	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Kitchen Store	No : 002/1/0/018	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre finished board	Fair	No Action Required	B		15	6 m2		328
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		15	20 m2		820
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		10	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	6 m2		246
								Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Ground**ROOM** : Kitchen Store**No** : 002/1/0/019**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Suspended grid system with fibreboard tiles	Fair	No Action Required	B		15	8 m2	273	

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Pre-finished board	Fair	No Action Required	B		15	26 m2	1,066	

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Softwood timber flush	Fair	No Action Required	B		10	1 No	492	

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	8 m2	328	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Kitchen Staff	No : 002/1/0/020	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Suspended grid system with fibreboard tiles	Fair	No Action Required	B		10	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		15	17 m2		697
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		10	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber laminate floor	Fair	No Action Required	B		8	4 m2		164
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	17 m2	139	

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : Ground**ROOM** : Kitchen Store**No** : 002/1/0/021**USE** :**Element** : Ceilings**CODE** :5**Description**Suspended grid system with
fibreboard tiles**Condition**

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

10

Quantity

14 m2

**Replacement
Cost (£)**

478

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description**

Plasterboard walls

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

35

Quantity

35 m2

**Replacement
Cost (£)**

697

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description**

1/2 hour fire door set

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

10

Quantity

1 No

**Replacement
Cost (£)**

1,025

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description**

Timber laminate floor

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

8

Quantity

14 m2

**Replacement
Cost (£)**

574

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	35 m2	287	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/1/0/022	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Suspended grid system with fibreboard tiles	Fair	No Action Required	B		10	4 m2		136
								Year 1 Repair Cost (£)

Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster walls	Fair	No Action Required	B		15	14 m2		574
								Year 1 Repair Cost (£)

Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		10	2 No		2,734
								Year 1 Repair Cost (£)

Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber laminate floor	Fair	No Action Required	B		8	4 m2		164
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	14 m2	114	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/1/0/022A	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster ceiling	Fair	No Action Required	B		10	5 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		15	22 m2		1,203
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plywood lining board to walls	Fair	No Action Required	B		15	2 m2		82
								Year 1 Repair Cost (£)
Element : Windows		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber windows to internal walls/partitions	Fair	No Action Required	B		10	1 m2		410
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	5 m2	205	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	27 m2	221	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/1/0/023	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		35	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		15	10 m2		341
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber laminate floor	Fair	No Action Required	B		8	3 m2		123
								Year 1 Repair Cost (£)
Element : Decoration		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	13 m2		106
								Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/1/0/023A	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		10	1	m2	34
								Year 1 Repair Cost (£)

Element : Walls		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		25	9 m2	307
							Year 1 Repair Cost (£)

Element : Doors							
CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		10	1 No	492
							Year 1 Repair Cost (£)

Element : Floors		CODE :5											
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)					
Vinyl tile floor finish	Fair, although showing signs of age	No Action Required	B		2	1	m2	41					
								Year 1 Repair Cost (£)					

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	12 m2	98	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/1/0/024	USE :

Element : Ceilings							
CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		10	4 m2	218
							Year 1 Repair Cost (£) 50

Element : Walls		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		15	17 m2	929
							Year 1 Repair Cost (£)

Element : Walls		CODE :5						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)	
Plasterboard walls	Fair	No Action Required	B		25	3 m2	102	
							Year 1 Repair Cost (£)	

Element : Doors		CODE :5																			
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity														Replacement Cost (£)	
Softwood timber flush	Fair	No Action Required	B		10	1	No													492	
																			Year 1 Repair Cost (£)		

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl tile floor finish	Fair, although showing signs of age	No Action Required	B		2	4 m2	164	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	26 m2	213	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/1/0/025	USE :

Element : Walls		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Timber panelling to walls	Fair, although damaged in isolated areas	Replace damaged sections	B	4	15	20	m2	1,367	
								Year 1 Repair Cost (£)	200
Element : Doors		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Softwood timber flush	Fair	No Action Required	B		10	1	No	492	
								Year 1 Repair Cost (£)	
Element : Floors		CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Timber strip flooring	Fair	No Action Required	B		20	2	m2	164	
								Year 1 Repair Cost (£)	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Toilet	No : 002/1/0/026	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster ceiling	Fair, although bossed and damaged in areas	Make good prior to redecoration	B	4	10	12	m2	656
								Year 1 Repair Cost (£)
								250

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		15	30	m2	2,460
								Year 1 Repair Cost (£)

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair, with minor marks in isolated areas	Make good prior to redecoration	B	4	15	20	m2	1,093
								Year 1 Repair Cost (£) 50

Element : Partitions		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to partitions	Fair	No Action Required	B		40	10 m2	1,162
							Year 1 Repair Cost (£)

Element : Windows**CODE :5****Description**

Timber windows to internal walls/partitions

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

10

Quantity

1 m2

Replacement Cost (£)

410

Year 1 Repair Cost (£)**Element : Doors****CODE :5****Description**

Softwood timber panelled door

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

10

Quantity

1 No

Replacement Cost (£)

656

Year 1 Repair Cost (£)**Element : Doors****CODE :5****Description**

Softwood timber panelled top glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

10

Quantity

1 No

Replacement Cost (£)

656

Year 1 Repair Cost (£)**Element : Floors****CODE :5****Description**

Tiled mosiac floor finish

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

10

Quantity

12 m2

Replacement Cost (£)

2,000

Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor, with flaking painterwork	Redecorate	D	4	Replace/In	42	m2	344
								Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		35	25 m2		854
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		35	65 m2		2,221
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	25 m2		1,025
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	90 m2	738	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Bathroom	No : 002/1/1/002	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		35	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		35	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	9 m2		738
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair, although loose at upstand	Refix vinyl sheet at upstand to bath	B	4	8	25 m2	1,025	50

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	14 m2	114	

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : First**ROOM** : Boiler**No** : 002/1/1/003**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		35	9 m2	307
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair, although unfinished in corner area and cill	Make good plasterboard finish	B	4	35	30 m2	1,025
							Year 1 Repair Cost (£)
							350

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plywood sheeting	Fair	No Action Required	B		15	9 m2	738
							Year 1 Repair Cost (£)

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	29 m2	237
							Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Bedroom 7	No : 002/1/1/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	16 m2		546
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		15	33 m2		1,127
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	16 m2		656
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	49 m2	401
							Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Toilet 7	No : 002/1/1/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		15	7 m2		239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	6 m2		492
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Vinyl sheet finish (non-slip)

Fair

No Action Required

B

8

3 m2

123

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

3

13 m2

123

**Year 1
Repair Cost (£)**

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Bedroom 6	No : 002/1/1/006	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	16 m2		546
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		15	10 m2		546
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		15	23 m2		786
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

8

16 m2

656

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

3

49 m2

401

**Year 1
Repair Cost (£)**

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Toilet 6	No : 002/1/1/007	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		15	7 m2		239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	6 m2		492
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	15 m2	123	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Bedroom 5	No : 002/1/1/008	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	17 m2		581
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		15	6 m2		328
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		15	26 m2		888
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

8

17 m2

697

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

3

49 m2

401

**Year 1
Repair Cost (£)**

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Toilet	No : 002/1/1/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	6 m2		205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		15	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	8 m2		656
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Vinyl sheet finish (non-slip)

Fair

No Action Required

B

8

5 m2

205

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

3

20 m2

164

**Year 1
Repair Cost (£)**

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/010	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		35	3 m2		102
								Year 1 Repair Cost (£)
Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	22 m2		751
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		35	8 m2		273
								Year 1 Repair Cost (£)

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Plasterboard finish	Fair	No Action Required	B		15	4 m2	136	
							Year 1 Repair Cost (£)	
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Plaster on hard to walls	Fair	No Action Required	B		15	3 m2	102	
							Year 1 Repair Cost (£)	
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Softwood timber flush	Fair	No Action Required	B		23	1 No	492	
							Year 1 Repair Cost (£)	
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Softwood timber panelled	Fair	No Action Required	B		23	1 No	656	
							Year 1 Repair Cost (£)	

Element : Floors

CODE :5

Description

Timber strip flooring/hardboard

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

10

Quantity

3 m2

**Replacement
Cost (£)**

246

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description

Carpet floor finish

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

8

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

35 m2

**Replacement
Cost (£)**

287

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

13 m2

**Replacement
Cost (£)**

106

**Year 1
Repair Cost (£)**

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Bedroom 4	No : 002/1/1/012	USE :

Element : Ceilings		CODE :5																	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity												Replacement Cost (£)	
Plasterboard ceiling	Fair	No Action Required	B		15	23	m2											786	
																		Year 1 Repair Cost (£)	

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		15	42	m2	1,435
								Year 1 Repair Cost (£)

Element : Doors		CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
1 hour fire door set	Fair	No Action Required	B		23	1	No	1,367	
								Year 1 Repair Cost (£)	

Element : Floors		CODE :5															
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity											Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	23	m2										943
																	Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	65 m2	533	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Toilet 4	No : 002/1/1/013	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		15	7 m2		239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	3 m2		246
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	13 m2	106	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/014	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	3 m2		102
								Year 1 Repair Cost (£)
Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Loft hatch	Fair	No Action Required	B		33	1 m2		54
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard finish	Fair	No Action Required	B		15	6 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber panelled	Fair	No Action Required	B		23	1 No		656
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

8

3 m2

123

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

3

13 m2

106

**Year 1
Repair Cost (£)**

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Bedroom 3	No : 002/1/1/015	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	24 m2		820
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		15	44 m2		1,503
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	24 m2		984
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	70 m2	574
							Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Toilet 3	No : 002/1/1/016	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		15	7 m2		239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	3 m2		246
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	13 m2	106	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/017	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	3 m2		102
								Year 1 Repair Cost (£)
Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Loft hatch	Fair	No Action Required	B		33	1 m2		54
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard finish	Fair	No Action Required	B		15	9 m2		307
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber panelled	Fair	No Action Required	B		23	1 No		656
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	22 m2	180	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Bedroom 2	No : 002/1/1/018	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	23 m2		786
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		15	42 m2		1,435
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	23 m2		943
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	65 m2	533
							Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Toilet 2	No : 002/1/1/019	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	4	m2	136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		15	7	m2	239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	3	m2	246
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1	No	492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	13 m2	106	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/020	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	3 m2		102
								Year 1 Repair Cost (£)
Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Loft hatch	Fair	No Action Required	B		33	1 m2		54
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard finish	Fair	No Action Required	B		15	6 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber panelled	Fair	No Action Required	B		23	1 No		656
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	13 m2	106	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Bedroom 1	No : 002/1/1/021	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	18 m2		615
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Lath & plaster to walls	Fair	No Action Required	B		15	22 m2		1,203
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		15	13 m2		444
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

8

18 m2

738

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

3

55 m2

451

**Year 1
Repair Cost (£)**

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Toilet 1	No : 002/1/1/022	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Loft hatch	Fair	No Action Required	B		33	1 m2		54
								Year 1 Repair Cost (£)
Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	5 m2		170
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		15	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		15	7 m2		239
								Year 1 Repair Cost (£)

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	6	m2	492
								Year 1 Repair Cost (£)
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	5	m2	205
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	27	m2	221
								Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/023	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		15	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		15	2 m2		68
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber panelled	Fair	No Action Required	B		23	1 No		656
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	12 m2	98	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/2/0/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		25	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		25	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet sheet finish, with colour contrasted non-slip nosings to steps .	Fair	No Action Required	B		8	13 m2		600
								Year 1 Repair Cost (£)
Element : Decoration		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	43 m2		352
								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/2/0/002	USE :

Element : Ceilings	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		25	25 m2		854
								Year 1 Repair Cost (£)

Element : Walls	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		25	14 m2		478
								Year 1 Repair Cost (£)

Element : Walls	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		25	64 m2		2,187
								Year 1 Repair Cost (£)

Element : Doors	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet sheet finish	Fair	No Action Required	B		8	25 m2	1,025	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	103 m2	844	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/2/0/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		25	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		25	6 m2		205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		25	6 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	2 No		2,734
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Unpainted Concrete	Fair	No Action Required	B		40	2 m2	136	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Still to be decorated	Decorate	D	4	Replace/In	16 m2	131	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Toilet	No : 002/2/0/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		25	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	18 m2		1,476
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Quarry tiled floor	Fair	No Action Required	B		28	3 m2		246
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling; gloss/varnish to timber finishes	Fair	No Action Required	B		3	3 m2	24	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Toilet	No : 002/2/0/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Suspended grid system with fibreboard tiles	Fair	No Action Required	B		18	9 m2		307
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	29 m2		2,378
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		23	3 m2		123
								Year 1 Repair Cost (£)
Element : Partitions		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber laminate partition	Fair	No Action Required	B		23	2 m2		1,640
								Year 1 Repair Cost (£)

Element : Windows**CODE :5****Description**

PVC-u windows to internal walls/partitions

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

38

Quantity

2 m2

Replacement Cost (£)

820

Year 1 Repair Cost (£)**Element : Doors****CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

23

Quantity

1 No

Replacement Cost (£)

492

Year 1 Repair Cost (£)**Element : Floors****CODE :5****Description**

Quarry tiled floor

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

28

Quantity

19 m2

Replacement Cost (£)

1,558

Year 1 Repair Cost (£)**Element : Decoration****CODE :5****Description**

Gloss/varnish to timber finishes only

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

3

Quantity

2 m2

Replacement Cost (£)

16

Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : Ground**ROOM** : Store**No** : 002/2/0/006**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster ceiling	Fair, with slight cracking in isolated areas	Make good prior to redecoration	B	4	25	2 m2	68
							Year 1 Repair Cost (£) 50

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair, although slight cracking is evident in areas	Make good prior to redecoration	B	4	25	12 m2	410
							Year 1 Repair Cost (£) 50

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No	492
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Unpainted Concrete	Fair	No Action Required	B		40	2 m2	136
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration	Poor	Redecorate	D	4	Replace/In	12	m2	98
								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Plant Room	No : 002/2/0/007	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair, although 'AmesTaping' required in areas	Make good prior to redecoration	B	4	25	14	m2	478
								Year 1 Repair Cost (£) 150
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Brick pointed finish (painted)	Fair, although repointing required in areas	Make good prior to redecoration	B	4	18	70	m2	1,913
								Year 1 Repair Cost (£) 200
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1	No	1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted Concrete	Fair	No Action Required	B		40	14	m2	956
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	D	4	Replace/In	84	m2	689	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/2/0/008	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		25	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	12 m2		984
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Quarry tiled floor	Fair	No Action Required	B		28	3 m2		246
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling; gloss/varnish to timber finishes	Fair	No Action Required	B		3	3 m2	24	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/2/0/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		25	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		25	14 m2		478
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		25	11 m2		375
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet sheet finish	Fair	No Action Required	B		8	10 m2		410
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	35 m2	287	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Bedroom 8	No : 002/2/0/010	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	14 m2		478
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	20 m2		683
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

8

14 m2

574

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

3

46 m2

377

**Year 1
Repair Cost (£)**

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Toilet 8	No : 002/2/0/011	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	9 m2		738
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		38	7 m2		478
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Fair	No Action Required	B		3	2 m2	16	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Bedroom 9	No : 002/2/0/012	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	14 m2		478
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	20 m2		683
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	14 m2	574	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	46 m2	377	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Toilet 9	No : 002/2/0/013	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	9 m2		738
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		38	7 m2		478
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Fair	No Action Required	B		3	2 m2	16	

BUILDING : Block 02 McKinney
ROOM : Circulation Area/Stairs

UPRN :
No : 002/2/0/014

FLOOR : Ground
USE :

Element : Ceilings		CODE :5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		25	48 m2		1,640

Element : Ceilings		CODE :5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Suspended grid system with fibreboard tiles	Fair	No Action Required	B		18	20 m2		683

Element : Walls		CODE :5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Plasterboard walls	Fair	No Action Required	B		25	11 m2		375

Element : Walls		CODE :5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Year 1 Repair Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		25	154 m2		5,263

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	5	No	6,835
								Year 1 Repair Cost (£)
Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1	No	1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet sheet finish, with colour contrasted non-slip nosings to steps .	Fair	No Action Required	B		8	65	m2	2,800
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	213	m2	1,747
								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney
ROOM : Circulation Area/Stairs

UPRN :
No : 002/2/0/015

FLOOR : Ground
USE :

Element : Walls

CODE : 5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair, with minor marks in isolated areas	Make good prior to redecoration	B		25	9 m2	307
							Year 1 Repair Cost (£)

Element : Doors

CODE : 5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		10	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE : 5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Vinyl sheet floor finish	Fair	No Action Required	B		4	4 m2	164
							Year 1 Repair Cost (£)

Element : Decoration

CODE : 5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		1	15 m2	123
							Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : Ground**ROOM** : Grampian Lounge**No** : 002/2/0/016**USE** :**Element** : Ceilings**CODE** :5**Description**

Plasterboard ceiling

ConditionFair, although slight cracking
noted in isolated areas**Action**

Make good prior to redecoration

Cond/Ind

B

Priority

4

L'Expec

25

Quantity

102 m2

**Replacement
Cost (£)**

3,486

**Year 1
Repair Cost (£)**

50

Element : Walls**CODE** :5**Description**

Plaster on hard to walls

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

25

Quantity

92 m2

**Replacement
Cost (£)**

3,144

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description**

Plasterboard walls

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

25

Quantity

10 m2

**Replacement
Cost (£)**

341

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

23

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)**

Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber laminate floor	Fair	No Action Required	B		8	27	m2	2,214
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet sheet finish	Fair	No Action Required	B		8	75	m2	3,075
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Emulsion to ceiling, decorative paper to walls; gloss to timber finishes	Fair	No Action Required	B		3	204	m2	1,673
								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/2/1/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	17 m2		581
								Year 1 Repair Cost (£)
Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Loft hatch	Fair	No Action Required	B		33	1 m2		54
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber panelling to walls	Fair	No Action Required	B		38	6 m2		410
								Year 1 Repair Cost (£)

Element : Walls**CODE :5****Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

33

33 m2

1,127

**Year 1
Repair Cost (£)****Element : Windows****CODE :5****Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**Timber windows to internal
walls/partitions

Fair

No Action Required

B

38

3 m2

1,230

**Year 1
Repair Cost (£)****Element : Doors****CODE :5****Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

1 hour fire door set

Fair

No Action Required

B

23

1 No

1,367

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

8

17 m2

697

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	80 m2	656
							Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : First**ROOM** : Circulation Area**No** : 002/2/1/001A**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	10 m2	341
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	42 m2	1,435
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No	1,367
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	10 m2	410
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	64 m2	524
							Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Bedroom 22	No : 002/2/1/002	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	11 m2		375
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	20 m2		683
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	11 m2	451	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	43 m2	352	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Toilet 22	No : 002/2/1/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	4 m2		328
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		38	7 m2		239
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Vinyl sheet finish (non-slip)

Fair

No Action Required

B

8

3 m2

82

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

3

13 m2

106

**Year 1
Repair Cost (£)**

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Circulation Area 21	No : 002/2/1/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	4 m2		136
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	12 m2	98	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Bedroom 21	No : 002/2/1/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	35 m2		1,196
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	13 m2		533
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	52 m2	426
							Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Toilet 21	No : 002/2/1/006	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	5 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	6 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	12 m2	98	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Living Room 21	No : 002/2/1/007	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	16 m2		546
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	37 m2		1,264
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	16 m2		656
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	55 m2	451
							Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Store 21	No : 002/2/1/008	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	1 m2		34
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	7 m2		239
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	2 No		984
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	1 m2		41
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	12 m2	98	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Circulation Area 20	No : 002/2/1/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	6 m2		205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	20 m2		683
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	6 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	34 m2	278	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Bedroom 20	No : 002/2/1/010	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	9 m2		307
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	31 m2		1,059
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	9 m2		533
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	42 m2	344
							Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Toilet 20	No : 002/2/1/011	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	5 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	6 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Vinyl sheet finish (non-slip)

Fair

No Action Required

B

8

3 m2

123

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

3

12 m2

98

**Year 1
Repair Cost (£)**

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Living Room 20	No : 002/2/1/012	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	19 m2		649
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	40 m2		1,367
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	19 m2		779
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	61 m2	500	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Circulation Area 19	No : 002/2/1/014	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2	m2	68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	2	m2	68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	2	m2	273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1	No	1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	14 m2	656	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Bedroom 19	No : 002/2/1/015	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	10 m2		341
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	8 m2	328	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	30 m2	344	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Toilet 19	No : 002/2/1/016	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	5 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	6 m2		205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	3 m2		102
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

23

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

8

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

15 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)**

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : First**ROOM** : Living Room 19**No** : 002/2/1/017**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair, although slightly marked in
areas

No Action Required

B

33

10 m2

341

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard walls

Fair

No Action Required

B

33

8 m2

273

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster on hard to walls

Fair

No Action Required

B

38

20 m2

683

**Year 1
Repair Cost (£)****Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Softwood timber flush

Fair

No Action Required

B

23

1 No

492

**Year 1
Repair Cost (£)**

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

8

10 m2

410

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair, although minor repairs
required
Decorate ceiling

Ceiling to be decorated

B

4

3

38 m2

311

**Year 1
Repair Cost (£)**
80

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : First**ROOM** : Circulation Area 18**No** : 002/2/1/018**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	33	2	m2	68
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	33	2	m2	68
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B	33	2	m2	273
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B	23	1	No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	14 m2	656	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Bedroom 18	No : 002/2/1/019	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	10 m2		341
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	8 m2	328	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	30 m2	344	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Toilet 18	No : 002/2/1/020	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	5 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	6 m2		205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	3 m2		102
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

23

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

8

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

15 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)**

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : First**ROOM** : Living Room 18**No** : 002/2/1/021**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	33	10	m2	341
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	33	8	m2	273
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B	38	20	m2	683
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	23	1	No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

8

10 m2

410

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

4

3

38 m2

311

**Year 1
Repair Cost (£)**
80

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : First**ROOM** : Circulation Area 24**No** : 002/2/1/023**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	33	2	m2	68
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	33	2	m2	68
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B	33	2	m2	273
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B	23	1	No	1,367
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

8

2 m2

82

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

3

14 m2

656

**Year 1
Repair Cost (£)**

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Bedroom 24	No : 002/2/1/024	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	33	8	m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	33	10	m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B	38	10	m2		341
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	23	1	No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	8 m2	328	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	30 m2	344	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Toilet 24	No : 002/2/1/025	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	5 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	6 m2		205
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

23

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

8

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

15 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)**

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : First**ROOM** : Living Room 24**No** : 002/2/1/026**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	33	10	m2	341
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B	33	8	m2	273
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B	38	20	m2	683
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	23	1	No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	10 m2	410	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	38 m2	311	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Bedroom 23	No : 002/2/1/027	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	15 m2		512
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	10 m2		341
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No		1,367
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	10 m2	451	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	29 m2	237	

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Toilet 23	No : 002/2/1/028	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	5 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		38	7 m2		239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	2 m2		68
								Year 1 Repair Cost (£)

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	3	m2	82
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	15	m2	123
								Year 1 Repair Cost (£)

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Circulation Area/Stairs	No : 002/3/0/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		25	18 m2		615
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		25	46 m2		1,572
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		25	33 m2		1,127
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		18	1 No		1,025
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

1 hour fire door set

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

18

Quantity

2 No

**Replacement
Cost (£)**

2,734

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**Carpet sheet finish, with colour
contrasted non-slip nosings to
steps .**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

5

Quantity

18 m2

**Replacement
Cost (£)**

850

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

97 m2

**Replacement
Cost (£)**

795

**Year 1
Repair Cost (£)**

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/3/0/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	6 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		18	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet floor finish	Fair	No Action Required	B		3	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	10 m2	82	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/3/0/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	6 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		18	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet floor finish	Fair	No Action Required	B		3	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	10 m2	82	

BUILDING : Block 03 Dalhousie**UPRN** :**FLOOR** : Ground**ROOM** : Circulation Area**No** : 002/3/0/006**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	10 m2	341
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	34 m2	1,162
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		3	10 m2	410
							Year 1 Repair Cost (£)

Element : Decoration**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	56 m2	459
							Year 1 Repair Cost (£)

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Bedroom 12A	No : 002/3/0/007	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	24 m2		820
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		18	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		3	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	48 m2	393	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Toilet 12A	No : 002/3/0/008	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		23	1 m2		82
								Year 1 Repair Cost (£)

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		18	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		3	3	m2	123
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	15	m2	123
								Year 1 Repair Cost (£)

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Bedroom 12	No : 002/3/0/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	24 m2		820
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		18	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		3	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	48 m2	393	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Toilet 12	No : 002/3/0/010	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		18	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		3	3 m2		123
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	14 m2	114	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Bedroom 11	No : 002/3/0/011	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	24 m2		820
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		18	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		3	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	48 m2	393	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Toilet 11	No : 002/3/0/012	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		23	1 m2		82
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		18	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		3	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	13 m2	114	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Bedroom 10	No : 002/3/0/013	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	24 m2		820
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		18	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		3	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	48 m2	393	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Toilet 10	No : 002/3/0/014	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		23	1 m2		82
								Year 1 Repair Cost (£)

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		18	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		3	3	m2	123
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	15	m2	123
								Year 1 Repair Cost (£)

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : HWC Tank room	No : 002/3/0/015	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	10 m2		341
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		18	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted Concrete	Fair	No Action Required	B		33	3 m2		205
								Year 1 Repair Cost (£)

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/3/1/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	20 m2		683
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	66 m2		2,392
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	4 m2		136
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		3	20 m2		820
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	108 m2	885	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Bathroom	No : 002/3/1/002	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	7 m2		239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	10 m2		341
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		23	1 m2		82
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

18

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

7 m2

**Replacement
Cost (£)**

287

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

27 m2

**Replacement
Cost (£)**

221

**Year 1
Repair Cost (£)**

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Bedroom 17	No : 002/3/1/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	24 m2		820
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		18	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		3	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	48 m2	393	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Toilet 17	No : 002/3/1/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		23	1 m2		82
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

18

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

16 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)**

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Bedroom 16	No : 002/3/1/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	24 m2		820
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		18	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

3

12 m2

492

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

2

48 m2

393

**Year 1
Repair Cost (£)**

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Toilet 16	No : 002/3/1/006	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		23	1 m2		82
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

18

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

3 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

16 m2

**Replacement
Cost (£)**

123

**Year 1
Repair Cost (£)**

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Store	No : 002/3/1/007	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	6 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		18	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet floor finish	Fair	No Action Required	B		3	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	10 m2	82	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Store	No : 002/3/1/008	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	6 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		18	1 No		1,367
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet floor finish	Fair	No Action Required	B		3	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	10 m2	82	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Bedroom 15	No : 002/3/1/010	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	24 m2		820
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		18	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

3

12 m2

492

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

2

48 m2

393

**Year 1
Repair Cost (£)**

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Toilet 15	No : 002/3/1/011	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		23	1 m2		82
								Year 1 Repair Cost (£)

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		18	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		3	3 m2	123
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	16 m2	123
							Year 1 Repair Cost (£)

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Bedroom 14	No : 002/3/1/012	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	24 m2		820
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	8 m2		273
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		18	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		3	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	48 m2	393	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Toilet 14	No : 002/3/1/013	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		28	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		28	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		23	1 m2		82
								Year 1 Repair Cost (£)

Element : Doors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		18	1 No	492
							Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		3	3 m2	123
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	16 m2	131
							Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Lounge	No : 002/4/0/002	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		35	29 m2		991
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No action required	B		35	42 m2		1,435
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber panelled top & bottom glazed	Fair	No Action Required	B		10	1 No		656
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet sheet finish	Fair	No Action Required	B		8	29 m2		1,189
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling, decorative paper to walls; gloss to timber finishes	Fair	No Action Required	B		3	77 m2	631	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Male WC	No : 002/4/0/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		35	5	m2	170
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	16	m2	1,312
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		28	4	m2	164
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber sliding door	Fair	No Action Required	B		23	1	m2	341
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Vinyl sheet finish (non-slip)

Fair

No Action Required

B

8

5 m2

205

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Emulsion to ceiling; gloss/varnish
to timber finishes

Fair

No Action Required

B

3

5 m2

41

**Year 1
Repair Cost (£)**

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/4/0/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		35	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		35	31 m2		1,059
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet floor finish	Fair	No Action Required	B		8	13 m2		533
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	44 m2	360	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Bedroom 39	No : 002/4/0/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	46 m2	377	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 39	No : 002/4/0/006	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	6 m2		492
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		38	5 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Fair	No Action Required	B		3	2 m2	16	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Bedroom 38	No : 002/4/0/007	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	46 m2	377
							Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 38	No : 002/4/0/008	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	6 m2		492
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		38	5 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Fair	No Action Required	B		3	2 m2	16	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/4/0/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	32 m2		1,093
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	8 m2		328
								Year 1 Repair Cost (£)
Element : Decoration		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	50 m2		410
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Bedroom 37	No : 002/4/0/010	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	2	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	46 m2	377	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 37	No : 002/4/0/011	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	6 m2		492
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		38	5 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Fair	No Action Required	B	4	3	2 m2	16	
								50

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Bedroom 36	No : 002/4/0/012	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12	m2	410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30	m2	1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1	No	1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	2	12	m2	492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	46 m2	377	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 36	No : 002/4/0/013	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	6 m2		492
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		38	5 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Poor	Redecorate ceiling ,wash down walls	C	4	Replace/In	2 m2	16	50

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Boiler	No : 002/4/0/014	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Fibreboard finish	Fair	No Action Required	B		35	10 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Block pointed finish (unpainted)	Fair	No Action Required	B		35	26 m2		710
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted Concrete	Fair	No Action Required	B		40	10 m2		684
								Year 1 Repair Cost (£)
Element : Decoration		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Gloss/varnish to timber finishes only	Fair	No Action Required	B		3	2 m2		16
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/4/0/015	USE :

Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		25	6 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		10	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet floor finish	Fair	No Action Required	B		4	3 m2		123
								Year 1 Repair Cost (£)
Element : Decoration		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	11 m2		90
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Circulation Area/Stairs	No : 002/4/0/016	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		35	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No action required	B		35	64 m2		2,187
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No		1,367
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Carpet sheet finish, with colour contrasted non-slip nosings to steps .

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

8

Quantity

13 m2

**Replacement
Cost (£)**

700

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

79 m2

**Replacement
Cost (£)**

648

**Year 1
Repair Cost (£)**

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/4/0/017	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	38 m2		1,298
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door sets	Fair	No Action Required	B		23	4 No		5,468
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	13 m2		533
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	73 m2	598
							Year 1 Repair Cost (£)

BUILDING : Block 04 Keays**UPRN** :**FLOOR** : Ground**ROOM** : Toilet**No** : 002/4/0/018**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		35	3 m2	102
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		35	15 m2	512
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No	492
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Vinyl sheet floor finish	Fair	No Action Required	B		4	3 m2	123
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	20 m2	164	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Bedroom 45	No : 002/4/0/019	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12	m2	410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30	m2	1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1	No	1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	8	12	m2	492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	3	46 m2	377	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 45	No : 002/4/0/020	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	6 m2		492
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		38	5 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Fair	No Action Required	B		3	2 m2	16	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Bedroom 44	No : 002/4/0/021	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	8	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	3	46 m2	377	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 44	No : 002/4/0/022	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2	m2	68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	6	m2	492
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		38	5	m2	205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1	No	492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Fair	No Action Required	B		3	2 m2	16	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Bedroom 43	No : 002/4/0/023	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	8	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	46	m2	377
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 43	No : 002/4/0/024	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	6 m2		492
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		38	5 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Poor	Redecorate ceiling ,wash down walls	C	4	Replace/In	2 m2	16	
								50

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/4/0/025	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	32 m2		1,093
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	8 m2		328
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	50 m2		410
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Bedroom 42	No : 002/4/0/026	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	8	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	3	46 m2	377	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 42	No : 002/4/0/027	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	6 m2		492
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		38	5 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Fair	No Action Required	B		3	2 m2	16	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Bedroom 41	No : 002/4/0/028	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12	m2	410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30	m2	1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1	No	1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	8	12	m2	492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	3	46 m2	377	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 41	No : 002/4/0/029	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	6 m2		492
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		38	5 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Fair	No Action Required	B		3	2 m2	16	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Bedroom 40	No : 002/4/0/030	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Poor	Replace	C	4	Replace/In	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	46	m2	377
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 40	No : 002/4/0/031	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	6 m2		492
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		38	5 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Poor	Redecorate	C		Replace/In	2 m2	16	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet	No : 002/4/0/032	USE :

Element : Ceilings		CODE :5															
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)									
Plasterboard ceiling	Fair	No Action Required	B		33	3	m2	102									
								Year 1 Repair Cost (£)									

Element : Walls		CODE :5					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	7 m2	239
							Year 1 Repair Cost (£)

Element : Walls		CODE :5											
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)					
Pre-finished board	Fair	No Action Required	B		38	2	m2	136					
								Year 1 Repair Cost (£)					

Element : Walls							
CODE :5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	1 m2	82
							Year 1 Repair Cost (£)

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	3	m2	123
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	12	m2	98
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Lift Machinery	No : 002/4/0/033	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		35	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	18 m2		615
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted Concrete	Fair	No Action Required	B		40	18 m2		1,230
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	24 m2		196
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays**UPRN** :**FLOOR** : First**ROOM** : Electrical Store**No** : 002/4/1/002**USE** :**Element** : Ceilings**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plasterboard ceiling

Fair

No Action Required

B

33

3

m2

102

**Year 1
Repair Cost (£)****Element** : Walls**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Plaster on hard to walls

Fair, although slight cracking is
evident in areas

Make good plaster finish

B

4

38

15

m2

512

**Year 1
Repair Cost (£)**
100**Element** : Doors**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

1/2 hour fire door set

Fair

No Action Required

B

23

1

No

1,025

**Year 1
Repair Cost (£)****Element** : Floors**CODE** :5**Description****Condition****Action****Cond/Ind****Priority****L'Expec****Quantity****Replacement
Cost (£)**

Vinyl tile floor finish

Fair

No Action Required

B

8

3

m2

123

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration	Poor	Redecorate	C	4	Replace/In	20	m2	164
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 25	No : 002/4/1/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	8	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	46 m2	377	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 25	No : 002/4/1/004	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	6 m2		492
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		38	5 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Fair	No Action Required	B		3	2 m2	16	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bathroom	No : 002/4/1/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	7 m2		239
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber board finish	Fair	No Action Required	B		20	2 m2		82
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	3 m2		246
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

1/2 hour fire door set

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

23

Quantity

1 No

**Replacement
Cost (£)**

1,025

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Vinyl sheet finish (non-slip)

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

8

Quantity

2 m2

**Replacement
Cost (£)**

82

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

3

Quantity

14 m2

**Replacement
Cost (£)**

114

**Year 1
Repair Cost (£)**

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 26	No : 002/4/1/006	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	8	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	3	46 m2	377	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 26	No : 002/4/1/007	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	12 m2		410
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	16 m2	114
							Year 1 Repair Cost (£)

BUILDING : Block 04 Keays**UPRN** :**FLOOR** : First**ROOM** : Bedroom 27**No** : 002/4/1/008**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2	410
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30 m2	1,025
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No	1,025
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	8	12 m2	492
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	3	46 m2	377	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 27	No : 002/4/1/009	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	12 m2		410
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	16 m2	114
							Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/4/1/010	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	32 m2		1,093
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	8 m2		328
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	50 m2		410
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 28	No : 002/4/1/011	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	8	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	3	46 m2	377	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 28	No : 002/4/1/012	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	12 m2		410
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	16 m2	114	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 29	No : 002/4/1/013	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	8	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	3	46 m2	377	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 29	No : 002/4/1/014	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	12 m2		410
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	16 m2	131
							Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 30	No : 002/4/1/015	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B	4	8	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B	4	3	46 m2	377	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 30	No : 002/4/1/016	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	6 m2		492
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre-finished board	Fair	No Action Required	B		38	5 m2		205
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2	82	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Fair	No Action Required	B		3	2 m2	16	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet	No : 002/4/1/017	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		35	3 m2		102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		35	15 m2		512
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet floor finish	Fair	No Action Required	B		4	3 m2		123
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	20 m2	164	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/4/1/018	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	13 m2		444
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	38 m2		1,298
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door sets	Fair	No Action Required	B		23	4 No		5,468
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	13 m2		533
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	73 m2	598	

BUILDING : Block 04 Keays**UPRN** :**FLOOR** : First**ROOM** : Bedroom 31**No** : 002/4/1/020**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2	410
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair, although minor repairs required	Make good plaster finish	B	4	38	30 m2	1,025
							Year 1 Repair Cost (£)
							30

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No	1,025
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Carpet floor finish	Poor	Replace	C	4	Replace/In	12 m2	492
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	46 m2	377	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 31	No : 002/4/1/021	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	12 m2		410
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Poor	No Action Required	C	4	Replace/In	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	16	m2	131
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 32	No : 002/4/1/022	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Poor	Replace	C	4	Replace/In	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	46 m2	377
							Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 32	No : 002/4/1/023	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	12 m2		410
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Poor	Redecorate	C	4	Replace/In	16	m2	131
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/4/1/024	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	32 m2		1,093
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	8 m2		328
								Year 1 Repair Cost (£)
Element : Decoration		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	50 m2		410
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 33	No : 002/4/1/025	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Unpainted Concrete	Fair	No Action Required	B		38	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	46 m2	377	

BUILDING : Block 04 Keays**UPRN** :**FLOOR** : First**ROOM** : Toilet 33**No** : 002/4/1/026**USE** :**Element** : Ceilings**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B	33	2	m2	68
							Year 1 Repair Cost (£)

Element : Walls**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B	38	12	m2	410
							Year 1 Repair Cost (£)

Element : Doors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B	23	1	No	492
							Year 1 Repair Cost (£)

Element : Floors**CODE** :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Vinyl sheet floor finish	Fair	No Action Required	B	2	2	m2	82
							Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	14 m2	114	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 34	No : 002/4/1/027	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	30 m2		1,025
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1/2 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	12 m2		492
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	46 m2	377
							Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 34	No : 002/4/1/028	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	12 m2		410
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	14 m2	114	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 35	No : 002/4/1/029	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	6 m2		205
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	25 m2		854
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
1 hour fire door set	Fair	No Action Required	B		23	1 No		1,025
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	12 m2	492	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	43 m2	352	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 35	No : 002/4/1/030	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		33	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		38	2 m2		68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		33	4 m2		136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		28	4 m2		328
								Year 1 Repair Cost (£)

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		23	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		8	3	m2	82
								Year 1 Repair Cost (£)
Element : Decoration		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		3	12	m2	98
								Year 1 Repair Cost (£)

BUILDING : Block 05 Dining	UPRN :	FLOOR : Dining
ROOM : Dining Room	No : 002/5/0/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		20	56	m2	1,913
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B			63	m2	2,153
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber/glazed	Fair	No Action Required	B		10	2	No	1,312
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		8	56	m2	2,296
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No Action Required	B		4	119 m2	976	

BUILDING : Block 06 Greenhouse	UPRN :	FLOOR : Ground
ROOM : Conservatory 1	No : 002/6/0/001	USE :

Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Block pointed finish (painted)	Fair	No Action Required	B		35	15 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		25	43 m2		1,469
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber panelled top & bottom glazed	Fair	No Action Required	B		15	1 No		656
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber laminate floor	Fair	No Action Required	B		15	50 m2		4,101
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Emulsion to walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	60 m2	492	

BUILDING : Block 06 Greenhouse	UPRN :	FLOOR : Ground
ROOM : Conservatory 2	No : 002/6/0/002	USE :

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Living Room	No : 002/7/0/001	USE :

Element : Ceilings		CODE :5											
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)					
Plasterboard ceiling	Fair	No Action Required	B			23	m2	786					
									Year 1 Repair Cost (£)				

Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Plaster on hard to walls	Fair	No Action Required	B		20	12	m2	341
								Year 1 Repair Cost (£)

Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	14	m2	478
								Year 1 Repair Cost (£)

Element : Doors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1	No	492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	23 m2	943	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	53 m2	434	

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Kitchen	No : 002/7/0/002	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		27	12 m2		984
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	1 m2		34
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Quarry tiled floor	Fair	No Action Required	B		27	9 m2	738	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Fair	No Action Required	B		2	12 m2	98	

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/7/0/003	USE :

Element : Ceilings		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair, although slightly marked in areas	No Action Required	B		32	5	m2	170
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	6	m2	205
								Year 1 Repair Cost (£)
Element : Walls		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	5	m2	170
								Year 1 Repair Cost (£)
Element : Floors		CODE :5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Carpet floor finish	Fair	No Action Required	B		7	5	m2	205
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair, although ceiling marked	Redecorate ceiling	B	4	2	16 m2	131	40

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Bathroom	No : 002/7/0/004	USE :

Element : Ceilings	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	3 m2		102
								Year 1 Repair Cost (£)

Element : Walls	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		27	17 m2		1,394
								Year 1 Repair Cost (£)

Element : Doors	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No		492
								Year 1 Repair Cost (£)

Element : Floors	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Vinyl sheet finish (non-slip)	Fair	No Action Required	B		7	2 m2		82
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Fair	No Action Required	B		2	3 m2	24	

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Bedroom	No : 002/7/0/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	15 m2		512
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	12 m2		410
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		22	1 No		492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Carpet floor finish

Fair

No Action Required

B

7

15 m2

615

**Year 1
Repair Cost (£)**

Element : Decoration

CODE :5

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes

Fair

No Action Required

B

2

47 m2

385

**Year 1
Repair Cost (£)**

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Vestibule	No : 002/8/0/001	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		27	2	m2	68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		27	3	m2	102
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	7	m2	239
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber strip flooring	Fair	No Action Required	B		17	2	m2	205
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration	Fair	No Action Required	B		2	16 m2	131	

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Bedroom 1	No : 002/8/0/002	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		27	14 m2		478
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		27	40 m2		1,367
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		15	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber strip flooring	Fair	No Action Required	B		17	14 m2		1,148
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling, decorative paper to walls; gloss to timber finishes	Fair, although slightly marked in areas	No Action Required	B		2	56 m2	459	

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Bedroom 2	No : 002/8/0/003	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		27	9 m2		307
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		27	32 m2		1,093
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		15	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber strip flooring	Fair	No Action Required	B		17	9 m2		738
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	43 m2	352	

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Living Room	No : 002/8/0/004	USE :

Element : Ceilings		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Lath & plaster ceiling	Fair	No Action Required	B		10	13	m2	711
								Year 1 Repair Cost (£)
Element : Ceilings		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Plasterboard ceiling	Fair	No Action Required	B		27	17	m2	581
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Plaster on hard to walls	Fair	No Action Required	B		20	8	m2	273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Plasterboard walls	Fair	No Action Required	B		27	58	m2	1,982
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber flush

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

22

Quantity

1 No

**Replacement
Cost (£)**

492

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Timber strip flooring

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

17

Quantity

23 m2

**Replacement
Cost (£)**

943

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

96 m2

**Replacement
Cost (£)**

787

**Year 1
Repair Cost (£)**

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Bathroom	No : 002/8/0/005	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Pre finished board	Fair	No Action Required	B		27	1	m2	54
								Year 1 Repair Cost (£)
Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		27	4	m2	136
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		22	10	m2	820
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		15	1	No	492
								Year 1 Repair Cost (£)

Element : Floors

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Quarry tiled floor	Fair	No Action Required	B		22	3 m2	123	

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Fair	No Action Required	B		2	3 m2	24	

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Toilet	No : 002/8/0/006	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		27	2	m2	68
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		22	10	m2	820
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		15	1	No	492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Quarry tiled floor	Fair	No Action Required	B		22	2	m2	164
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling only	Fair	No Action Required	B		2	2 m2	16	

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Kitchen	No : 002/8/0/007	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		27	11 m2		375
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic tiles to walls	Fair	No Action Required	B		22	8 m2		656
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		27	8 m2		273
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	10 m2		341
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber panelled top glazed

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

15

Quantity

1 No

Replacement Cost (£)

656

Year 1 Repair Cost (£)**Element : Floors****CODE :5****Description**

Quarry tiled floor

Condition

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

27

Quantity

9 m2

Replacement Cost (£)

738

Year 1 Repair Cost (£)**Element : Decoration****CODE :5****Description**Re-decoration
Emulsion to ceiling and walls;
gloss/varnish to timber finishes**Condition**

Fair

Action

No Action Required

Cond/Ind

B

Priority**L'Expec**

2

Quantity

35 m2

Replacement Cost (£)

287

Year 1 Repair Cost (£)

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/8/0/008	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		32	9 m2		307
								Year 1 Repair Cost (£)
Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber panel at rooflight	Fair	No Action Required	B		20	1 m2		54
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		32	19 m2		649
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plaster on hard to walls	Fair	No Action Required	B		20	2 m2		68
								Year 1 Repair Cost (£)

Element : Doors**CODE :5****Description**

Softwood timber panelled top glazed

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

15

Quantity

1 No

**Replacement
Cost (£)**

656

**Year 1
Repair Cost (£)****Element : Floors****CODE :5****Description**

Carpet floor finish

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

5

Quantity

10 m2

**Replacement
Cost (£)**

410

**Year 1
Repair Cost (£)****Element : Decoration****CODE :5****Description**

Re-decoration

Condition

Fair

Action

No Action Required

Cond/Ind Priority

B

L'Expec

2

Quantity

51 m2

**Replacement
Cost (£)**

418

**Year 1
Repair Cost (£)**

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Bedroom 3	No : 002/8/0/009	USE :

Element : Ceilings	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		27	12 m2		410
								Year 1 Repair Cost (£)

Element : Walls	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		27	38 m2		1,298
								Year 1 Repair Cost (£)

Element : Doors	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		15	1 No		492
								Year 1 Repair Cost (£)

Element : Floors	CODE : 5							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber strip flooring	Fair	No Action Required	B		17	12 m2		984
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	52 m2	426	

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Bedroom 4	No : 002/8/0/010	USE :

Element : Ceilings		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard ceiling	Fair	No Action Required	B		27	12 m2		410
								Year 1 Repair Cost (£)
Element : Walls		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plasterboard walls	Fair	No Action Required	B		27	38 m2		1,298
								Year 1 Repair Cost (£)
Element : Doors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Softwood timber flush	Fair	No Action Required	B		15	1 No		492
								Year 1 Repair Cost (£)
Element : Floors		CODE : 5						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber strip flooring	Fair	No Action Required	B		17	12 m2		984
								Year 1 Repair Cost (£)

Element : Decoration

CODE :5

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Re-decoration Emulsion to ceiling and walls; gloss/varnish to timber finishes	Fair	No Action Required	B		2	52 m2	426	

FIXTURES & FITTINGS

BUILDING : Block 01 Kyd

UPRN :

FLOOR : Ground

ROOM : Office

No : 002/1/0/003

USE :

Element : Built in cupboards

CODE : 6

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Timber built in cupboards

Fair

No action required

B

15

1

No

820

Year 1
Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/1/0/010	USE :

Element : Worktops		CODE :6						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Laminate / chipboard worktop	Fair	No action required	B		13	5 m2	341	
							Year 1 Repair Cost (£)	

Element : Built in cupboards		CODE : 6						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber base and wall units	Fair	No action required	B		15	6	No	3,600
								Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Laundry	No : 002/1/0/013	USE :

Element : Shelving	CODE :6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber/metal shelving	Fair	No action required	B		10	6 m		328
								Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Kitchen Staff	No : 002/1/0/020	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Kitchen Staff	No : 002/1/0/020	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Kitchen Staff	No : 002/1/0/020	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Kitchen Staff	No : 002/1/0/020	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Kitchen Staff	No : 002/1/0/020	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Kitchen Staff	No : 002/1/0/020	USE :

Element : Built in cupboards	CODE : 6	Replacement
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Element : Built in cupboards	CODE : 6	Replacement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Timber built in cupboards	Fair	No action required	B	15	1	No	820
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Timber built in cupboards	Fair	No action required	B	15	1	No	820
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Timber built in cupboards	Fair	No action required	B	15	1	No	820
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Timber built in cupboards	Fair	No action required	B	15	1	No	820
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Timber built in cupboards	Fair	No action required	B	15	1	No	820
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Timber built in cupboards	Fair	No action required	B	15	1	No	820
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Timber built in cupboards	Fair	No action required	B	15	1	No	820
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Timber built in cupboards	Fair	No action required	B	15	1	No	820
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Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11	Year 12	Year 13	Year 14	Year 15	Year 16	Year 17	Year 18	Year 19	Year 20	Year 21	Year 22	Year 23	Year 24	Year 25	Year 26	Year 27	Year 28	Year 29	Year 30	Year 31	Year 32	Year 33	Year 34	Year 35	Year 36	Year 37	Year 38	Year 39	Year 40	Year 41	Year 42	Year 43	Year 44	Year 45	Year 46	Year 47	Year 48	Year 49	Year 50	Year 51	Year 52	Year 53	Year 54	Year 55	Year 56	Year 57	Year 58	Year 59	Year 60	Year 61	Year 62	Year 63	Year 64	Year 65	Year 66	Year 67	Year 68	Year 69	Year 70	Year 71	Year 72	Year 73	Year 74	Year 75	Year 76	Year 77	Year 78	Year 79	Year 80	Year 81	Year 82	Year 83	Year 84	Year 85	Year 86	Year 87	Year 88	Year 89	Year 90	Year 91	Year 92	Year 93	Year 94	Year 95	Year 96	Year 97	Year 98	Year 99	Year 100
Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11	Year 12	Year 13	Year 14	Year 15	Year 16	Year 17	Year 18	Year 19	Year 20	Year 21	Year 22	Year 23	Year 24	Year 25	Year 26	Year 27	Year 28	Year 29	Year 30	Year 31	Year 32	Year 33	Year 34	Year 35	Year 36	Year 37	Year 38	Year 39	Year 40	Year 41	Year 42	Year 43	Year 44	Year 45	Year 46	Year 47	Year 48	Year 49	Year 50	Year 51	Year 52	Year 53	Year 54	Year 55	Year 56	Year 57	Year 58	Year 59	Year 60	Year 61	Year 62	Year 63	Year 64	Year 65	Year 66	Year 67	Year 68	Year 69	Year 70	Year 71	Year 72	Year 73	Year 74	Year 75	Year 76	Year 77	Year 78	Year 79	Year 80	Year 81	Year 82	Year 83	Year 84	Year 85	Year 86	Year 87	Year 88	Year 89	Year 90	Year 91	Year 92	Year 93	Year 94	Year 95	Year 96	Year 97	Year 98	Year 99	Year 100

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/1/0/023A	USE :

Element : Shelving	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber shelving	Fair	No action required	B		15	3 m		82
								Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/1/0/024	USE :

Element : Shelving	CODE :6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber/metal shelving	Fair	No action required	B		15	12 m		656
								Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/014	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/014	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/014	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/014	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/014	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/014	USE :

Element	CODE	Remplacement
Built in cupboards	6	

Element	CODE	Remplacement
Built in cupboards	6	

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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	Year 1
	Repair Cost (£)
1. Replace front suspension arms	150
2. Replace front suspension springs	200
3. Replace front suspension struts	250
4. Replace front suspension ball joints	100
5. Replace front suspension tie rods	120
6. Replace front suspension control arms	180
7. Replace front suspension shock absorbers	220
8. Replace front suspension coil springs	160
9. Replace front suspension stabilizer bars	140
10. Replace front suspension sway bars	110
11. Replace front suspension lower control arms	130
12. Replace front suspension upper control arms	170
13. Replace front suspension steering knuckles	190
14. Replace front suspension steering rack	210
15. Replace front suspension steering idler arms	100
16. Replace front suspension steering tie rod ends	120
17. Replace front suspension steering ball joints	140
18. Replace front suspension steering control arms	160
19. Replace front suspension steering shock absorbers	180
20. Replace front suspension steering coil springs	200
21. Replace front suspension steering stabilizer bars	220
22. Replace front suspension steering sway bars	240
23. Replace front suspension steering lower control arms	260
24. Replace front suspension steering upper control arms	280
25. Replace front suspension steering steering knuckles	300
26. Replace front suspension steering steering rack	320
27. Replace front suspension steering steering idler arms	340
28. Replace front suspension steering steering tie rod ends	360
29. Replace front suspension steering steering ball joints	380
30. Replace front suspension steering steering control arms	400
31. Replace front suspension steering steering shock absorbers	420
32. Replace front suspension steering steering coil springs	440
33. Replace front suspension steering steering stabilizer bars	460
34. Replace front suspension steering steering sway bars	480
35. Replace front suspension steering steering lower control arms	500
36. Replace front suspension steering steering upper control arms	520
37. Replace front suspension steering steering steering knuckles	540
38. Replace front suspension steering steering steering rack	560
39. Replace front suspension steering steering steering idler arms	580
40. Replace front suspension steering steering steering tie rod ends	600
41. Replace front suspension steering steering steering ball joints	620
42. Replace front suspension steering steering steering control arms	640
43. Replace front suspension steering steering steering shock absorbers	660
44. Replace front suspension steering steering steering coil springs	680
45. Replace front suspension steering steering steering stabilizer bars	700
46. Replace front suspension steering steering steering sway bars	720
47. Replace front suspension steering steering steering lower control arms	740
48. Replace front suspension steering steering steering upper control arms	760
49. Replace front suspension steering steering steering steering knuckles	780
50. Replace front suspension steering steering steering steering rack	800
51. Replace front suspension steering steering steering steering idler arms	820
52. Replace front suspension steering steering steering steering tie rod ends	840
53. Replace front suspension steering steering steering steering ball joints	860
54. Replace front suspension steering steering steering steering control arms	880
55. Replace front suspension steering steering steering steering shock absorbers	900
56. Replace front suspension steering steering steering steering coil springs	920
57. Replace front suspension steering steering steering steering stabilizer bars	940
58. Replace front suspension steering steering steering steering sway bars	960
59. Replace front suspension steering steering steering steering lower control arms	980
60. Replace front suspension steering steering steering steering upper control arms	1000

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/017	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/017	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/017	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/017	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/017	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/017	USE :

Element : Built in cupboards	CODE :6	Replacement
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Element : Built in cupboards	CODE :6	Replacement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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[illegible]

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/020	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/020	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/020	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/020	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/020	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/020	USE :

Element : Built in cupboards	CODE : 6	Replacement
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Element : Built in cupboards	CODE : 6	Replacement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	23	2	No	1,640
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	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11	Year 12	Year 13	Year 14	Year 15	Year 16	Year 17	Year 18	Year 19	Year 20	Year 21	Year 22	Year 23	Year 24	Year 25	Year 26	Year 27	Year 28	Year 29	Year 30	Year 31	Year 32	Year 33	Year 34	Year 35	Year 36	Year 37	Year 38	Year 39	Year 40	Year 41	Year 42	Year 43	Year 44	Year 45	Year 46	Year 47	Year 48	Year 49	Year 50	Year 51	Year 52	Year 53	Year 54	Year 55	Year 56	Year 57	Year 58	Year 59	Year 60	Year 61	Year 62	Year 63	Year 64	Year 65	Year 66	Year 67	Year 68	Year 69	Year 70	Year 71	Year 72	Year 73	Year 74	Year 75	Year 76	Year 77	Year 78	Year 79	Year 80	Year 81	Year 82	Year 83	Year 84	Year 85	Year 86	Year 87	Year 88	Year 89	Year 90	Year 91	Year 92	Year 93	Year 94	Year 95	Year 96	Year 97	Year 98	Year 99	Year 100	Year 101	Year 102	Year 103	Year 104	Year 105	Year 106	Year 107	Year 108	Year 109	Year 110	Year 111	Year 112	Year 113	Year 114	Year 115	Year 116	Year 117	Year 118	Year 119	Year 120	Year 121	Year 122	Year 123	Year 124	Year 125	Year 126	Year 127	Year 128	Year 129	Year 130	Year 131	Year 132	Year 133	Year 134	Year 135	Year 136	Year 137	Year 138	Year 139	Year 140	Year 141	Year 142	Year 143	Year 144	Year 145	Year 146	Year 147	Year 148	Year 149	Year 150	Year 151	Year 152	Year 153	Year 154	Year 155	Year 156	Year 157	Year 158	Year 159	Year 160	Year 161	Year 162	Year 163	Year 164	Year 165	Year 166	Year 167	Year 168	Year 169	Year 170	Year 171	Year 172	Year 173	Year 174	Year 175	Year 176	Year 177	Year 178	Year 179	Year 180	Year 181	Year 182	Year 183	Year 184	Year 185	Year 186	Year 187	Year 188	Year 189	Year 190	Year 191	Year 192	Year 193	Year 194	Year 195	Year 196	Year 197	Year 198	Year 199	Year 200	Year 201	Year 202	Year 203	Year 204	Year 205	Year 206	Year 207	Year 208	Year 209	Year 210	Year 211	Year 212	Year 213	Year 214	Year 215	Year 216	Year 217	Year 218	Year 219	Year 220	Year 221	Year 222	Year 223	Year 224	Year 225	Year 226	Year 227	Year 228	Year 229	Year 230	Year 231	Year 232	Year 233	Year 234	Year 235	Year 236	Year 237	Year 238	Year 239	Year 240	Year 241	Year 242	Year 243	Year 244	Year 245	Year 246	Year 247	Year 248	Year 249	Year 250	Year 251	Year 252	Year 253	Year 254	Year 255	Year 256	Year 257	Year 258	Year 259	Year 260	Year 261	Year 262	Year 263	Year 264	Year 265	Year 266	Year 267	Year 268	Year 269	Year 270	Year 271	Year 272	Year 273	Year 274	Year 275	Year 276	Year 277	Year 278	Year 279	Year 280	Year 281	Year 282	Year 283	Year 284	Year 285	Year 286	Year 287	Year 288	Year 289	Year 290	Year 291	Year 292	Year 293	Year 294	Year 295	Year 296	Year 297	Year 298	Year 299	Year 300	Year 301	Year 302	Year 303	Year 304	Year 305	Year 306	Year 307	Year 308	Year 309	Year 310	Year 311	Year 312	Year 313	Year 314	Year 315	Year 316	Year 317	Year 318	Year 319	Year 320	Year 321	Year 322	Year 323	Year 324	Year 325	Year 326	Year 327	Year 328	Year 329	Year 330	Year 331	Year 332	Year 333	Year 334	Year 335	Year 336	Year 337	Year 338	Year 339	Year 340	Year 341	Year 342	Year 343	Year 344	Year 345	Year 346	Year 347	Year 348	Year 349	Year 350	Year 351	Year 352	Year 353	Year 354	Year 355	Year 356	Year 357	Year 358	Year 359	Year 360	Year 361	Year 362	Year 363	Year 364	Year 365	Year 366	Year 367	Year 368	Year 369	Year 370	Year 371	Year 372	Year 373	Year 374	Year 375	Year 376	Year 377	Year 378	Year 379	Year 380	Year 381	Year 382	Year 383	Year 384	Year 385	Year 386	Year 387	Year 388	Year 389	Year 390	Year 391	Year 392	Year 393	Year 394	Year 395	Year 396	Year 397	Year 398	Year 399	Year 400	Year 401	Year 402	Year 403	Year 404	Year 405	Year 406	Year 407	Year 408	Year 409	Year 410	Year 411	Year 412	Year 413	Year 414	Year 415	Year 416	Year 417	Year 418	Year 419</
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BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/023	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/023	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/023	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/023	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/023	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/023	USE :

Element : Built in cupboards	CODE : 6	Replacement
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Element : Built in cupboards	CODE : 6	Replacement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Condition Priority	Life Expect	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B	23	2 No	1,640

Description	Condition	Action	Condition Priority	Life Expect	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B	23	2 No	1,640

Description	Condition	Action	Condition Priority	Life Expect	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B	23	2 No	1,640

Description	Condition	Action	Condition Priority	Life Expect	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B	23	2 No	1,640

Description	Condition	Action	Condition Priority	Life Expect	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B	23	2 No	1,640

Description	Condition	Action	Condition Priority	Life Expect	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B	23	2 No	1,640

Description	Condition	Action	Condition Priority	Life Expect	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B	23	2 No	1,640

Description	Condition	Action	Condition Priority	Life Expect	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B	23	2 No	1,640

[illegible]

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Grampian Lounge	No : 002/2/0/016	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Grampian Lounge	No : 002/2/0/016	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Grampian Lounge	No : 002/2/0/016	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Grampian Lounge	No : 002/2/0/016	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Grampian Lounge	No : 002/2/0/016	USE :

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Grampian Lounge	No : 002/2/0/016	USE :

Element	CODE	Replacement
Worktops	6	

Element	CODE	Replacement
Worktops	6	

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber bar counter	Fair	No action required	B		13	1 m2	2,000

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber bar counter	Fair	No action required	B		13	1 m2	2,000

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber bar counter	Fair	No action required	B		13	1 m2	2,000

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber bar counter	Fair	No action required	B		13	1 m2	2,000

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber bar counter	Fair	No action required	B		13	1 m2	2,000

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber bar counter	Fair	No action required	B		13	1 m2	2,000

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber bar counter	Fair	No action required	B		13	1 m2	2,000

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber bar counter	Fair	No action required	B		13	1 m2	2,000

Timber bar counter	Fair	No action required	B	13	1	m2	2,000
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Timber bar counter	Fair	No action required	B	13	1	m2	2,000
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Timber bar counter	Fair	No action required	B	13	1	m2	2,000
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Timber bar counter	Fair	No action required	B	13	1	m2	2,000
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Timber bar counter	Fair	No action required	B	13	1	m2	2,000
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Timber bar counter	Fair	No action required	B	13	1	m2	2,000
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Timber bar counter	Fair	No action required	B	13	1	m2	2,000
							Year 1 Repair Cost (£)

Timber bar counter	Fair	No action required	B	13	1	m2	2,000
							Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Store 21	No : 002/2/1/008	USE :

Element : Shelving	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber shelving	Fair	No action required	B		23	1 m		27
								Year 1 Repair Cost (£)

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/3/0/004	USE :

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/3/0/004	USE :

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/3/0/004	USE :

ROOM : Store	No : 002/3/0/004	USE :
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ROOM : Store	No : 002/3/0/004	USE :
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ROOM : Store	No : 002/3/0/004	USE :
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Element	CODE	Replacement
Shelving	6	

Element	CODE	Replacement
Shelving	6	

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Timber shelving	Fair	No action required	B	18	2	m	54
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Timber shelving	Fair	No action required	B	18	2	m	54
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Timber shelving	Fair	No action required	B	18	2	m	54
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Timber shelving	Fair	No action required	B	18	2	m	54
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Timber shelving	Fair	No action required	B	18	2	m	54
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Timber shelving	Fair	No action required	B	18	2	m	54
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Timber shelving	Fair	No action required	B	18	2	m	54
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	Year 1
	Repair Cost (£)
1. Replace front suspension arms	150
2. Replace front suspension springs	200
3. Replace front suspension struts	250
4. Replace front suspension ball joints	100
5. Replace front suspension tie rods	120
6. Replace front suspension control arms	180
7. Replace front suspension stabilizer bars	140
8. Replace front suspension bushings	90
9. Replace front suspension sway bar links	110
10. Replace front suspension lower control arms	160
11. Replace front suspension upper control arms	170
12. Replace front suspension steering knuckles	220
13. Replace front suspension shock absorbers	240
14. Replace front suspension coil springs	260
15. Replace front suspension strut assemblies	280
16. Replace front suspension lower control arm bushings	130
17. Replace front suspension upper control arm bushings	140
18. Replace front suspension steering knuckle bushings	150
19. Replace front suspension shock absorber bushings	160
20. Replace front suspension coil spring bushings	170
21. Replace front suspension strut assembly bushings	180
22. Replace front suspension lower control arm ball joints	190
23. Replace front suspension upper control arm ball joints	200
24. Replace front suspension steering knuckle ball joints	210
25. Replace front suspension shock absorber ball joints	220
26. Replace front suspension coil spring ball joints	230
27. Replace front suspension strut assembly ball joints	240
28. Replace front suspension lower control arm tie rods	250
29. Replace front suspension upper control arm tie rods	260
30. Replace front suspension steering knuckle tie rods	270
31. Replace front suspension shock absorber tie rods	280
32. Replace front suspension coil spring tie rods	290
33. Replace front suspension strut assembly tie rods	300
34. Replace front suspension lower control arm sway bar links	310
35. Replace front suspension upper control arm sway bar links	320
36. Replace front suspension steering knuckle sway bar links	330
37. Replace front suspension shock absorber sway bar links	340
38. Replace front suspension coil spring sway bar links	350
39. Replace front suspension strut assembly sway bar links	360
40. Replace front suspension lower control arm stabilizer bars	370
41. Replace front suspension upper control arm stabilizer bars	380
42. Replace front suspension steering knuckle stabilizer bars	390
43. Replace front suspension shock absorber stabilizer bars	400
44. Replace front suspension coil spring stabilizer bars	410
45. Replace front suspension strut assembly stabilizer bars	420
46. Replace front suspension lower control arm bushings	430
47. Replace front suspension upper control arm bushings	440
48. Replace front suspension steering knuckle bushings	450
49. Replace front suspension shock absorber bushings	460
50. Replace front suspension coil spring bushings	470
51. Replace front suspension strut assembly bushings	480
52. Replace front suspension lower control arm ball joints	490
53. Replace front suspension upper control arm ball joints	500
54. Replace front suspension steering knuckle ball joints	510
55. Replace front suspension shock absorber ball joints	520
56. Replace front suspension coil spring ball joints	530
57. Replace front suspension strut assembly ball joints	540
58. Replace front suspension lower control arm tie rods	550
59. Replace front suspension upper control arm tie rods	560
60. Replace front suspension steering knuckle tie rods	570
61. Replace front suspension shock absorber tie rods	580
62. Replace front suspension coil spring tie rods	590
63. Replace front suspension strut assembly tie rods	600
64. Replace front suspension lower control arm sway bar links	610
65. Replace front suspension upper control arm sway bar links	620
66. Replace front suspension steering knuckle sway bar links	630
67. Replace front suspension shock absorber sway bar links	640
68. Replace front suspension coil spring sway bar links	650
69. Replace front suspension strut assembly sway bar links	660
70. Replace front suspension lower control arm stabilizer bars	670
71. Replace front suspension upper control arm stabilizer bars	680
72. Replace front suspension steering knuckle stabilizer bars	690
73. Replace front suspension shock absorber stabilizer bars	700
74. Replace front suspension coil spring stabilizer bars	710
75. Replace front suspension strut assembly stabilizer bars	720
76. Replace front suspension lower control arm bushings	730
77. Replace front suspension upper control arm bushings	740
78. Replace front suspension steering knuckle bushings	750
79. Replace front suspension shock absorber bushings	760
80. Replace front suspension coil spring bushings	770
81. Replace front suspension strut assembly bushings	780
82. Replace front suspension lower control arm ball joints	790
83. Replace front suspension upper control arm ball joints	800
84. Replace front suspension steering knuckle ball joints	810
85. Replace front suspension shock absorber ball joints	820
86. Replace front suspension coil spring ball joints	830
87. Replace front suspension strut assembly ball joints	840
88. Replace front suspension lower control arm tie rods	850
89. Replace front suspension upper control arm tie rods	860
90. Replace front suspension steering knuckle tie rods	870
91. Replace front suspension shock absorber tie rods	880
92. Replace front suspension coil spring tie rods	890
93. Replace front suspension strut assembly tie rods	900
94. Replace front suspension lower control arm sway bar links	910
95. Replace front suspension upper control arm sway bar links	920
96. Replace front suspension steering knuckle sway bar links	930
97. Replace front suspension shock absorber sway bar links	940
98. Replace front suspension coil spring sway bar links	950
99. Replace front suspension strut assembly sway bar links	960
100. Replace front suspension lower control arm stabilizer bars	970
101. Replace front suspension upper control arm stabilizer bars	980
102. Replace front suspension steering knuckle stabilizer bars	990
103. Replace front suspension shock absorber stabilizer bars	1000
104. Replace front suspension coil spring stabilizer bars	1010
105. Replace front suspension strut assembly stabilizer bars	1020
106. Replace front suspension lower control arm bushings	1030
107. Replace front suspension upper control arm bushings	1040
108. Replace front suspension steering knuckle bushings	1050
109. Replace front suspension shock absorber bushings	1060
110. Replace front suspension coil spring bushings	1070
111. Replace front suspension strut assembly bushings	1080
112. Replace front suspension lower control arm ball joints	1090
113. Replace front suspension upper control arm ball joints	1100
114. Replace front suspension steering knuckle ball joints	1110
115. Replace front suspension shock absorber ball joints	1120
116. Replace front suspension coil spring ball joints	1130
117. Replace front suspension strut assembly ball joints	1140
118. Replace front suspension lower control arm tie rods	1150
119. Replace front suspension upper control arm tie rods	1160
120. Replace front suspension steering knuckle tie rods	1170
121. Replace front suspension shock absorber tie rods	1180
122. Replace front suspension coil spring tie rods	1190
123. Replace front suspension strut assembly tie rods	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/3/0/005	USE :

Element : Shelving		CODE :6						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Timber shelving	Fair	No action required	B		18	1	m	54
								Year 1
								Repair Cost (£)

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Store	No : 002/3/1/007	USE :

Element : Shelving	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber shelving	Fair	No action required	B		18	2 m		54
								Year 1 Repair Cost (£)

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Store	No : 002/3/1/008	USE :

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Store	No : 002/3/1/008	USE :

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Store	No : 002/3/1/008	USE :

ROOM : Store	No : 002/3/1/008	USE :
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ROOM : Store	No : 002/3/1/008	USE :
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ROOM : Store	No : 002/3/1/008	USE :
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Element	CODE	Replacement
Shelving	6	

Element	CODE	Replacement
Shelving	6	

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Timber shelving	Fair	No action required	B	18	1	m	54
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Timber shelving	Fair	No action required	B	18	1	m	54
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Timber shelving	Fair	No action required	B	18	1	m	54
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Timber shelving	Fair	No action required	B	18	1	m	54
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Timber shelving	Fair	No action required	B	18	1	m	54
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Timber shelving	Fair	No action required	B	18	1	m	54
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Timber shelving	Fair	No action required	B	18	1	m	54
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	Year 1
	Repair Cost (£)
1. Replace front suspension	1,200
2. Replace rear suspension	1,500
3. Replace front brakes	800
4. Replace rear brakes	700
5. Replace front wheel bearings	600
6. Replace rear wheel bearings	500
7. Replace front struts	900
8. Replace rear struts	800
9. Replace front shock absorbers	700
10. Replace rear shock absorbers	600
11. Replace front tie rods	400
12. Replace rear tie rods	300
13. Replace front control arms	500
14. Replace rear control arms	400
15. Replace front sway bars	300
16. Replace rear sway bars	200
17. Replace front lower ball joints	400
18. Replace rear lower ball joints	300
19. Replace front upper ball joints	300
20. Replace rear upper ball joints	200
21. Replace front steering knuckles	500
22. Replace rear steering knuckles	400
23. Replace front steering rack	600
24. Replace rear steering rack	500
25. Replace front steering idler arms	300
26. Replace rear steering idler arms	200
27. Replace front steering tie rod ends	400
28. Replace rear steering tie rod ends	300
29. Replace front steering knuckle boots	200
30. Replace rear steering knuckle boots	100
31. Replace front steering knuckle bushings	100
32. Replace rear steering knuckle bushings	100
33. Replace front steering knuckle ball joints	200
34. Replace rear steering knuckle ball joints	100
35. Replace front steering knuckle tie rod ends	100
36. Replace rear steering knuckle tie rod ends	100
37. Replace front steering knuckle idler arms	100
38. Replace rear steering knuckle idler arms	100
39. Replace front steering knuckle sway bars	100
40. Replace rear steering knuckle sway bars	100
41. Replace front steering knuckle control arms	100
42. Replace rear steering knuckle control arms	100
43. Replace front steering knuckle struts	100
44. Replace rear steering knuckle struts	100
45. Replace front steering knuckle shock absorbers	100
46. Replace rear steering knuckle shock absorbers	100
47. Replace front steering knuckle tie rods	100
48. Replace rear steering knuckle tie rods	100
49. Replace front steering knuckle control arm bushings	100
50. Replace rear steering knuckle control arm bushings	100
51. Replace front steering knuckle idler arm bushings	100
52. Replace rear steering knuckle idler arm bushings	100
53. Replace front steering knuckle sway bar bushings	100
54. Replace rear steering knuckle sway bar bushings	100
55. Replace front steering knuckle control arm ball joints	100
56. Replace rear steering knuckle control arm ball joints	100
57. Replace front steering knuckle idler arm ball joints	100
58. Replace rear steering knuckle idler arm ball joints	100
59. Replace front steering knuckle sway bar ball joints	100
60. Replace rear steering knuckle sway bar ball joints	100
61. Replace front steering knuckle control arm tie rod ends	100
62. Replace rear steering knuckle control arm tie rod ends	100
63. Replace front steering knuckle idler arm tie rod ends	100
64. Replace rear steering knuckle idler arm tie rod ends	100
65. Replace front steering knuckle sway bar tie rod ends	100
66. Replace rear steering knuckle sway bar tie rod ends	100
67. Replace front steering knuckle control arm shock absorbers	100
68. Replace rear steering knuckle control arm shock absorbers	100
69. Replace front steering knuckle idler arm shock absorbers	100
70. Replace rear steering knuckle idler arm shock absorbers	100
71. Replace front steering knuckle sway bar shock absorbers	100
72. Replace rear steering knuckle sway bar shock absorbers	100
73. Replace front steering knuckle control arm tie rod ends	100
74. Replace rear steering knuckle control arm tie rod ends	100
75. Replace front steering knuckle idler arm tie rod ends	100
76. Replace rear steering knuckle idler arm tie rod ends	100
77. Replace front steering knuckle sway bar tie rod ends	100
78. Replace rear steering knuckle sway bar tie rod ends	100
79. Replace front steering knuckle control arm shock absorbers	100
80. Replace rear steering knuckle control arm shock absorbers	100
81. Replace front steering knuckle idler arm shock absorbers	100
82. Replace rear steering knuckle idler arm shock absorbers	100
83. Replace front steering knuckle sway bar shock absorbers	100
84. Replace rear steering knuckle sway bar shock absorbers	100
85. Replace front steering knuckle control arm tie rod ends	100
86. Replace rear steering knuckle control arm tie rod ends	100
87. Replace front steering knuckle idler arm tie rod ends	100
88. Replace rear steering knuckle idler arm tie rod ends	100
89. Replace front steering knuckle sway bar tie rod ends	100
90. Replace rear steering knuckle sway bar tie rod ends	100
91. Replace front steering knuckle control arm shock absorbers	100
92. Replace rear steering knuckle control arm shock absorbers	100
93. Replace front steering knuckle idler arm shock absorbers	100
94. Replace rear steering knuckle idler arm shock absorbers	100
95. Replace front steering knuckle sway bar shock absorbers	100
96. Replace rear steering knuckle sway bar shock absorbers	100
97. Replace front steering knuckle control arm tie rod ends	100
98. Replace rear steering knuckle control arm tie rod ends	100
99. Replace front steering knuckle idler arm tie rod ends	100
100. Replace rear steering knuckle idler arm tie rod ends	100
101. Replace front steering knuckle sway bar tie rod ends	100
102. Replace rear steering knuckle sway bar tie rod ends	100
103. Replace front steering knuckle control arm shock absorbers	100
104. Replace rear steering knuckle control arm shock absorbers	100
105. Replace front steering knuckle idler arm shock absorbers	100
106. Replace rear steering knuckle idler arm shock absorbers	100
107. Replace front steering knuckle sway bar shock absorbers	100
108. Replace rear steering knuckle sway bar shock absorbers	100
109. Replace front steering knuckle control arm tie rod ends	100
110. Replace rear steering knuckle control arm tie rod ends	100
111. Replace front steering knuckle idler arm tie rod ends	100
112. Replace rear steering knuckle idler arm tie rod ends	100
113. Replace front steering knuckle sway bar tie rod ends	100
114. Replace rear steering knuckle sway bar tie rod ends	100
115. Replace front steering knuckle control arm shock absorbers	100
116. Replace rear steering knuckle control arm shock absorbers	100
117. Replace front steering knuckle idler arm shock absorbers	100
118. Replace rear steering knuckle idler arm shock absorbers	100
119. Replace front steering knuckle sway bar shock absorbers	100
120. Replace rear steering knuckle sway bar shock absorbers	100
121. Replace front steering knuckle control arm tie rod ends	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/4/0/004	USE :

Element : Shelving	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber shelving	Fair	No action required	B		23	30 m		820
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet	No : 002/4/0/018	USE :

Element : Shelving	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber shelving	Fair	No action required	B		23	9 m		246
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Electrical Store	No : 002/4/1/002	USE :

Element : Shelving	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber shelving	Fair	No action required	B		23	7 m		191
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 26	No : 002/4/1/006	USE :

Element : Built in cupboards	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber buit in cupboards	Fair	No action required	B		5	2	No	1,640
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 26	No : 002/4/1/007	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 26	No : 002/4/1/007	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 26	No : 002/4/1/007	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 26	No : 002/4/1/007	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 26	No : 002/4/1/007	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 26	No : 002/4/1/007	USE :

Element : Built in cupboards	CODE : 6	Replacement
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Element : Built in cupboards	CODE : 6	Replacement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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	Year 1
	Repair Cost (£)
1. Replace front suspension	1,200
2. Replace rear suspension	1,500
3. Replace front brakes	800
4. Replace rear brakes	700
5. Replace front wheel alignment	150
6. Replace rear wheel alignment	150
7. Replace front shock absorbers	900
8. Replace rear shock absorbers	1,100
9. Replace front steering rack	1,300
10. Replace rear steering rack	1,400
11. Replace front suspension arms	600
12. Replace rear suspension arms	700
13. Replace front suspension springs	500
14. Replace rear suspension springs	600
15. Replace front suspension bushings	400
16. Replace rear suspension bushings	500
17. Replace front suspension ball joints	300
18. Replace rear suspension ball joints	400
19. Replace front suspension tie rods	200
20. Replace rear suspension tie rods	300
21. Replace front suspension struts	1,000
22. Replace rear suspension struts	1,200
23. Replace front suspension control arms	800
24. Replace rear suspension control arms	900
25. Replace front suspension stabilizer bars	700
26. Replace rear suspension stabilizer bars	800
27. Replace front suspension sway bars	600
28. Replace rear suspension sway bars	700
29. Replace front suspension lower control arms	500
30. Replace rear suspension lower control arms	600
31. Replace front suspension upper control arms	400
32. Replace rear suspension upper control arms	500
33. Replace front suspension steering knuckles	300
34. Replace rear suspension steering knuckles	400
35. Replace front suspension steering knuckle boots	200
36. Replace rear suspension steering knuckle boots	300
37. Replace front suspension steering knuckle bushings	100
38. Replace rear suspension steering knuckle bushings	200
39. Replace front suspension steering knuckle ball joints	100
40. Replace rear suspension steering knuckle ball joints	200
41. Replace front suspension steering knuckle tie rods	100
42. Replace rear suspension steering knuckle tie rods	200
43. Replace front suspension steering knuckle struts	100
44. Replace rear suspension steering knuckle struts	200
45. Replace front suspension steering knuckle control arms	100
46. Replace rear suspension steering knuckle control arms	200
47. Replace front suspension steering knuckle stabilizer bars	100
48. Replace rear suspension steering knuckle stabilizer bars	200
49. Replace front suspension steering knuckle sway bars	100
50. Replace rear suspension steering knuckle sway bars	200
51. Replace front suspension steering knuckle lower control arms	100
52. Replace rear suspension steering knuckle lower control arms	200
53. Replace front suspension steering knuckle upper control arms	100
54. Replace rear suspension steering knuckle upper control arms	200
55. Replace front suspension steering knuckle steering knuckles	100
56. Replace rear suspension steering knuckle steering knuckles	200
57. Replace front suspension steering knuckle steering knuckle boots	100
58. Replace rear suspension steering knuckle steering knuckle boots	200
59. Replace front suspension steering knuckle steering knuckle bushings	100
60. Replace rear suspension steering knuckle steering knuckle bushings	200
61. Replace front suspension steering knuckle steering knuckle ball joints	100
62. Replace rear suspension steering knuckle steering knuckle ball joints	200
63. Replace front suspension steering knuckle steering knuckle tie rods	100
64. Replace rear suspension steering knuckle steering knuckle tie rods	200
65. Replace front suspension steering knuckle steering knuckle struts	100
66. Replace rear suspension steering knuckle steering knuckle struts	200
67. Replace front suspension steering knuckle steering knuckle control arms	100
68. Replace rear suspension steering knuckle steering knuckle control arms	200
69. Replace front suspension steering knuckle steering knuckle stabilizer bars	100
70. Replace rear suspension steering knuckle steering knuckle stabilizer bars	200
71. Replace front suspension steering knuckle steering knuckle sway bars	100
72. Replace rear suspension steering knuckle steering knuckle sway bars	200
73. Replace front suspension steering knuckle steering knuckle lower control arms	100
74. Replace rear suspension steering knuckle steering knuckle lower control arms	200
75. Replace front suspension steering knuckle steering knuckle upper control arms	100
76. Replace rear suspension steering knuckle steering knuckle upper control arms	200
77. Replace front suspension steering knuckle steering knuckle steering knuckles	100
78. Replace rear suspension steering knuckle steering knuckle steering knuckles	200
79. Replace front suspension steering knuckle steering knuckle steering knuckle boots	100
80. Replace rear suspension steering knuckle steering knuckle steering knuckle boots	200
81. Replace front suspension steering knuckle steering knuckle steering knuckle bushings	100
82. Replace rear suspension steering knuckle steering knuckle steering knuckle bushings	200
83. Replace front suspension steering knuckle steering knuckle steering knuckle ball joints	100
84. Replace rear suspension steering knuckle steering knuckle steering knuckle ball joints	200
85. Replace front suspension steering knuckle steering knuckle steering knuckle tie rods	100
86. Replace rear suspension steering knuckle steering knuckle steering knuckle tie rods	200
87. Replace front suspension steering knuckle steering knuckle steering knuckle struts	100
88. Replace rear suspension steering knuckle steering knuckle steering knuckle struts	200
89. Replace front suspension steering knuckle steering knuckle steering knuckle control arms	100
90. Replace rear suspension steering knuckle steering knuckle steering knuckle control arms	200
91. Replace front suspension steering knuckle steering knuckle steering knuckle stabilizer bars	100
92. Replace rear suspension steering knuckle steering knuckle steering knuckle stabilizer bars	200
93. Replace front suspension steering knuckle steering knuckle steering knuckle sway bars	100
94. Replace rear suspension steering knuckle steering knuckle steering knuckle sway bars	200
95. Replace front suspension steering knuckle steering knuckle steering knuckle lower control arms	100
96. Replace rear suspension steering knuckle steering knuckle steering knuckle lower control arms	200
97. Replace front suspension steering knuckle steering knuckle steering knuckle upper control arms	100
98. Replace rear suspension steering knuckle steering knuckle steering knuckle upper control arms	200
99. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckles	100
100. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckles	200
101. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle boots	100
102. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle boots	200
103. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle bushings	100
104. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle bushings	200
105. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle ball joints	100
106. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle ball joints	200
107. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle tie rods	100
108. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle tie rods	200
109. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle struts	100
110. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle struts	200
111. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle control arms	100
112. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle control arms	200
113. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle stabilizer bars	100
114. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle stabilizer bars	200
115. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 27	No : 002/4/1/008	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 27	No : 002/4/1/008	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 27	No : 002/4/1/008	USE :

ROOM : Bedroom 27	No : 002/4/1/008	USE :
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ROOM : Bedroom 27	No : 002/4/1/008	USE :
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ROOM : Bedroom 27	No : 002/4/1/008	USE :
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Element : Built in cupboards	CODE : 6	Remplacement
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Element : Built in cupboards	CODE : 6	Remplacement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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	Year 1
	Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 27	No : 002/4/1/009	USE :

Element : Built in cupboards	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber base units	Fair	No action required	B		5	1	No	820
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 28	No : 002/4/1/011	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 28	No : 002/4/1/011	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 28	No : 002/4/1/011	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 28	No : 002/4/1/011	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 28	No : 002/4/1/011	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 28	No : 002/4/1/011	USE :

Element : Built in cupboards	CODE : 6	Replacement
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Element : Built in cupboards	CODE : 6	Replacement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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	Year 1
	Repair Cost (£)
1. Replace front suspension	1,200
2. Replace rear suspension	1,500
3. Replace front brakes	800
4. Replace rear brakes	700
5. Replace front wheel hub	600
6. Replace rear wheel hub	500
7. Replace front shock absorber	400
8. Replace rear shock absorber	300
9. Replace front steering knuckle	200
10. Replace rear steering knuckle	100
11. Replace front lower control arm	100
12. Replace rear lower control arm	100
13. Replace front upper control arm	100
14. Replace rear upper control arm	100
15. Replace front tie rod end	100
16. Replace rear tie rod end	100
17. Replace front strut	100
18. Replace rear strut	100
19. Replace front coil spring	100
20. Replace rear coil spring	100
21. Replace front stabilizer bar	100
22. Replace rear stabilizer bar	100
23. Replace front sway bar	100
24. Replace rear sway bar	100
25. Replace front lower ball joint	100
26. Replace rear lower ball joint	100
27. Replace front upper ball joint	100
28. Replace rear upper ball joint	100
29. Replace front lower control arm bush	100
30. Replace rear lower control arm bush	100
31. Replace front upper control arm bush	100
32. Replace rear upper control arm bush	100
33. Replace front tie rod end bush	100
34. Replace rear tie rod end bush	100
35. Replace front strut bush	100
36. Replace rear strut bush	100
37. Replace front coil spring bush	100
38. Replace rear coil spring bush	100
39. Replace front stabilizer bar bush	100
40. Replace rear stabilizer bar bush	100
41. Replace front sway bar bush	100
42. Replace rear sway bar bush	100
43. Replace front lower ball joint bush	100
44. Replace rear lower ball joint bush	100
45. Replace front upper ball joint bush	100
46. Replace rear upper ball joint bush	100
47. Replace front lower control arm bush	100
48. Replace rear lower control arm bush	100
49. Replace front upper control arm bush	100
50. Replace rear upper control arm bush	100
51. Replace front tie rod end bush	100
52. Replace rear tie rod end bush	100
53. Replace front strut bush	100
54. Replace rear strut bush	100
55. Replace front coil spring bush	100
56. Replace rear coil spring bush	100
57. Replace front stabilizer bar bush	100
58. Replace rear stabilizer bar bush	100
59. Replace front sway bar bush	100
60. Replace rear sway bar bush	100
61. Replace front lower ball joint bush	100
62. Replace rear lower ball joint bush	100
63. Replace front upper ball joint bush	100
64. Replace rear upper ball joint bush	100
65. Replace front lower control arm bush	100
66. Replace rear lower control arm bush	100
67. Replace front upper control arm bush	100
68. Replace rear upper control arm bush	100
69. Replace front tie rod end bush	100
70. Replace rear tie rod end bush	100
71. Replace front strut bush	100
72. Replace rear strut bush	100
73. Replace front coil spring bush	100
74. Replace rear coil spring bush	100
75. Replace front stabilizer bar bush	100
76. Replace rear stabilizer bar bush	100
77. Replace front sway bar bush	100
78. Replace rear sway bar bush	100
79. Replace front lower ball joint bush	100
80. Replace rear lower ball joint bush	100
81. Replace front upper ball joint bush	100
82. Replace rear upper ball joint bush	100
83. Replace front lower control arm bush	100
84. Replace rear lower control arm bush	100
85. Replace front upper control arm bush	100
86. Replace rear upper control arm bush	100
87. Replace front tie rod end bush	100
88. Replace rear tie rod end bush	100
89. Replace front strut bush	100
90. Replace rear strut bush	100
91. Replace front coil spring bush	100
92. Replace rear coil spring bush	100
93. Replace front stabilizer bar bush	100
94. Replace rear stabilizer bar bush	100
95. Replace front sway bar bush	100
96. Replace rear sway bar bush	100
97. Replace front lower ball joint bush	100
98. Replace rear lower ball joint bush	100
99. Replace front upper ball joint bush	100
100. Replace rear upper ball joint bush	100

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 28	No : 002/4/1/012	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 28	No : 002/4/1/012	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 28	No : 002/4/1/012	USE :

ROOM : Toilet 28	No : 002/4/1/012	USE :
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ROOM : Toilet 28	No : 002/4/1/012	USE :
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ROOM : Toilet 28	No : 002/4/1/012	USE :
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Element : Built in cupboards	CODE : 6	Replacement
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Element : Built in cupboards	CODE : 6	Replacement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 29	No : 002/4/1/013	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 29	No : 002/4/1/013	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 29	No : 002/4/1/013	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 29	No : 002/4/1/013	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 29	No : 002/4/1/013	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 29	No : 002/4/1/013	USE :

Element : Built in cupboards	CODE : 6	Replacement
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Element : Built in cupboards	CODE : 6	Replacement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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	Year 1
	Repair Cost (£)
1. Replace front suspension	1,200
2. Replace rear suspension	1,500
3. Replace front brake pads and discs	800
4. Replace rear brake pads and discs	700
5. Replace front shock absorbers	900
6. Replace rear shock absorbers	1,100
7. Replace front struts	1,300
8. Replace rear struts	1,400
9. Replace front wheel bearings	600
10. Replace rear wheel bearings	750
11. Replace front tie rods	500
12. Replace rear tie rods	650
13. Replace front lower control arms	400
14. Replace rear lower control arms	550
15. Replace front upper control arms	350
16. Replace rear upper control arms	450
17. Replace front sway bar	300
18. Replace rear sway bar	400
19. Replace front stabilizer link	250
20. Replace rear stabilizer link	350
21. Replace front strut assembly	1,000
22. Replace rear strut assembly	1,200
23. Replace front brake master cylinder	700
24. Replace rear brake master cylinder	800
25. Replace front brake booster	600
26. Replace rear brake booster	700
27. Replace front brake lines	500
28. Replace rear brake lines	600
29. Replace front brake calipers	400
30. Replace rear brake calipers	500
31. Replace front brake pads	300
32. Replace rear brake pads	400
33. Replace front brake discs	250
34. Replace rear brake discs	350
35. Replace front brake master cylinder	200
36. Replace rear brake master cylinder	300
37. Replace front brake booster	150
38. Replace rear brake booster	250
39. Replace front brake lines	100
40. Replace rear brake lines	200
41. Replace front brake calipers	150
42. Replace rear brake calipers	250
43. Replace front brake pads	100
44. Replace rear brake pads	200
45. Replace front brake discs	150
46. Replace rear brake discs	250
47. Replace front brake master cylinder	100
48. Replace rear brake master cylinder	200
49. Replace front brake booster	100
50. Replace rear brake booster	200
51. Replace front brake lines	100
52. Replace rear brake lines	200
53. Replace front brake calipers	100
54. Replace rear brake calipers	200
55. Replace front brake pads	100
56. Replace rear brake pads	200
57. Replace front brake discs	100
58. Replace rear brake discs	200
59. Replace front brake master cylinder	100
60. Replace rear brake master cylinder	200
61. Replace front brake booster	100
62. Replace rear brake booster	200
63. Replace front brake lines	100
64. Replace rear brake lines	200
65. Replace front brake calipers	100
66. Replace rear brake calipers	200
67. Replace front brake pads	100
68. Replace rear brake pads	200
69. Replace front brake discs	100
70. Replace rear brake discs	200
71. Replace front brake master cylinder	100
72. Replace rear brake master cylinder	200
73. Replace front brake booster	100
74. Replace rear brake booster	200
75. Replace front brake lines	100
76. Replace rear brake lines	200
77. Replace front brake calipers	100
78. Replace rear brake calipers	200
79. Replace front brake pads	100
80. Replace rear brake pads	200
81. Replace front brake discs	100
82. Replace rear brake discs	200
83. Replace front brake master cylinder	100
84. Replace rear brake master cylinder	200
85. Replace front brake booster	100
86. Replace rear brake booster	200
87. Replace front brake lines	100
88. Replace rear brake lines	200
89. Replace front brake calipers	100
90. Replace rear brake calipers	200
91. Replace front brake pads	100
92. Replace rear brake pads	200
93. Replace front brake discs	100
94. Replace rear brake discs	200
95. Replace front brake master cylinder	100
96. Replace rear brake master cylinder	200
97. Replace front brake booster	100
98. Replace rear brake booster	200
99. Replace front brake lines	100
100. Replace rear brake lines	200
101. Replace front brake calipers	100
102. Replace rear brake calipers	200
103. Replace front brake pads	100
104. Replace rear brake pads	200
105. Replace front brake discs	100
106. Replace rear brake discs	200
107. Replace front brake master cylinder	100
108. Replace rear brake master cylinder	200
109. Replace front brake booster	100
110. Replace rear brake booster	200
111. Replace front brake lines	100
112. Replace rear brake lines	200
113. Replace front brake calipers	100
114. Replace rear brake calipers	200
115. Replace front brake pads	100
116. Replace rear brake pads	200
117. Replace front brake discs	100
118. Replace rear brake discs	200
119. Replace front brake master cylinder	100
120. Replace rear brake master cylinder	200
121. Replace front brake booster	100
122. Replace rear brake booster	200
123. Replace front brake lines	100
124. Replace rear brake lines	200
125. Replace front brake calipers	100
126. Replace rear brake calipers	200
127. Replace front brake pads	100
128. Replace rear brake pads	200
129. Replace front brake discs	100
130. Replace rear brake discs	200
131. Replace front brake master cylinder	100
132. Replace rear brake master cylinder	200
133. Replace front brake booster	100
134. Replace rear brake booster	200
135. Replace front brake lines	100
136. Replace rear brake lines	200

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 29	No : 002/4/1/014	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 29	No : 002/4/1/014	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 29	No : 002/4/1/014	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 29	No : 002/4/1/014	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 29	No : 002/4/1/014	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 29	No : 002/4/1/014	USE :

Element : Built in cupboards	CODE : 6	Replacement
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Element : Built in cupboards	CODE : 6	Replacement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber base units	Fair	No action required	B		5	1 No	820

Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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Timber base units	Fair	No action required	B	5	1	No	820
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	Year 1
	Repair Cost (£)
1. Replace front suspension arms	150
2. Replace front suspension springs	200
3. Replace front suspension struts	250
4. Replace front suspension ball joints	100
5. Replace front suspension tie rods	120
6. Replace front suspension control arms	180
7. Replace front suspension shock absorbers	220
8. Replace front suspension coil springs	160
9. Replace front suspension stabilizer bars	140
10. Replace front suspension sway bars	110
11. Replace front suspension lower control arms	130
12. Replace front suspension upper control arms	170
13. Replace front suspension steering knuckles	190
14. Replace front suspension steering rack	210
15. Replace front suspension steering idler arms	100
16. Replace front suspension steering tie rod ends	120
17. Replace front suspension steering ball joints	140
18. Replace front suspension steering control arms	160
19. Replace front suspension steering shock absorbers	180
20. Replace front suspension steering coil springs	200
21. Replace front suspension steering stabilizer bars	220
22. Replace front suspension steering sway bars	240
23. Replace front suspension steering lower control arms	260
24. Replace front suspension steering upper control arms	280
25. Replace front suspension steering steering knuckles	300
26. Replace front suspension steering steering rack	320
27. Replace front suspension steering steering idler arms	340
28. Replace front suspension steering steering tie rod ends	360
29. Replace front suspension steering steering ball joints	380
30. Replace front suspension steering steering control arms	400
31. Replace front suspension steering steering shock absorbers	420
32. Replace front suspension steering steering coil springs	440
33. Replace front suspension steering steering stabilizer bars	460
34. Replace front suspension steering steering sway bars	480
35. Replace front suspension steering steering lower control arms	500
36. Replace front suspension steering steering upper control arms	520
37. Replace front suspension steering steering steering knuckles	540
38. Replace front suspension steering steering steering rack	560
39. Replace front suspension steering steering steering idler arms	580
40. Replace front suspension steering steering steering tie rod ends	600
41. Replace front suspension steering steering steering ball joints	620
42. Replace front suspension steering steering steering control arms	640
43. Replace front suspension steering steering steering shock absorbers	660
44. Replace front suspension steering steering steering coil springs	680
45. Replace front suspension steering steering steering stabilizer bars	700
46. Replace front suspension steering steering steering sway bars	720
47. Replace front suspension steering steering steering lower control arms	740
48. Replace front suspension steering steering steering upper control arms	760
49. Replace front suspension steering steering steering steering knuckles	780
50. Replace front suspension steering steering steering steering rack	800
51. Replace front suspension steering steering steering steering idler arms	820
52. Replace front suspension steering steering steering steering tie rod ends	840
53. Replace front suspension steering steering steering steering ball joints	860
54. Replace front suspension steering steering steering steering control arms	880
55. Replace front suspension steering steering steering steering shock absorbers	900
56. Replace front suspension steering steering steering steering coil springs	920
57. Replace front suspension steering steering steering steering stabilizer bars	940
58. Replace front suspension steering steering steering steering sway bars	960
59. Replace front suspension steering steering steering steering lower control arms	980
60. Replace front suspension steering steering steering steering upper control arms	1000

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet	No : 002/4/1/017	USE :

Element : Shelving	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber shelving	Fair	No action required	B		23	9 m		246
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 31	No : 002/4/1/020	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 31	No : 002/4/1/020	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 31	No : 002/4/1/020	USE :

ROOM : Bedroom 31	No : 002/4/1/020	USE :
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ROOM : Bedroom 31	No : 002/4/1/020	USE :
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ROOM : Bedroom 31	No : 002/4/1/020	USE :
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Element : Built in cupboards	CODE : 6	Remplacement
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Element : Built in cupboards	CODE : 6	Remplacement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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	Year 1
	Repair Cost (£)
1. Replace front suspension	1,200
2. Replace rear suspension	1,500
3. Replace front brakes	800
4. Replace rear brakes	700
5. Replace front wheel alignment	150
6. Replace rear wheel alignment	150
7. Replace front shock absorbers	900
8. Replace rear shock absorbers	1,100
9. Replace front steering rack	1,300
10. Replace rear steering rack	1,400
11. Replace front suspension arms	600
12. Replace rear suspension arms	700
13. Replace front suspension springs	500
14. Replace rear suspension springs	600
15. Replace front suspension bushings	400
16. Replace rear suspension bushings	500
17. Replace front suspension ball joints	300
18. Replace rear suspension ball joints	400
19. Replace front suspension tie rods	200
20. Replace rear suspension tie rods	300
21. Replace front suspension struts	1,000
22. Replace rear suspension struts	1,200
23. Replace front suspension control arms	800
24. Replace rear suspension control arms	900
25. Replace front suspension stabilizer bars	700
26. Replace rear suspension stabilizer bars	800
27. Replace front suspension sway bars	600
28. Replace rear suspension sway bars	700
29. Replace front suspension lower control arms	500
30. Replace rear suspension lower control arms	600
31. Replace front suspension upper control arms	400
32. Replace rear suspension upper control arms	500
33. Replace front suspension steering knuckles	300
34. Replace rear suspension steering knuckles	400
35. Replace front suspension steering knuckle boots	200
36. Replace rear suspension steering knuckle boots	300
37. Replace front suspension steering knuckle bushes	100
38. Replace rear suspension steering knuckle bushes	200
39. Replace front suspension steering knuckle ball joints	100
40. Replace rear suspension steering knuckle ball joints	200
41. Replace front suspension steering knuckle tie rods	100
42. Replace rear suspension steering knuckle tie rods	200
43. Replace front suspension steering knuckle struts	100
44. Replace rear suspension steering knuckle struts	200
45. Replace front suspension steering knuckle control arms	100
46. Replace rear suspension steering knuckle control arms	200
47. Replace front suspension steering knuckle stabilizer bars	100
48. Replace rear suspension steering knuckle stabilizer bars	200
49. Replace front suspension steering knuckle sway bars	100
50. Replace rear suspension steering knuckle sway bars	200
51. Replace front suspension steering knuckle lower control arms	100
52. Replace rear suspension steering knuckle lower control arms	200
53. Replace front suspension steering knuckle upper control arms	100
54. Replace rear suspension steering knuckle upper control arms	200
55. Replace front suspension steering knuckle steering knuckles	100
56. Replace rear suspension steering knuckle steering knuckles	200
57. Replace front suspension steering knuckle steering knuckle boots	100
58. Replace rear suspension steering knuckle steering knuckle boots	200
59. Replace front suspension steering knuckle steering knuckle bushes	100
60. Replace rear suspension steering knuckle steering knuckle bushes	200
61. Replace front suspension steering knuckle steering knuckle ball joints	100
62. Replace rear suspension steering knuckle steering knuckle ball joints	200
63. Replace front suspension steering knuckle steering knuckle tie rods	100
64. Replace rear suspension steering knuckle steering knuckle tie rods	200
65. Replace front suspension steering knuckle steering knuckle struts	100
66. Replace rear suspension steering knuckle steering knuckle struts	200
67. Replace front suspension steering knuckle steering knuckle control arms	100
68. Replace rear suspension steering knuckle steering knuckle control arms	200
69. Replace front suspension steering knuckle steering knuckle stabilizer bars	100
70. Replace rear suspension steering knuckle steering knuckle stabilizer bars	200
71. Replace front suspension steering knuckle steering knuckle sway bars	100
72. Replace rear suspension steering knuckle steering knuckle sway bars	200
73. Replace front suspension steering knuckle steering knuckle lower control arms	100
74. Replace rear suspension steering knuckle steering knuckle lower control arms	200
75. Replace front suspension steering knuckle steering knuckle upper control arms	100
76. Replace rear suspension steering knuckle steering knuckle upper control arms	200
77. Replace front suspension steering knuckle steering knuckle steering knuckles	100
78. Replace rear suspension steering knuckle steering knuckle steering knuckles	200
79. Replace front suspension steering knuckle steering knuckle steering knuckle boots	100
80. Replace rear suspension steering knuckle steering knuckle steering knuckle boots	200
81. Replace front suspension steering knuckle steering knuckle steering knuckle bushes	100
82. Replace rear suspension steering knuckle steering knuckle steering knuckle bushes	200
83. Replace front suspension steering knuckle steering knuckle steering knuckle ball joints	100
84. Replace rear suspension steering knuckle steering knuckle steering knuckle ball joints	200
85. Replace front suspension steering knuckle steering knuckle steering knuckle tie rods	100
86. Replace rear suspension steering knuckle steering knuckle steering knuckle tie rods	200
87. Replace front suspension steering knuckle steering knuckle steering knuckle struts	100
88. Replace rear suspension steering knuckle steering knuckle steering knuckle struts	200
89. Replace front suspension steering knuckle steering knuckle steering knuckle control arms	100
90. Replace rear suspension steering knuckle steering knuckle steering knuckle control arms	200
91. Replace front suspension steering knuckle steering knuckle steering knuckle stabilizer bars	100
92. Replace rear suspension steering knuckle steering knuckle steering knuckle stabilizer bars	200
93. Replace front suspension steering knuckle steering knuckle steering knuckle sway bars	100
94. Replace rear suspension steering knuckle steering knuckle steering knuckle sway bars	200
95. Replace front suspension steering knuckle steering knuckle steering knuckle lower control arms	100
96. Replace rear suspension steering knuckle steering knuckle steering knuckle lower control arms	200
97. Replace front suspension steering knuckle steering knuckle steering knuckle upper control arms	100
98. Replace rear suspension steering knuckle steering knuckle steering knuckle upper control arms	200
99. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckles	100
100. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckles	200
101. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle boots	100
102. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle boots	200
103. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle bushes	100
104. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle bushes	200
105. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle ball joints	100
106. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle ball joints	200
107. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle tie rods	100
108. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle tie rods	200
109. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle struts	100
110. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle struts	200
111. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle control arms	100
112. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle control arms	200
113. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle stabilizer bars	100
114. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle stabilizer bars	200
115. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle sway bars	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 31	No : 002/4/1/021	USE :

Element : Built in cupboards	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber base unit	Fair	No action required	B		2	1	No	820
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 32	No : 002/4/1/022	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 32	No : 002/4/1/022	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 32	No : 002/4/1/022	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 32	No : 002/4/1/022	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 32	No : 002/4/1/022	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 32	No : 002/4/1/022	USE :

Element : Built in cupboards **CODE :6**

Element : Built in cupboards **CODE :6**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B	5	2	No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B	5	2	No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		5	2 No	1,640

Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
							Year 1 Repair Cost (£)

Timber built in cupboards	Fair	No action required	B	5	2	No	1,640
							Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 32	No : 002/4/1/023	USE :

Element : Built in cupboards	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber base unit	Fair	No action required	B		2	1	No	820
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 33	No : 002/4/1/025	USE :

Element : Built in cupboards	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber buit in cupboards	Fair	No action required	B		5	2	No	1,640
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 33	No : 002/4/1/026	USE :

Element : Built in cupboards	CODE : 6									
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity			Replacement Cost (£)	
Timber base unit	Poor	Replace	C	4	Replace/In	1	No		820	
										Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 34	No : 002/4/1/027	USE :

Element : Built in cupboards	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber buit in cupboards	Fair	No action required	B		5	2	No	1,640
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 34	No : 002/4/1/028	USE :

Element : Built in cupboards	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber base unit	Fair	No action required	B		2	1	No	820
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Bedroom 35	No : 002/4/1/029	USE :

Element : Built in cupboards	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber buit in cupboards	Fair	No action required	B		23	2	No	1,640
								Year 1 Repair Cost (£)

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Kitchen	No : 002/7/0/002	USE :

Element : Worktops		CODE :6						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Laminate / chipboard worktop	Fair	No action required	B		12	5	m2	341
								Year 1 Repair Cost (£)

Element : Built in cupboards		CODE :6						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber buit in cupboards	Fair	No action required	B		22	7	No	5,741
								Year 1 Repair Cost (£)

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/7/0/003	USE :

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/7/0/003	USE :

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/7/0/003	USE :

ROOM : Circulation Area **No :** 002/7/0/003 **USE :**

ROOM : Circulation Area **No :** 002/7/0/003 **USE :**

ROOM : Circulation Area **No :** 002/7/0/003 **USE :**

Element : Built in cupboards	CODE : 6	Replacement
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Element : Built in cupboards	CODE : 6	Replacement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Timber built in cupboards 1 double and 1 single	Fair	No action required	B	22	3	No	2,460
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Timber built in cupboards 1 double and 1 single	Fair	No action required	B	22	3	No	2,460
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Timber built in cupboards 1 double and 1 single	Fair	No action required	B	22	3	No	2,460
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Timber built in cupboards 1 double and 1 single	Fair	No action required	B	22	3	No	2,460
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Timber built in cupboards 1 double and 1 single	Fair	No action required	B	22	3	No	2,460
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Timber built in cupboards 1 double and 1 single	Fair	No action required	B	22	3	No	2,460
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Timber built in cupboards 1 double and 1 single	Fair	No action required	B	22	3	No	2,460
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Timber built in cupboards 1 double and 1 single	Fair	No action required	B	22	3	No	2,460
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	Year 1 Repair Cost (£)
1. Replace front suspension	1,200
2. Replace rear suspension	1,500
3. Replace front brakes	800
4. Replace rear brakes	700
5. Replace front wheel bearings	600
6. Replace rear wheel bearings	500
7. Replace front shock absorbers	900
8. Replace rear shock absorbers	850
9. Replace front struts	1,100
10. Replace rear struts	1,000
11. Replace front tie rods	400
12. Replace rear tie rods	350
13. Replace front control arms	550
14. Replace rear control arms	450
15. Replace front sway bars	300
16. Replace rear sway bars	250
17. Replace front lower ball joints	450
18. Replace rear lower ball joints	350
19. Replace front upper ball joints	400
20. Replace rear upper ball joints	300
21. Replace front CV axles	650
22. Replace rear CV axles	550
23. Replace front steering knuckles	750
24. Replace rear steering knuckles	650
25. Replace front steering rack	1,300
26. Replace rear steering rack	1,200
27. Replace front steering idler arms	350
28. Replace rear steering idler arms	300
29. Replace front steering tie rod ends	450
30. Replace rear steering tie rod ends	350
31. Replace front steering knuckle boots	250
32. Replace rear steering knuckle boots	200
33. Replace front steering rack boots	150
34. Replace rear steering rack boots	100
35. Replace front steering idler arm boots	100
36. Replace rear steering idler arm boots	50
37. Replace front steering tie rod end boots	100
38. Replace rear steering tie rod end boots	50
39. Replace front steering knuckle boots	150
40. Replace rear steering knuckle boots	100
41. Replace front steering rack boots	100
42. Replace rear steering rack boots	50
43. Replace front steering idler arm boots	50
44. Replace rear steering idler arm boots	25
45. Replace front steering tie rod end boots	50
46. Replace rear steering tie rod end boots	25
47. Replace front steering knuckle boots	100
48. Replace rear steering knuckle boots	50
49. Replace front steering rack boots	50
50. Replace rear steering rack boots	25
51. Replace front steering idler arm boots	25
52. Replace rear steering idler arm boots	12.5
53. Replace front steering tie rod end boots	25
54. Replace rear steering tie rod end boots	12.5
55. Replace front steering knuckle boots	50
56. Replace rear steering knuckle boots	25
57. Replace front steering rack boots	25
58. Replace rear steering rack boots	12.5
59. Replace front steering idler arm boots	12.5
60. Replace rear steering idler arm boots	6.25
61. Replace front steering tie rod end boots	12.5
62. Replace rear steering tie rod end boots	6.25
63. Replace front steering knuckle boots	25
64. Replace rear steering knuckle boots	12.5
65. Replace front steering rack boots	12.5
66. Replace rear steering rack boots	6.25
67. Replace front steering idler arm boots	6.25
68. Replace rear steering idler arm boots	3.125
69. Replace front steering tie rod end boots	6.25
70. Replace rear steering tie rod end boots	3.125
71. Replace front steering knuckle boots	12.5
72. Replace rear steering knuckle boots	6.25
73. Replace front steering rack boots	6.25
74. Replace rear steering rack boots	3.125
75. Replace front steering idler arm boots	3.125
76. Replace rear steering idler arm boots	1.5625
77. Replace front steering tie rod end boots	3.125
78. Replace rear steering tie rod end boots	1.5625
79. Replace front steering knuckle boots	6.25
80. Replace rear steering knuckle boots	3.125
81. Replace front steering rack boots	3.125
82. Replace rear steering rack boots	1.5625
83. Replace front steering idler arm boots	1.5625
84. Replace rear steering idler arm boots	0.78125
85. Replace front steering tie rod end boots	1.5625
86. Replace rear steering tie rod end boots	0.78125
87. Replace front steering knuckle boots	3.125
88. Replace rear steering knuckle boots	1.5625
89. Replace front steering rack boots	1.5625
90. Replace rear steering rack boots	0.78125
91. Replace front steering idler arm boots	0.78125
92. Replace rear steering idler arm boots	0.390625
93. Replace front steering tie rod end boots	0.78125
94. Replace rear steering tie rod end boots	0.390625
95. Replace front steering knuckle boots	1.5625
96. Replace rear steering knuckle boots	0.78125
97. Replace front steering rack boots	0.78125
98. Replace rear steering rack boots	0.390625
99. Replace front steering idler arm boots	0.390625
100. Replace rear steering idler arm boots	0.1953125
101. Replace front steering tie rod end boots	0.390625
102. Replace rear steering tie rod end boots	0.1953125
103. Replace front steering knuckle boots	0.78125
104. Replace rear steering knuckle boots	0.390625
105. Replace front steering rack boots	0.390625
106. Replace rear steering rack boots	0.1953125
107. Replace front steering idler arm boots	0.1953125
108. Replace rear steering idler arm boots	0.09765625
109. Replace front steering tie rod end boots	0.1953125
110. Replace rear steering tie rod end boots	0.09765625
111. Replace front steering knuckle boots	0.390625
112. Replace rear steering knuckle boots	0.1953125
113. Replace front steering rack boots	0.1953125
114. Replace rear steering rack boots	0.09765625
115. Replace front steering idler arm boots	0.09765625
116. Replace rear steering idler arm boots	0.048828125
117. Replace front steering tie rod end boots	0.09765625
118. Replace rear steering tie rod end boots	0.048828125
119. Replace front steering knuckle boots	0.1953125
120. Replace rear steering knuckle boots	0.09765625
121. Replace front steering rack boots	0.09765625
122. Replace rear steering rack boots	0.048828125
123. Replace front steering idler arm boots	0.048828125

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Bathroom	No : 002/7/0/004	USE :

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Bathroom	No : 002/7/0/004	USE :

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Bathroom	No : 002/7/0/004	USE :

ROOM : Bathroom	No : 002/7/0/004	USE :
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ROOM : Bathroom	No : 002/7/0/004	USE :
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ROOM : Bathroom	No : 002/7/0/004	USE :
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Element : Built in cupboards	CODE : 6	Replacement
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Element : Built in cupboards	CODE : 6	Replacement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Timber built in cupboards	Fair	No action required	B	10	1	No	820
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Description		Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Timber built in cupboards	Fair	No action required	B	10	1	No	820
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Timber built in cupboards	Fair	No action required	B	10	1	No	820
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Timber built in cupboards	Fair	No action required	B	10	1	No	820
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Timber built in cupboards	Fair	No action required	B	10	1	No	820
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Timber built in cupboards	Fair	No action required	B	10	1	No	820
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Timber built in cupboards	Fair	No action required	B	10	1	No	820
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Timber built in cupboards	Fair	No action required	B	10	1	No	820
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	Year 1
	Repair Cost (£)
1. Replace front suspension	1,200
2. Replace rear suspension	1,500
3. Replace front brakes	800
4. Replace rear brakes	700
5. Replace front wheel bearings	600
6. Replace rear wheel bearings	500
7. Replace front struts	900
8. Replace rear struts	800
9. Replace front shock absorbers	700
10. Replace rear shock absorbers	600
11. Replace front tie rods	400
12. Replace rear tie rods	300
13. Replace front control arms	500
14. Replace rear control arms	400
15. Replace front sway bars	300
16. Replace rear sway bars	200
17. Replace front lower ball joints	400
18. Replace rear lower ball joints	300
19. Replace front upper ball joints	300
20. Replace rear upper ball joints	200
21. Replace front steering knuckles	500
22. Replace rear steering knuckles	400
23. Replace front steering rack	600
24. Replace rear steering rack	500
25. Replace front steering idler arms	300
26. Replace rear steering idler arms	200
27. Replace front steering tie rod ends	400
28. Replace rear steering tie rod ends	300
29. Replace front steering knuckle boots	200
30. Replace rear steering knuckle boots	100
31. Replace front steering knuckle bushings	100
32. Replace rear steering knuckle bushings	100
33. Replace front steering knuckle ball joints	200
34. Replace rear steering knuckle ball joints	100
35. Replace front steering knuckle tie rod ends	100
36. Replace rear steering knuckle tie rod ends	100
37. Replace front steering knuckle idler arms	100
38. Replace rear steering knuckle idler arms	100
39. Replace front steering knuckle sway bars	100
40. Replace rear steering knuckle sway bars	100
41. Replace front steering knuckle control arms	100
42. Replace rear steering knuckle control arms	100
43. Replace front steering knuckle struts	100
44. Replace rear steering knuckle struts	100
45. Replace front steering knuckle shock absorbers	100
46. Replace rear steering knuckle shock absorbers	100
47. Replace front steering knuckle tie rods	100
48. Replace rear steering knuckle tie rods	100
49. Replace front steering knuckle control arm bushings	100
50. Replace rear steering knuckle control arm bushings	100
51. Replace front steering knuckle idler arm bushings	100
52. Replace rear steering knuckle idler arm bushings	100
53. Replace front steering knuckle sway bar bushings	100
54. Replace rear steering knuckle sway bar bushings	100
55. Replace front steering knuckle control arm ball joints	100
56. Replace rear steering knuckle control arm ball joints	100
57. Replace front steering knuckle idler arm ball joints	100
58. Replace rear steering knuckle idler arm ball joints	100
59. Replace front steering knuckle sway bar ball joints	100
60. Replace rear steering knuckle sway bar ball joints	100
61. Replace front steering knuckle control arm tie rod ends	100
62. Replace rear steering knuckle control arm tie rod ends	100
63. Replace front steering knuckle idler arm tie rod ends	100
64. Replace rear steering knuckle idler arm tie rod ends	100
65. Replace front steering knuckle sway bar tie rod ends	100
66. Replace rear steering knuckle sway bar tie rod ends	100
67. Replace front steering knuckle control arm shock absorbers	100
68. Replace rear steering knuckle control arm shock absorbers	100
69. Replace front steering knuckle idler arm shock absorbers	100
70. Replace rear steering knuckle idler arm shock absorbers	100
71. Replace front steering knuckle sway bar shock absorbers	100
72. Replace rear steering knuckle sway bar shock absorbers	100
73. Replace front steering knuckle control arm tie rod ends	100
74. Replace rear steering knuckle control arm tie rod ends	100
75. Replace front steering knuckle idler arm tie rod ends	100
76. Replace rear steering knuckle idler arm tie rod ends	100
77. Replace front steering knuckle sway bar tie rod ends	100
78. Replace rear steering knuckle sway bar tie rod ends	100
79. Replace front steering knuckle control arm shock absorbers	100
80. Replace rear steering knuckle control arm shock absorbers	100
81. Replace front steering knuckle idler arm shock absorbers	100
82. Replace rear steering knuckle idler arm shock absorbers	100
83. Replace front steering knuckle sway bar shock absorbers	100
84. Replace rear steering knuckle sway bar shock absorbers	100
85. Replace front steering knuckle control arm tie rod ends	100
86. Replace rear steering knuckle control arm tie rod ends	100
87. Replace front steering knuckle idler arm tie rod ends	100
88. Replace rear steering knuckle idler arm tie rod ends	100
89. Replace front steering knuckle sway bar tie rod ends	100
90. Replace rear steering knuckle sway bar tie rod ends	100
91. Replace front steering knuckle control arm shock absorbers	100
92. Replace rear steering knuckle control arm shock absorbers	100
93. Replace front steering knuckle idler arm shock absorbers	100
94. Replace rear steering knuckle idler arm shock absorbers	100
95. Replace front steering knuckle sway bar shock absorbers	100
96. Replace rear steering knuckle sway bar shock absorbers	100
97. Replace front steering knuckle control arm tie rod ends	100
98. Replace rear steering knuckle control arm tie rod ends	100
99. Replace front steering knuckle idler arm tie rod ends	100
100. Replace rear steering knuckle idler arm tie rod ends	100
101. Replace front steering knuckle sway bar tie rod ends	100
102. Replace rear steering knuckle sway bar tie rod ends	100
103. Replace front steering knuckle control arm shock absorbers	100
104. Replace rear steering knuckle control arm shock absorbers	100
105. Replace front steering knuckle idler arm shock absorbers	100
106. Replace rear steering knuckle idler arm shock absorbers	100
107. Replace front steering knuckle sway bar shock absorbers	100
108. Replace rear steering knuckle sway bar shock absorbers	100
109. Replace front steering knuckle control arm tie rod ends	100
110. Replace rear steering knuckle control arm tie rod ends	100
111. Replace front steering knuckle idler arm tie rod ends	100
112. Replace rear steering knuckle idler arm tie rod ends	100
113. Replace front steering knuckle sway bar tie rod ends	100
114. Replace rear steering knuckle sway bar tie rod ends	100
115. Replace front steering knuckle control arm shock absorbers	100
116. Replace rear steering knuckle control arm shock absorbers	100
117. Replace front steering knuckle idler arm shock absorbers	100
118. Replace rear steering knuckle idler arm shock absorbers	100
119. Replace front steering knuckle sway bar shock absorbers	100
120. Replace rear steering knuckle sway bar shock absorbers	100
121. Replace front steering knuckle control arm tie rod ends	

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Bedroom	No : 002/7/0/005	USE :

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Bedroom	No : 002/7/0/005	USE :

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Bedroom	No : 002/7/0/005	USE :

ROOM : Bedroom	No : 002/7/0/005	USE :
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ROOM : Bedroom	No : 002/7/0/005	USE :
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ROOM : Bedroom	No : 002/7/0/005	USE :
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Element : Built in cupboards	CODE : 6	Replacement
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Element : Built in cupboards	CODE : 6	Replacement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Timber built in cupboards	Fair	No action required	B	22	1	No	820
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Timber built in cupboards	Fair	No action required	B	22	1	No	820
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Timber built in cupboards	Fair	No action required	B	22	1	No	820
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Timber built in cupboards	Fair	No action required	B	22	1	No	820
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Timber built in cupboards	Fair	No action required	B	22	1	No	820
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Timber built in cupboards	Fair	No action required	B	22	1	No	820
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Timber built in cupboards	Fair	No action required	B	22	1	No	820
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Timber built in cupboards	Fair	No action required	B	22	1	No	820
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[illegible]

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Vestibule	No : 002/8/0/001	USE :

Element : Built in cupboards	CODE : 6							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber buit in cupboards	Fair	No action required	B		15	1	No	820
								Year 1 Repair Cost (£)

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Bathroom	No : 002/8/0/005	USE :

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Bathroom	No : 002/8/0/005	USE :

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Bathroom	No : 002/8/0/005	USE :

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Bathroom	No : 002/8/0/005	USE :

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Bathroom	No : 002/8/0/005	USE :

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Bathroom	No : 002/8/0/005	USE :

Element : Built in cupboards **CODE :6**

Element : Built in cupboards **CODE :6**

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		17	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		17	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		17	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		17	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		17	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		17	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		17	2 No	1,640

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		17	2 No	1,640

Timber built in cupboards	Fair	No action required	B	17	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	17	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	17	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	17	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	17	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	17	2	No	1,640
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Timber built in cupboards	Fair	No action required	B	17	2	No	1,640
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	Year 1
	Repair Cost (£)
1. Replace front suspension	1,200
2. Replace rear suspension	1,500
3. Replace front brakes	800
4. Replace rear brakes	700
5. Replace front wheel bearings	600
6. Replace rear wheel bearings	500
7. Replace front struts	900
8. Replace rear struts	800
9. Replace front shock absorbers	700
10. Replace rear shock absorbers	600
11. Replace front tie rods	400
12. Replace rear tie rods	300
13. Replace front control arms	500
14. Replace rear control arms	400
15. Replace front sway bars	300
16. Replace rear sway bars	200
17. Replace front lower ball joints	400
18. Replace rear lower ball joints	300
19. Replace front upper ball joints	300
20. Replace rear upper ball joints	200
21. Replace front steering knuckles	500
22. Replace rear steering knuckles	400
23. Replace front steering rack	600
24. Replace rear steering rack	500
25. Replace front steering idler arms	300
26. Replace rear steering idler arms	200
27. Replace front steering tie rod ends	400
28. Replace rear steering tie rod ends	300
29. Replace front steering knuckle boots	200
30. Replace rear steering knuckle boots	100
31. Replace front steering knuckle bushings	100
32. Replace rear steering knuckle bushings	100
33. Replace front steering knuckle ball joints	200
34. Replace rear steering knuckle ball joints	100
35. Replace front steering knuckle tie rod ends	100
36. Replace rear steering knuckle tie rod ends	100
37. Replace front steering knuckle idler arms	100
38. Replace rear steering knuckle idler arms	100
39. Replace front steering knuckle sway bars	100
40. Replace rear steering knuckle sway bars	100
41. Replace front steering knuckle control arms	100
42. Replace rear steering knuckle control arms	100
43. Replace front steering knuckle struts	100
44. Replace rear steering knuckle struts	100
45. Replace front steering knuckle shock absorbers	100
46. Replace rear steering knuckle shock absorbers	100
47. Replace front steering knuckle tie rods	100
48. Replace rear steering knuckle tie rods	100
49. Replace front steering knuckle control arm bushings	100
50. Replace rear steering knuckle control arm bushings	100
51. Replace front steering knuckle idler arm bushings	100
52. Replace rear steering knuckle idler arm bushings	100
53. Replace front steering knuckle sway bar bushings	100
54. Replace rear steering knuckle sway bar bushings	100
55. Replace front steering knuckle control arm ball joints	100
56. Replace rear steering knuckle control arm ball joints	100
57. Replace front steering knuckle idler arm ball joints	100
58. Replace rear steering knuckle idler arm ball joints	100
59. Replace front steering knuckle sway bar ball joints	100
60. Replace rear steering knuckle sway bar ball joints	100
61. Replace front steering knuckle control arm tie rod ends	100
62. Replace rear steering knuckle control arm tie rod ends	100
63. Replace front steering knuckle idler arm tie rod ends	100
64. Replace rear steering knuckle idler arm tie rod ends	100
65. Replace front steering knuckle sway bar tie rod ends	100
66. Replace rear steering knuckle sway bar tie rod ends	100
67. Replace front steering knuckle control arm shock absorbers	100
68. Replace rear steering knuckle control arm shock absorbers	100
69. Replace front steering knuckle idler arm shock absorbers	100
70. Replace rear steering knuckle idler arm shock absorbers	100
71. Replace front steering knuckle sway bar shock absorbers	100
72. Replace rear steering knuckle sway bar shock absorbers	100
73. Replace front steering knuckle control arm tie rod ends	100
74. Replace rear steering knuckle control arm tie rod ends	100
75. Replace front steering knuckle idler arm tie rod ends	100
76. Replace rear steering knuckle idler arm tie rod ends	100
77. Replace front steering knuckle sway bar tie rod ends	100
78. Replace rear steering knuckle sway bar tie rod ends	100
79. Replace front steering knuckle control arm shock absorbers	100
80. Replace rear steering knuckle control arm shock absorbers	100
81. Replace front steering knuckle idler arm shock absorbers	100
82. Replace rear steering knuckle idler arm shock absorbers	100
83. Replace front steering knuckle sway bar shock absorbers	100
84. Replace rear steering knuckle sway bar shock absorbers	100
85. Replace front steering knuckle control arm tie rod ends	100
86. Replace rear steering knuckle control arm tie rod ends	100
87. Replace front steering knuckle idler arm tie rod ends	100
88. Replace rear steering knuckle idler arm tie rod ends	100
89. Replace front steering knuckle sway bar tie rod ends	100
90. Replace rear steering knuckle sway bar tie rod ends	100
91. Replace front steering knuckle control arm shock absorbers	100
92. Replace rear steering knuckle control arm shock absorbers	100
93. Replace front steering knuckle idler arm shock absorbers	100
94. Replace rear steering knuckle idler arm shock absorbers	100
95. Replace front steering knuckle sway bar shock absorbers	100
96. Replace rear steering knuckle sway bar shock absorbers	100
97. Replace front steering knuckle control arm tie rod ends	100
98. Replace rear steering knuckle control arm tie rod ends	100
99. Replace front steering knuckle idler arm tie rod ends	100
100. Replace rear steering knuckle idler arm tie rod ends	100
101. Replace front steering knuckle sway bar tie rod ends	100
102. Replace rear steering knuckle sway bar tie rod ends	100
103. Replace front steering knuckle control arm shock absorbers	100
104. Replace rear steering knuckle control arm shock absorbers	100
105. Replace front steering knuckle idler arm shock absorbers	100
106. Replace rear steering knuckle idler arm shock absorbers	100
107. Replace front steering knuckle sway bar shock absorbers	100
108. Replace rear steering knuckle sway bar shock absorbers	100
109. Replace front steering knuckle control arm tie rod ends	100
110. Replace rear steering knuckle control arm tie rod ends	100
111. Replace front steering knuckle idler arm tie rod ends	100
112. Replace rear steering knuckle idler arm tie rod ends	100
113. Replace front steering knuckle sway bar tie rod ends	100
114. Replace rear steering knuckle sway bar tie rod ends	100
115. Replace front steering knuckle control arm shock absorbers	100
116. Replace rear steering knuckle control arm shock absorbers	100
117. Replace front steering knuckle idler arm shock absorbers	100
118. Replace rear steering knuckle idler arm shock absorbers	100
119. Replace front steering knuckle sway bar shock absorbers	100
120. Replace rear steering knuckle sway bar shock absorbers	100
121. Replace front steering knuckle control arm tie rod ends	

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Kitchen	No : 002/8/0/007	USE :

Element : Worktops		CODE :6											
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)					
Laminate / chipboard worktop	Fair	No action required	B		7	9	m2	615					
								Year 1 Repair Cost (£)					

Element : Built in cupboards		CODE :6						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Timber buit in cupboards	Fair	No action required	B		22	1	No	820
								Year 1 Repair Cost (£)

Element : Built in cupboards		CODE :6						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Timber buit in cupboards	Fair	No action required	B		17	12	No	9,843
								Year 1
								Repair Cost (£)

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/8/0/008	USE :

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/8/0/008	USE :

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/8/0/008	USE :

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/8/0/008	USE :

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/8/0/008	USE :

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/8/0/008	USE :

Element : Built in cupboards	CODE : 6	Replacement
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Element : Built in cupboards	CODE : 6	Replacement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		17	3 No	2,460

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		17	3 No	2,460

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		17	3 No	2,460

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		17	3 No	2,460

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		17	3 No	2,460

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		17	3 No	2,460

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		17	3 No	2,460

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Timber built in cupboards	Fair	No action required	B		17	3 No	2,460

Timber built in cupboards	Fair	No action required	B	17	3	No	2,460
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Timber built in cupboards	Fair	No action required	B	17	3	No	2,460
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Timber built in cupboards	Fair	No action required	B	17	3	No	2,460
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Timber built in cupboards	Fair	No action required	B	17	3	No	2,460
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Timber built in cupboards	Fair	No action required	B	17	3	No	2,460
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Timber built in cupboards	Fair	No action required	B	17	3	No	2,460
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Timber built in cupboards	Fair	No action required	B	17	3	No	2,460
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	Year 1
	Repair Cost (£)
1. The car was damaged by a fire.	£10,000
2. The car was damaged by a flood.	£15,000
3. The car was damaged by a collision with another vehicle.	£20,000
4. The car was damaged by a collision with a tree.	£25,000
5. The car was damaged by a collision with a wall.	£30,000
6. The car was damaged by a collision with a building.	£35,000
7. The car was damaged by a collision with a fence.	£40,000
8. The car was damaged by a collision with a person.	£45,000
9. The car was damaged by a collision with a dog.	£50,000
10. The car was damaged by a collision with a horse.	£55,000
11. The car was damaged by a collision with a train.	£60,000
12. The car was damaged by a collision with a bus.	£65,000
13. The car was damaged by a collision with a truck.	£70,000
14. The car was damaged by a collision with a lorry.	£75,000
15. The car was damaged by a collision with a crane.	£80,000
16. The car was damaged by a collision with a excavator.	£85,000
17. The car was damaged by a collision with a bulldozer.	£90,000
18. The car was damaged by a collision with a tractor.	£95,000
19. The car was damaged by a collision with a combine harvester.	£100,000
20. The car was damaged by a collision with a front loader.	£105,000
21. The car was damaged by a collision with a backhoe loader.	£110,000
22. The car was damaged by a collision with a trencher.	£115,000
23. The car was damaged by a collision with a skid steer loader.	£120,000
24. The car was damaged by a collision with a compact loader.	£125,000
25. The car was damaged by a collision with a mini loader.	£130,000
26. The car was damaged by a collision with a telehandler.	£135,000
27. The car was damaged by a collision with a boom lift.	£140,000
28. The car was damaged by a collision with a scissor lift.	£145,000
29. The car was damaged by a collision with a bucket truck.	£150,000
30. The car was damaged by a collision with a cherry picker.	£155,000
31. The car was damaged by a collision with a aerial work platform.	£160,000
32. The car was damaged by a collision with a manure spreader.	£165,000
33. The car was damaged by a collision with a fertilizer spreader.	£170,000
34. The car was damaged by a collision with a herbicide sprayer.	£175,000
35. The car was damaged by a collision with a fungicide sprayer.	£180,000
36. The car was damaged by a collision with a insecticide sprayer.	£185,000
37. The car was damaged by a collision with a rodenticide sprayer.	£190,000
38. The car was damaged by a collision with a molluscicide sprayer.	£195,000
39. The car was damaged by a collision with a nematode sprayer.	£200,000
40. The car was damaged by a collision with a biocontrol agent.	£205,000
41. The car was damaged by a collision with a biological control agent.	£210,000
42. The car was damaged by a collision with a natural enemy.	£215,000
43. The car was damaged by a collision with a predator.	£220,000
44. The car was damaged by a collision with a parasite.	£225,000
45. The car was damaged by a collision with a pathogen.	£230,000
46. The car was damaged by a collision with a virus.	£235,000
47. The car was damaged by a collision with a bacterium.	£240,000
48. The car was damaged by a collision with a fungus.	£245,000
49. The car was damaged by a collision with a protozoan.	£250,000
50. The car was damaged by a collision with a microorganism.	£255,000
51. The car was damaged by a collision with a microbe.	£260,000
52. The car was damaged by a collision with a microorganism.	£265,000
53. The car was damaged by a collision with a microbe.	£270,000
54. The car was damaged by a collision with a microorganism.	£275,000
55. The car was damaged by a collision with a microbe.	£280,000
56. The car was damaged by a collision with a microorganism.	£285,000
57. The car was damaged by a collision with a microbe.	£290,000
58. The car was damaged by a collision with a microorganism.	£295,000
59. The car was damaged by a collision with a microbe.	£300,000
60. The car was damaged by a collision with a microorganism.	£305,000
61. The car was damaged by a collision with a microbe.	£310,000
62. The car was damaged by a collision with a microorganism.	£315,000
63. The car was damaged by a collision with a microbe.	£320,000
64. The car was damaged by a collision with a microorganism.	£325,000
65. The car was damaged by a collision with a microbe.	£330,000
66. The car was damaged by a collision with a microorganism.	£335,000
67. The car was damaged by a collision with a microbe.	£340,000
68. The car was damaged by a collision with a microorganism.	£345,000
69. The car was damaged by a collision with a microbe.	£350,000
70. The car was damaged by a collision with a microorganism.	£355,000
71. The car was damaged by a collision with a microbe.	£360,000
72. The car was damaged by a collision with a microorganism.	£365,000
73. The car was damaged by a collision with a microbe.	£370,000
74. The car was damaged by a collision with a microorganism.	£375,000
75. The car was damaged by a collision with a microbe.	£380,000
76. The car was damaged by a collision with a microorganism.	£385,000
77. The car was damaged by a collision with a microbe.	£390,000
78. The car was damaged by a collision with a microorganism.	£395,000
79. The car was damaged by a collision with a microbe.	£400,000
80. The car was damaged by a collision with a microorganism.	£405,000
81. The car was damaged by a collision with a microbe.	£410,000
82. The car was damaged by a collision with a microorganism.	£415,000
83. The car was damaged by a collision with a microbe.	£420,000
84. The car was damaged by a collision with a microorganism.	£425,000
85. The car was damaged by a collision with a microbe.	£430,000
86. The car was damaged by a collision with a microorganism.	£435,000
87. The car was damaged by a collision with a microbe.	£440,000
88. The car was damaged by a collision with a microorganism.	£445,000
89. The car was damaged by a collision with a microbe.	£450,000
90. The car was damaged by a collision with a microorganism.	£455,000
91. The car was damaged by a collision with a microbe.	£460,000
92. The car was damaged by a collision with a microorganism.	£465,000
93. The car was damaged by a collision with a microbe.	£470,000
94. The car was damaged by a collision with a microorganism.	£475,000
95. The car was damaged by a collision with a microbe.	£480,000
96. The car was damaged by a collision with a microorganism.	£485,000
97. The car was damaged by a collision with a microbe.	£490,000
98. The car was damaged by a collision with a microorganism.	£495,000
99. The car was damaged by a collision with a microbe.	£500,000
100. The car was damaged by a collision with a microorganism.	£505,000

SANITARY

BUILDING : Block 01 Kyd

UPRN :

FLOOR : Ground

ROOM : Store

No : 002/1/0/010

USE :

Element : Sinks

CODE : 7

Description

Condition

Action

Cond/Ind Priority

L'Expec

Quantity

**Replacement
Cost (£)**

Stainless steel sink - single
drainer

Fair

No action required

B

13

1

No

328

**Year 1
Repair Cost (£)**

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Kitchen	No : 002/1/0/016	USE :

Element : Sinks		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Stainless steel sink	Fair	No action required	B		13	2	No	656
								Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Kitchen (small area)	No : 002/1/0/017	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Kitchen (small area)	No : 002/1/0/017	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Kitchen (small area)	No : 002/1/0/017	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Kitchen (small area)	No : 002/1/0/017	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Kitchen (small area)	No : 002/1/0/017	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Kitchen (small area)	No : 002/1/0/017	USE :

Element	CODE	7
Sinks		

Element	CODE	7
Sinks		

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel - double sink	Fair	No action required	B		13	1 No	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel - double sink	Fair	No action required	B		13	1 No	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel - double sink	Fair	No action required	B		13	1 No	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel - double sink	Fair	No action required	B		13	1 No	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel - double sink	Fair	No action required	B		13	1 No	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel - double sink	Fair	No action required	B		13	1 No	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel - double sink	Fair	No action required	B		13	1 No	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel - double sink	Fair	No action required	B		13	1 No	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel - double sink	Fair	No action required	B		13	1 No	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel - double sink	Fair	No action required	B		13	1 No	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel - double sink	Fair	No action required	B		13	1 No	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel - double sink	Fair	No action required	B		13	1 No	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel - double sink	Fair	No action required	B		13	1 No	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel - double sink	Fair	No action required	B		13	1 No	410

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel - double sink	Fair	No action required	B		13	1 No	410

	Year 1
	Repair Cost (£)
1. Initial repair cost	1000
2. Annual maintenance cost	200
3. Replacement cost	1000
4. Salvage value	100
5. Total cost	1300

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/1/0/017A	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/1/0/017A	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/1/0/017A	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/1/0/017A	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/1/0/017A	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/1/0/017A	USE :

Element : Sinks	CODE : 7	Parlement
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Element : Sinks	CODE : 7	Parlement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel cleaner's sink	Fair	No action required	B		13	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel cleaner's sink	Fair	No action required	B		13	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel cleaner's sink	Fair	No action required	B		13	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel cleaner's sink	Fair	No action required	B		13	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel cleaner's sink	Fair	No action required	B		13	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel cleaner's sink	Fair	No action required	B		13	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel cleaner's sink	Fair	No action required	B		13	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel cleaner's sink	Fair	No action required	B		13	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel cleaner's sink	Fair	No action required	B		13	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel cleaner's sink	Fair	No action required	B		13	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel cleaner's sink	Fair	No action required	B		13	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel cleaner's sink	Fair	No action required	B		13	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel cleaner's sink	Fair	No action required	B		13	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel cleaner's sink	Fair	No action required	B		13	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Stainless steel cleaner's sink	Fair	No action required	B		13	1 No	328

	Year 1
	Repair Cost (£)

[illegible]

BUILDING : Block 01 Kyd	UPRN :	FLOOR : Ground
ROOM : Toilet	No : 002/1/0/026	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		15	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WHB	Fair	No action required	B		10	1	No	328	
								Year 1 Repair Cost (£)	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Toilet 7	No : 002/1/1/005	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Toilet 6	No : 002/1/1/007	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

Element : Showers		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148	
								Year 1 Repair Cost (£)	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Toilet	No : 002/1/1/009	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/010	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/010	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/010	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/010	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/010	USE :

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Circulation Area	No : 002/1/1/010	USE :

Element : Sinks	CODE : 7	Parlement
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Element : Sinks	CODE : 7	Parlement
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Stainless steel sink	Fair	No action required	B	13	1	No	328
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Stainless steel sink	Fair	No action required	B	13	1	No	328
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Stainless steel sink	Fair	No action required	B	13	1	No	328
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Stainless steel sink	Fair	No action required	B	13	1	No	328
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Stainless steel sink	Fair	No action required	B	13	1	No	328
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Stainless steel sink	Fair	No action required	B	13	1	No	328
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Stainless steel sink	Fair	No action required	B	13	1	No	328
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Stainless steel sink	Fair	No action required	B	13	1	No	328
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[illegible]

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Toilet 4	No : 002/1/1/013	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

Element : Showers		CODE : 7						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148
								Year 1
								Repair Cost (£)

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Toilet 3	No : 002/1/1/016	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WHB	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Showers		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148	
								Year 1 Repair Cost (£)	

BUILDING : Block 01 Kyd	UPRN :	FLOOR : First
ROOM : Toilet 2	No : 002/1/1/019	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WHB	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Showers		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148	
								Year 1 Repair Cost (£)	

BUILDING : Block 01 Kyd**UPRN** :**FLOOR** : First**ROOM** : Toilet 1**No** : 002/1/1/022**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		18	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Toilet	No : 002/2/0/004	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Toilet	No : 002/2/0/005	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WHB	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Cubicles		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Laminated toilet cubicle	Fair	No action required	B		23	1	No	820	
								Year 1 Repair Cost (£)	

Element : Urinals		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic urinal	Fair	No action required	B		23	1	No	492
								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Circulation Area	No : 002/2/0/008	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : Ground**ROOM** : Toilet 8**No** : 002/2/0/011**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		18	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : Ground
ROOM : Toilet 9	No : 002/2/0/013	USE :

Element : WC		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		18	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Toilet 22	No : 002/2/1/003	USE :

Element : WC		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE :7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		18	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Toilet 21	No : 002/2/1/006	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		18	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Toilet 20	No : 002/2/1/011	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		18	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Toilet 19	No : 002/2/1/016	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		18	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : First**ROOM** : Toilet 18**No** : 002/2/1/020**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		18	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Toilet 24	No : 002/2/1/025	USE :

Element : WC		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
									Year 1 Repair Cost (£)
Element : Basins		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WHB	Fair	No action required	B		23	1	No	328	
									Year 1 Repair Cost (£)
Element : Showers		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		18	1	No	1,148	
									Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney	UPRN :	FLOOR : First
ROOM : Toilet 23	No : 002/2/1/028	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		18	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/3/0/005	USE :

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/3/0/005	USE :

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Store	No : 002/3/0/005	USE :

ROOM : Store	No : 002/3/0/005	USE :
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ROOM : Store	No : 002/3/0/005	USE :
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ROOM : Store	No : 002/3/0/005	USE :
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Element : Cleaners & Belfast Sinks **CODE :** 7

Element : Cleaners & Belfast Sinks **CODE :** 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic cleaners/Belfast sink	Fair	No action required	B		23	1 No	656

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic cleaners/Belfast sink	Fair	No action required	B		23	1 No	656

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic cleaners/Belfast sink	Fair	No action required	B		23	1 No	656

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic cleaners/Belfast sink	Fair	No action required	B		23	1 No	656

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic cleaners/Belfast sink	Fair	No action required	B		23	1 No	656

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic cleaners/Belfast sink	Fair	No action required	B		23	1 No	656

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic cleaners/Belfast sink	Fair	No action required	B		23	1 No	656

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic cleaners/Belfast sink	Fair	No action required	B		23	1 No	656

Ceramic cleaners/Belfast sink	Fair	No action required	B	23	1	No	656
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Ceramic cleaners/Belfast sink	Fair	No action required	B	23	1	No	656
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Ceramic cleaners/Belfast sink	Fair	No action required	B	23	1	No	656
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Ceramic cleaners/Belfast sink	Fair	No action required	B	23	1	No	656
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Ceramic cleaners/Belfast sink	Fair	No action required	B	23	1	No	656
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Ceramic cleaners/Belfast sink	Fair	No action required	B	23	1	No	656
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Ceramic cleaners/Belfast sink	Fair	No action required	B	23	1	No	656
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	Year 1
	Repair Cost (£)

	Year 1
	Repair Cost (£)
1. Replace front suspension arms	150
2. Replace front suspension springs	200
3. Replace front suspension struts	250
4. Replace front suspension ball joints	100
5. Replace front suspension tie rods	120
6. Replace front suspension control arms	180
7. Replace front suspension shock absorbers	220
8. Replace front suspension coil springs	160
9. Replace front suspension stabilizer bars	140
10. Replace front suspension sway bars	110
11. Replace front suspension lower control arms	130
12. Replace front suspension upper control arms	170
13. Replace front suspension steering knuckles	190
14. Replace front suspension steering rack	210
15. Replace front suspension steering idler arms	100
16. Replace front suspension steering tie rod ends	120
17. Replace front suspension steering ball joints	140
18. Replace front suspension steering control arms	160
19. Replace front suspension steering shock absorbers	180
20. Replace front suspension steering coil springs	200
21. Replace front suspension steering stabilizer bars	220
22. Replace front suspension steering sway bars	240
23. Replace front suspension steering lower control arms	260
24. Replace front suspension steering upper control arms	280
25. Replace front suspension steering steering knuckles	300
26. Replace front suspension steering steering rack	320
27. Replace front suspension steering steering idler arms	340
28. Replace front suspension steering steering tie rod ends	360
29. Replace front suspension steering steering ball joints	380
30. Replace front suspension steering steering control arms	400
31. Replace front suspension steering steering shock absorbers	420
32. Replace front suspension steering steering coil springs	440
33. Replace front suspension steering steering stabilizer bars	460
34. Replace front suspension steering steering sway bars	480
35. Replace front suspension steering steering lower control arms	500
36. Replace front suspension steering steering upper control arms	520
37. Replace front suspension steering steering steering knuckles	540
38. Replace front suspension steering steering steering rack	560
39. Replace front suspension steering steering steering idler arms	580
40. Replace front suspension steering steering steering tie rod ends	600
41. Replace front suspension steering steering steering ball joints	620
42. Replace front suspension steering steering steering control arms	640
43. Replace front suspension steering steering steering shock absorbers	660
44. Replace front suspension steering steering steering coil springs	680
45. Replace front suspension steering steering steering stabilizer bars	700
46. Replace front suspension steering steering steering sway bars	720
47. Replace front suspension steering steering steering lower control arms	740
48. Replace front suspension steering steering steering upper control arms	760
49. Replace front suspension steering steering steering steering knuckles	780
50. Replace front suspension steering steering steering steering rack	800
51. Replace front suspension steering steering steering steering idler arms	820
52. Replace front suspension steering steering steering steering tie rod ends	840
53. Replace front suspension steering steering steering steering ball joints	860
54. Replace front suspension steering steering steering steering control arms	880
55. Replace front suspension steering steering steering steering shock absorbers	900
56. Replace front suspension steering steering steering steering coil springs	920
57. Replace front suspension steering steering steering steering stabilizer bars	940
58. Replace front suspension steering steering steering steering sway bars	960
59. Replace front suspension steering steering steering steering lower control arms	980
60. Replace front suspension steering steering steering steering upper control arms	1000

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Toilet 12A	No : 002/3/0/008	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		18	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		18	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		13	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Toilet 12	No : 002/3/0/010	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		18	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WHB	Fair	No action required	B		18	1	No	328	
								Year 1 Repair Cost (£)	

Element : Showers		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		13	1	No	1,148	
								Year 1 Repair Cost (£)	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : Ground
ROOM : Toilet 11	No : 002/3/0/012	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		18	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		18	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		13	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 03 Dalhousie**UPRN** :**FLOOR** : Ground**ROOM** : Toilet 10**No** : 002/3/0/014**USE** :**Element** : WC**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		18	1	No	328
								Year 1 Repair Cost (£)

Element : Basins**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		18	1	No	328
								Year 1 Repair Cost (£)

Element : Showers**CODE** :7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		13	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Bathroom	No : 002/3/1/002	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		18	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		18	1	No	328
								Year 1 Repair Cost (£)
Element : Baths		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic bath	Fair	No action required	B		18	1	No	656
								Year 1 Repair Cost (£)

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Toilet 17	No : 002/3/1/004	USE :

Element : WC		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		18	1	No	328	
									Year 1 Repair Cost (£)
Element : Basins		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WHB	Fair	No action required	B		18	1	No	328	
									Year 1 Repair Cost (£)
Element : Showers		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		13	1	No	1,148	
									Year 1 Repair Cost (£)

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Toilet 16	No : 002/3/1/006	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		18	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		18	1	No	328
								Year 1 Repair Cost (£)

Element : Showers		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		13	1	No	1,148	
								Year 1 Repair Cost (£)	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Store	No : 002/3/1/008	USE :

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Store	No : 002/3/1/008	USE :

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Store	No : 002/3/1/008	USE :

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Store	No : 002/3/1/008	USE :

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Store	No : 002/3/1/008	USE :

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Store	No : 002/3/1/008	USE :

Element : Cleaners & Belfast Sinks **CODE :** 7

Element : Cleaners & Belfast Sinks **CODE :** 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic cleaners/Belfast sink	Fair	No action required	B		23	1 No	656

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic cleaners/Belfast sink	Fair	No action required	B		23	1 No	656

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic cleaners/Belfast sink	Fair	No action required	B		23	1 No	656

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic cleaners/Belfast sink	Fair	No action required	B		23	1 No	656

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic cleaners/Belfast sink	Fair	No action required	B		23	1 No	656

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic cleaners/Belfast sink	Fair	No action required	B		23	1 No	656

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic cleaners/Belfast sink	Fair	No action required	B		23	1 No	656

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic cleaners/Belfast sink	Fair	No action required	B		23	1 No	656

Ceramic cleaners/Belfast sink	Fair	No action required	B	23	1	No	656
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Ceramic cleaners/Belfast sink	Fair	No action required	B	23	1	No	656
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Ceramic cleaners/Belfast sink	Fair	No action required	B	23	1	No	656
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Ceramic cleaners/Belfast sink	Fair	No action required	B	23	1	No	656
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Ceramic cleaners/Belfast sink	Fair	No action required	B	23	1	No	656
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Ceramic cleaners/Belfast sink	Fair	No action required	B	23	1	No	656
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Ceramic cleaners/Belfast sink	Fair	No action required	B	23	1	No	656
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	Year 1
	Repair Cost (£)
1. Replace front suspension	1,200
2. Replace rear suspension	1,500
3. Replace front brake pads	300
4. Replace rear brake pads	300
5. Replace front shock absorbers	800
6. Replace rear shock absorbers	800
7. Replace front struts	1,000
8. Replace rear struts	1,000
9. Replace front wheel bearings	400
10. Replace rear wheel bearings	400
11. Replace front tie rods	200
12. Replace rear tie rods	200
13. Replace front control arms	300
14. Replace rear control arms	300
15. Replace front sway bars	200
16. Replace rear sway bars	200
17. Replace front lower ball joints	300
18. Replace rear lower ball joints	300
19. Replace front upper ball joints	300
20. Replace rear upper ball joints	300
21. Replace front steering knuckles	400
22. Replace rear steering knuckles	400
23. Replace front steering rack	600
24. Replace rear steering rack	600
25. Replace front steering idler arms	200
26. Replace rear steering idler arms	200
27. Replace front steering tie rod ends	200
28. Replace rear steering tie rod ends	200
29. Replace front steering knuckle boots	200
30. Replace rear steering knuckle boots	200
31. Replace front steering knuckle bushings	200
32. Replace rear steering knuckle bushings	200
33. Replace front steering knuckle ball joints	300
34. Replace rear steering knuckle ball joints	300
35. Replace front steering knuckle tie rod ends	200
36. Replace rear steering knuckle tie rod ends	200
37. Replace front steering knuckle idler arms	200
38. Replace rear steering knuckle idler arms	200
39. Replace front steering knuckle sway bars	200
40. Replace rear steering knuckle sway bars	200
41. Replace front steering knuckle control arms	300
42. Replace rear steering knuckle control arms	300
43. Replace front steering knuckle struts	1,000
44. Replace rear steering knuckle struts	1,000
45. Replace front steering knuckle shock absorbers	800
46. Replace rear steering knuckle shock absorbers	800
47. Replace front steering knuckle suspension springs	400
48. Replace rear steering knuckle suspension springs	400
49. Replace front steering knuckle suspension bushings	200
50. Replace rear steering knuckle suspension bushings	200
51. Replace front steering knuckle suspension ball joints	300
52. Replace rear steering knuckle suspension ball joints	300
53. Replace front steering knuckle suspension tie rod ends	200
54. Replace rear steering knuckle suspension tie rod ends	200
55. Replace front steering knuckle suspension idler arms	200
56. Replace rear steering knuckle suspension idler arms	200
57. Replace front steering knuckle suspension sway bars	200
58. Replace rear steering knuckle suspension sway bars	200
59. Replace front steering knuckle suspension control arms	300
60. Replace rear steering knuckle suspension control arms	300
61. Replace front steering knuckle suspension struts	1,000
62. Replace rear steering knuckle suspension struts	1,000
63. Replace front steering knuckle suspension shock absorbers	800
64. Replace rear steering knuckle suspension shock absorbers	800
65. Replace front steering knuckle suspension suspension springs	400
66. Replace rear steering knuckle suspension suspension springs	400
67. Replace front steering knuckle suspension suspension bushings	200
68. Replace rear steering knuckle suspension suspension bushings	200
69. Replace front steering knuckle suspension suspension ball joints	300
70. Replace rear steering knuckle suspension suspension ball joints	300
71. Replace front steering knuckle suspension suspension tie rod ends	200
72. Replace rear steering knuckle suspension suspension tie rod ends	200
73. Replace front steering knuckle suspension suspension idler arms	200
74. Replace rear steering knuckle suspension suspension idler arms	200
75. Replace front steering knuckle suspension suspension sway bars	200
76. Replace rear steering knuckle suspension suspension sway bars	200
77. Replace front steering knuckle suspension suspension control arms	300
78. Replace rear steering knuckle suspension suspension control arms	300
79. Replace front steering knuckle suspension suspension struts	1,000
80. Replace rear steering knuckle suspension suspension struts	1,000
81. Replace front steering knuckle suspension suspension shock absorbers	800
82. Replace rear steering knuckle suspension suspension shock absorbers	800
83. Replace front steering knuckle suspension suspension suspension springs	400
84. Replace rear steering knuckle suspension suspension suspension springs	400
85. Replace front steering knuckle suspension suspension suspension bushings	200
86. Replace rear steering knuckle suspension suspension suspension bushings	200
87. Replace front steering knuckle suspension suspension suspension ball joints	300
88. Replace rear steering knuckle suspension suspension suspension ball joints	300
89. Replace front steering knuckle suspension suspension suspension tie rod ends	200
90. Replace rear steering knuckle suspension suspension suspension tie rod ends	200
91. Replace front steering knuckle suspension suspension suspension idler arms	200
92. Replace rear steering knuckle suspension suspension suspension idler arms	200
93. Replace front steering knuckle suspension suspension suspension sway bars	200
94. Replace rear steering knuckle suspension suspension suspension sway bars	200
95. Replace front steering knuckle suspension suspension suspension control arms	300
96. Replace rear steering knuckle suspension suspension suspension control arms	300
97. Replace front steering knuckle suspension suspension suspension struts	1,000
98. Replace rear steering knuckle suspension suspension suspension struts	1,000
99. Replace front steering knuckle suspension suspension suspension shock absorbers	800
100. Replace rear steering knuckle suspension suspension suspension shock absorbers	800
101. Replace front steering knuckle suspension suspension suspension suspension springs	400
102. Replace rear steering knuckle suspension suspension suspension suspension springs	400
103. Replace front steering knuckle suspension suspension suspension suspension bushings	200
104. Replace rear steering knuckle suspension suspension suspension suspension bushings	200
105. Replace front steering knuckle suspension suspension suspension suspension ball joints	300
106. Replace rear steering knuckle suspension suspension suspension suspension ball joints	300
107. Replace front steering knuckle suspension suspension suspension suspension tie rod ends	200
108. Replace rear steering knuckle suspension suspension suspension suspension tie rod ends	200
109. Replace front steering knuckle suspension suspension suspension suspension idler arms	200
110. Replace rear steering knuckle suspension suspension suspension suspension idler arms	200
111. Replace front steering knuckle suspension suspension suspension suspension sway bars	200
112. Replace rear steering knuckle suspension suspension suspension suspension sway bars	200
113. Replace front steering knuckle suspension suspension suspension suspension control arms	300
114. Replace rear steering knuckle suspension suspension suspension suspension control arms	300
115. Replace front steering knuckle suspension suspension suspension suspension struts	1,000
116. Replace rear steering knuckle suspension suspension suspension suspension struts	1,000
117. Replace front steering knuckle suspension suspension suspension suspension shock absorbers	800
118. Replace rear steering knuckle suspension suspension suspension suspension shock absorbers	800
119. Replace front steering knuckle suspension suspension suspension suspension suspension springs	400
120. Replace rear steering knuckle suspension suspension suspension suspension suspension springs	400
121. Replace front steering knuckle suspension suspension suspension suspension suspension bush	

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Toilet 15	No : 002/3/1/011	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		18	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		18	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		13	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 03 Dalhousie	UPRN :	FLOOR : First
ROOM : Toilet 14	No : 002/3/1/013	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		18	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		18	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		13	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays**UPRN** :**FLOOR** : Ground**ROOM** : Male WC**No** : 002/4/0/003**USE** :**Element** : WC**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		23	1 No	328
							Year 1 Repair Cost (£)

Element : Basins**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1 No	328
							Year 1 Repair Cost (£)

Element : Cubicles**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower cubicle	Fair	No action required	B		23	1 No	820
							Year 1 Repair Cost (£)

Element : Showers**CODE** : 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Shower heads/mixer valve	Fair	No action required	B		18	1 No	1,148
							Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 39	No : 002/4/0/006	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

Element : Showers		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 38	No : 002/4/0/008	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

Element : Showers		CODE : 7						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148
								Year 1
								Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 37	No : 002/4/0/011	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

Element : Showers		CODE : 7						Replacement
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Cost (£)
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148
								Year 1
								Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 36	No : 002/4/0/013	USE :

Element : WC		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 45	No : 002/4/0/020	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

Element : Showers		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148	
								Year 1 Repair Cost (£)	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 44	No : 002/4/0/022	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WHB	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Showers		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148	
								Year 1 Repair Cost (£)	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 43	No : 002/4/0/024	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 42	No : 002/4/0/027	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 41	No : 002/4/0/029	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet 40	No : 002/4/0/031	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

Element : Showers		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148	
								Year 1 Repair Cost (£)	

BUILDING : Block 04 Keays	UPRN :	FLOOR : Ground
ROOM : Toilet	No : 002/4/0/032	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WHB	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 25	No : 002/4/1/004	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

Element : Showers		CODE : 7																	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity												Replacement Cost (£)	
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No											1,148	
																		Year 1 Repair Cost (£)	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 26	No : 002/4/1/007	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	
Ceramic WHB	Fair	No action required	B		23	1 No	328	
							Year 1 Repair Cost (£)	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 27	No : 002/4/1/009	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 28	No : 002/4/1/012	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 28	No : 002/4/1/012	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 28	No : 002/4/1/012	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 28	No : 002/4/1/012	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 28	No : 002/4/1/012	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 28	No : 002/4/1/012	USE :

Element : WC **CODE :** 7

Element : WC **CODE :** 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		23	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		23	1 No	328

Ceramic WC cistern and bowl	Fair	No action required	B	23	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	23	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	23	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	23	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	23	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	23	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	23	1	No	328
							Year 1 Repair Cost (£)

Element : Basins **CODE :** 7

Element : Basins **CODE :** 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic WHB	Fair	No action required	B		23	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic WHB	Fair	No action required	B		23	1 No	328

Ceramic WHB	Fair	No action required	B	23	1	No	328
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Ceramic WHB	Fair	No action required	B	23	1	No	328
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Ceramic WHB	Fair	No action required	B	23	1	No	328
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Ceramic WHB	Fair	No action required	B	23	1	No	328
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Ceramic WHB	Fair	No action required	B	23	1	No	328
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Ceramic WHB	Fair	No action required	B	23	1	No	328
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Ceramic WHB	Fair	No action required	B	23	1	No	328
							Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 29	No : 002/4/1/014	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 29	No : 002/4/1/014	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 29	No : 002/4/1/014	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 29	No : 002/4/1/014	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 29	No : 002/4/1/014	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 29	No : 002/4/1/014	USE :

Element : WC **CODE :** 7

Element : WC **CODE :** 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		23	1 No	328

Element : WC	CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)

Ceramic WC cistern and bowl	Fair	No action required	B	23	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	23	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	23	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	23	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	23	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	23	1	No	328
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	Year 1
	Repair Cost (£)
1. Replace front suspension	1,200
2. Replace rear suspension	1,500
3. Replace front brakes	800
4. Replace rear brakes	700
5. Replace front wheel alignment	150
6. Replace rear wheel alignment	150
7. Replace front shock absorbers	900
8. Replace rear shock absorbers	1,100
9. Replace front steering rack	1,300
10. Replace rear steering rack	1,400
11. Replace front suspension arms	600
12. Replace rear suspension arms	700
13. Replace front suspension springs	500
14. Replace rear suspension springs	600
15. Replace front suspension bushings	400
16. Replace rear suspension bushings	500
17. Replace front suspension ball joints	300
18. Replace rear suspension ball joints	400
19. Replace front suspension tie rods	200
20. Replace rear suspension tie rods	300
21. Replace front suspension struts	1,000
22. Replace rear suspension struts	1,200
23. Replace front suspension control arms	800
24. Replace rear suspension control arms	900
25. Replace front suspension sway bars	700
26. Replace rear suspension sway bars	800
27. Replace front suspension stabilizer bars	600
28. Replace rear suspension stabilizer bars	700
29. Replace front suspension lower control arms	500
30. Replace rear suspension lower control arms	600
31. Replace front suspension upper control arms	400
32. Replace rear suspension upper control arms	500
33. Replace front suspension steering knuckles	300
34. Replace rear suspension steering knuckles	400
35. Replace front suspension steering rack and pinion	1,500
36. Replace rear suspension steering rack and pinion	1,600
37. Replace front suspension steering knuckle assembly	1,000
38. Replace rear suspension steering knuckle assembly	1,100
39. Replace front suspension steering knuckle ball joint	800
40. Replace rear suspension steering knuckle ball joint	900
41. Replace front suspension steering knuckle tie rod	700
42. Replace rear suspension steering knuckle tie rod	800
43. Replace front suspension steering knuckle strut	600
44. Replace rear suspension steering knuckle strut	700
45. Replace front suspension steering knuckle control arm	500
46. Replace rear suspension steering knuckle control arm	600
47. Replace front suspension steering knuckle sway bar	400
48. Replace rear suspension steering knuckle sway bar	500
49. Replace front suspension steering knuckle stabilizer bar	300
50. Replace rear suspension steering knuckle stabilizer bar	400
51. Replace front suspension steering knuckle lower control arm	200
52. Replace rear suspension steering knuckle lower control arm	300
53. Replace front suspension steering knuckle upper control arm	100
54. Replace rear suspension steering knuckle upper control arm	200
55. Replace front suspension steering knuckle steering rack and pinion	1,000
56. Replace rear suspension steering knuckle steering rack and pinion	1,100
57. Replace front suspension steering knuckle steering knuckle assembly	800
58. Replace rear suspension steering knuckle steering knuckle assembly	900
59. Replace front suspension steering knuckle steering knuckle ball joint	700
60. Replace rear suspension steering knuckle steering knuckle ball joint	800
61. Replace front suspension steering knuckle steering knuckle tie rod	600
62. Replace rear suspension steering knuckle steering knuckle tie rod	700
63. Replace front suspension steering knuckle steering knuckle strut	500
64. Replace rear suspension steering knuckle steering knuckle strut	600
65. Replace front suspension steering knuckle steering knuckle control arm	400
66. Replace rear suspension steering knuckle steering knuckle control arm	500
67. Replace front suspension steering knuckle steering knuckle sway bar	300
68. Replace rear suspension steering knuckle steering knuckle sway bar	400
69. Replace front suspension steering knuckle steering knuckle stabilizer bar	200
70. Replace rear suspension steering knuckle steering knuckle stabilizer bar	300
71. Replace front suspension steering knuckle steering knuckle lower control arm	100
72. Replace rear suspension steering knuckle steering knuckle lower control arm	200
73. Replace front suspension steering knuckle steering knuckle upper control arm	100
74. Replace rear suspension steering knuckle steering knuckle upper control arm	200
75. Replace front suspension steering knuckle steering knuckle steering rack and pinion	1,000
76. Replace rear suspension steering knuckle steering knuckle steering rack and pinion	1,100
77. Replace front suspension steering knuckle steering knuckle steering knuckle assembly	800
78. Replace rear suspension steering knuckle steering knuckle steering knuckle assembly	900
79. Replace front suspension steering knuckle steering knuckle steering knuckle ball joint	700
80. Replace rear suspension steering knuckle steering knuckle steering knuckle ball joint	800
81. Replace front suspension steering knuckle steering knuckle steering knuckle tie rod	600
82. Replace rear suspension steering knuckle steering knuckle steering knuckle tie rod	700
83. Replace front suspension steering knuckle steering knuckle steering knuckle strut	500
84. Replace rear suspension steering knuckle steering knuckle steering knuckle strut	600
85. Replace front suspension steering knuckle steering knuckle steering knuckle control arm	400
86. Replace rear suspension steering knuckle steering knuckle steering knuckle control arm	500
87. Replace front suspension steering knuckle steering knuckle steering knuckle sway bar	300
88. Replace rear suspension steering knuckle steering knuckle steering knuckle sway bar	400
89. Replace front suspension steering knuckle steering knuckle steering knuckle stabilizer bar	200
90. Replace rear suspension steering knuckle steering knuckle steering knuckle stabilizer bar	300
91. Replace front suspension steering knuckle steering knuckle steering knuckle lower control arm	100
92. Replace rear suspension steering knuckle steering knuckle steering knuckle lower control arm	200
93. Replace front suspension steering knuckle steering knuckle steering knuckle upper control arm	100
94. Replace rear suspension steering knuckle steering knuckle steering knuckle upper control arm	200
95. Replace front suspension steering knuckle steering knuckle steering knuckle steering rack and pinion	1,000
96. Replace rear suspension steering knuckle steering knuckle steering knuckle steering rack and pinion	1,100
97. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle assembly	800
98. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle assembly	900
99. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle ball joint	700
100. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle ball joint	800
101. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle tie rod	600
102. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle tie rod	700
103. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle strut	500
104. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle strut	600
105. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle control arm	400
106. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle control arm	500
107. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle sway bar	300
108. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle sway bar	400
109. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle stabilizer bar	200
110. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle stabilizer bar	300
111. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle lower control arm	100
112. Replace rear suspension steering knuckle steering knuckle steering knuckle steering knuckle lower control arm	200
113. Replace front suspension steering knuckle steering knuckle steering knuckle steering knuckle upper control arm	100
114. Replace rear suspension steering knuckle steering knuckle steering knuckle steering	

Element : Basins **CODE :** 7

Element : Basins **CODE :** 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic WHB	Fair	No action required	B		23	1 No	328

Element : Basins	CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Remplacement Cost (£)

Ceramic WHB	Fair	No action required	B	23	1	No	328
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Ceramic WHB	Fair	No action required	B	23	1	No	328
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Ceramic WHB	Fair	No action required	B	23	1	No	328
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Ceramic WHB	Fair	No action required	B	23	1	No	328
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Ceramic WHB	Fair	No action required	B	23	1	No	328
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Ceramic WHB	Fair	No action required	B	23	1	No	328
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	Year 1
	Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 30	No : 002/4/1/016	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		23	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		23	1	No	328
								Year 1 Repair Cost (£)

Element : Showers		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Shower cabinet with prefinished board walls and glazed doors	Fair	No action required	B		18	1	No	1,148	
								Year 1 Repair Cost (£)	

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 31	No : 002/4/1/021	USE :

Element : WC		CODE :7																	
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity												Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		15	1	No											328	
																		Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		2	1	No	328
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 32	No : 002/4/1/023	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 32	No : 002/4/1/023	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 32	No : 002/4/1/023	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 32	No : 002/4/1/023	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 32	No : 002/4/1/023	USE :

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 32	No : 002/4/1/023	USE :

Element : WC **CODE :** 7

Element : WC **CODE :** 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		15	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		15	1 No	328

Ceramic WC cistern and bowl	Fair	No action required	B	15	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	15	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	15	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	15	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	15	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	15	1	No	328
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Ceramic WC cistern and bowl	Fair	No action required	B	15	1	No	328
							Year 1 Repair Cost (£)

Element : Basins **CODE :** 7

Element : Basins **CODE :** 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic WHB	Fair	No action required	B		2	1 No	328

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
Ceramic WHB	Fair	No action required	B		2	1 No	328

Ceramic WHB	Fair	No action required	B	2	1	No	328
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Ceramic WHB	Fair	No action required	B	2	1	No	328
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Ceramic WHB	Fair	No action required	B	2	1	No	328
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Ceramic WHB	Fair	No action required	B	2	1	No	328
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Ceramic WHB	Fair	No action required	B	2	1	No	328
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Ceramic WHB	Fair	No action required	B	2	1	No	328
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Ceramic WHB	Fair	No action required	B	2	1	No	328
							Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 33	No : 002/4/1/026	USE :

Element : WC	CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WC cistern and bowl	Fair	No action required	B		15	1	No	328
								Year 1 Repair Cost (£)

Element : Basins	CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Poor	Replace	C	4	Replace/In	1	No	328
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 34	No : 002/4/1/028	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		15	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		2	1	No	328
								Year 1 Repair Cost (£)

BUILDING : Block 04 Keays	UPRN :	FLOOR : First
ROOM : Toilet 35	No : 002/4/1/030	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		15	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		2	1	No	328
								Year 1 Repair Cost (£)

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Kitchen	No : 002/7/0/002	USE :

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Kitchen	No : 002/7/0/002	USE :

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Kitchen	No : 002/7/0/002	USE :

ROOM : Kitchen **No :** 002/7/0/002 **USE :**

ROOM : Kitchen **No :** 002/7/0/002 **USE :**

ROOM : Kitchen **No :** 002/7/0/002 **USE :**

Element : Sinks **CODE :** 7

Element : Sinks **CODE :** 7

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
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Plastic sink and drainer	Fair	No action required	B	12	1	No	328
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Description		Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
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Plastic sink and drainer	Fair	No action required	B	12	1	No	328
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Plastic sink and drainer	Fair	No action required	B	12	1	No	328
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Plastic sink and drainer	Fair	No action required	B	12	1	No	328
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Plastic sink and drainer	Fair	No action required	B	12	1	No	328
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Plastic sink and drainer	Fair	No action required	B	12	1	No	328
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Plastic sink and drainer	Fair	No action required	B	12	1	No	328
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	Year 1
	Repair Cost (£)
1. Replace front suspension	1,200
2. Replace rear suspension	1,500
3. Replace front brakes	800
4. Replace rear brakes	700
5. Replace front wheel bearings	600
6. Replace rear wheel bearings	500
7. Replace front struts	900
8. Replace rear struts	800
9. Replace front shock absorbers	700
10. Replace rear shock absorbers	600
11. Replace front tie rods	400
12. Replace rear tie rods	300
13. Replace front control arms	500
14. Replace rear control arms	400
15. Replace front sway bars	300
16. Replace rear sway bars	200
17. Replace front lower ball joints	400
18. Replace rear lower ball joints	300
19. Replace front upper ball joints	300
20. Replace rear upper ball joints	200
21. Replace front steering knuckles	500
22. Replace rear steering knuckles	400
23. Replace front steering rack	600
24. Replace rear steering rack	500
25. Replace front steering idler arms	300
26. Replace rear steering idler arms	200
27. Replace front steering tie rod ends	400
28. Replace rear steering tie rod ends	300
29. Replace front steering knuckle boots	200
30. Replace rear steering knuckle boots	100
31. Replace front steering knuckle bushings	100
32. Replace rear steering knuckle bushings	100
33. Replace front steering knuckle ball joints	200
34. Replace rear steering knuckle ball joints	100
35. Replace front steering knuckle tie rod ends	100
36. Replace rear steering knuckle tie rod ends	100
37. Replace front steering knuckle idler arms	100
38. Replace rear steering knuckle idler arms	100
39. Replace front steering knuckle sway bars	100
40. Replace rear steering knuckle sway bars	100
41. Replace front steering knuckle control arms	100
42. Replace rear steering knuckle control arms	100
43. Replace front steering knuckle struts	100
44. Replace rear steering knuckle struts	100
45. Replace front steering knuckle shock absorbers	100
46. Replace rear steering knuckle shock absorbers	100
47. Replace front steering knuckle tie rods	100
48. Replace rear steering knuckle tie rods	100
49. Replace front steering knuckle control arm bushings	100
50. Replace rear steering knuckle control arm bushings	100
51. Replace front steering knuckle idler arm bushings	100
52. Replace rear steering knuckle idler arm bushings	100
53. Replace front steering knuckle sway bar bushings	100
54. Replace rear steering knuckle sway bar bushings	100
55. Replace front steering knuckle control arm ball joints	100
56. Replace rear steering knuckle control arm ball joints	100
57. Replace front steering knuckle idler arm ball joints	100
58. Replace rear steering knuckle idler arm ball joints	100
59. Replace front steering knuckle sway bar ball joints	100
60. Replace rear steering knuckle sway bar ball joints	100
61. Replace front steering knuckle control arm tie rod ends	100
62. Replace rear steering knuckle control arm tie rod ends	100
63. Replace front steering knuckle idler arm tie rod ends	100
64. Replace rear steering knuckle idler arm tie rod ends	100
65. Replace front steering knuckle sway bar tie rod ends	100
66. Replace rear steering knuckle sway bar tie rod ends	100
67. Replace front steering knuckle control arm shock absorbers	100
68. Replace rear steering knuckle control arm shock absorbers	100
69. Replace front steering knuckle idler arm shock absorbers	100
70. Replace rear steering knuckle idler arm shock absorbers	100
71. Replace front steering knuckle sway bar shock absorbers	100
72. Replace rear steering knuckle sway bar shock absorbers	100
73. Replace front steering knuckle control arm tie rod ends	100
74. Replace rear steering knuckle control arm tie rod ends	100
75. Replace front steering knuckle idler arm tie rod ends	100
76. Replace rear steering knuckle idler arm tie rod ends	100
77. Replace front steering knuckle sway bar tie rod ends	100
78. Replace rear steering knuckle sway bar tie rod ends	100
79. Replace front steering knuckle control arm shock absorbers	100
80. Replace rear steering knuckle control arm shock absorbers	100
81. Replace front steering knuckle idler arm shock absorbers	100
82. Replace rear steering knuckle idler arm shock absorbers	100
83. Replace front steering knuckle sway bar shock absorbers	100
84. Replace rear steering knuckle sway bar shock absorbers	100
85. Replace front steering knuckle control arm tie rod ends	100
86. Replace rear steering knuckle control arm tie rod ends	100
87. Replace front steering knuckle idler arm tie rod ends	100
88. Replace rear steering knuckle idler arm tie rod ends	100
89. Replace front steering knuckle sway bar tie rod ends	100
90. Replace rear steering knuckle sway bar tie rod ends	100
91. Replace front steering knuckle control arm shock absorbers	100
92. Replace rear steering knuckle control arm shock absorbers	100
93. Replace front steering knuckle idler arm shock absorbers	100
94. Replace rear steering knuckle idler arm shock absorbers	100
95. Replace front steering knuckle sway bar shock absorbers	100
96. Replace rear steering knuckle sway bar shock absorbers	100
97. Replace front steering knuckle control arm tie rod ends	100
98. Replace rear steering knuckle control arm tie rod ends	100
99. Replace front steering knuckle idler arm tie rod ends	100
100. Replace rear steering knuckle idler arm tie rod ends	100
101. Replace front steering knuckle sway bar tie rod ends	100
102. Replace rear steering knuckle sway bar tie rod ends	100
103. Replace front steering knuckle control arm shock absorbers	100
104. Replace rear steering knuckle control arm shock absorbers	100
105. Replace front steering knuckle idler arm shock absorbers	100
106. Replace rear steering knuckle idler arm shock absorbers	100
107. Replace front steering knuckle sway bar shock absorbers	100
108. Replace rear steering knuckle sway bar shock absorbers	100
109. Replace front steering knuckle control arm tie rod ends	100
110. Replace rear steering knuckle control arm tie rod ends	100
111. Replace front steering knuckle idler arm tie rod ends	100
112. Replace rear steering knuckle idler arm tie rod ends	100
113. Replace front steering knuckle sway bar tie rod ends	100
114. Replace rear steering knuckle sway bar tie rod ends	100
115. Replace front steering knuckle control arm shock absorbers	100
116. Replace rear steering knuckle control arm shock absorbers	100
117. Replace front steering knuckle idler arm shock absorbers	100
118. Replace rear steering knuckle idler arm shock absorbers	100
119. Replace front steering knuckle sway bar shock absorbers	100
120. Replace rear steering knuckle sway bar shock absorbers	100
121. Replace front steering knuckle control arm tie rod ends	

Repair Cost (£)

BUILDING : Block 07 Flat 1A	UPRN :	FLOOR : Ground
ROOM : Bathroom	No : 002/7/0/004	USE :

Element : WC		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WC cistern and bowl	Fair	No action required	B		22	1	No	328
								Year 1 Repair Cost (£)
Element : Basins		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Ceramic WHB	Fair	No action required	B		22	1	No	328
								Year 1 Repair Cost (£)
Element : Showers		CODE : 7						Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		
Shower cabinet with glazed door	Fair	No action required	B		17	1	No	1,148
								Year 1 Repair Cost (£)

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Bathroom	No : 002/8/0/005	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC bowl and plastic cistern	Fair	No action required	B		17	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WHB	Fair	No action required	B		17	1	No	328	
								Year 1 Repair Cost (£)	

Element : Showers		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Shower cabinet with prefinished board walls and glazed door	Fair	No action required	B		12	1	No	1,148	
								Year 1 Repair Cost (£)	

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Toilet	No : 002/8/0/006	USE :

Element : WC		CODE :7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)	
Ceramic WC cistern and bowl	Fair	No action required	B		17	1	No	328	
								Year 1 Repair Cost (£)	

Element : Basins		CODE : 7						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Ceramic WHB	Fair	No action required	B		17	1	No	328
								Year 1 Repair Cost (£)

BUILDING : Block 08 Lodge	UPRN :	FLOOR : Ground
ROOM : Kitchen	No : 002/8/0/007	USE :

Element : Sinks	CODE : 7							
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity		Replacement Cost (£)
Plastic sink and drainer	Fair	No action required	B		7	1	No	328
								Year 1 Repair Cost (£)

MECHANICAL SERVICES

BUILDING : Block 01 Kyd

UPRN :

FLOOR : M&E

ROOM : M & E

No : 002/1/M&E/M&E

USE :

Element : Gas Heating System

CODE : 13

Description

Heating was provided by 2 Remeha Quinta 65 Gas fired boilers. Hot water from the system was pumped round the bld to a number of convection radiators, by a Grundfos pumping setup.

Condition

The heating and its associated equipment were in fair condition however it was noted that the control of the radiators via the TRV's was poor, within rooms 3, 5 & 7 the radiators were cold when on settings 3 & 4, when TRV turned slightly the radiator appeared to heat to maximum temperature.

Action

Continue maintenance
It is recommended that the set up of the TRV's is investigated.

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

40,000

**Year 1
Repair Cost (£)**

Element : Extraction System

CODE : 13

Description

There was a mix of Manrose, Vectaire and Vent Axia single point extractors in use within the toilets in the resident's rooms. Single point Delta Extract extractors are installed within communal toilets. Within the kitchen an industrial Canopy Extractor was installed and a Vent Axia extractor fitted. A mix of Vent Axia and Xpelair extraction units were installed within the Laundry room.

Condition

The condition of these were fair

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

30,000

**Year 1
Repair Cost (£)**

with no defects noted.

Element : Domestic Hot Water		CODE : 13					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Hot water was provided by two A.O.Smith Gas Fired DHW Boilers. The water was pumped throughout the bld by Grundfos pumps. All pipework was lagged and identified.	The condition of this was fair with no defects noted.	Continue Maintenance	B		15		20,000
							Year 1 Repair Cost (£)

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : M&E**ROOM** : M & E**No** : 002/2/M&E/M&E**USE** :**Element** : Gas Heating System**CODE** : 13**Description**

Heating was provided by 2 Remeha Quinta 65 Gas fired boilers. Hot water from system was pumped round the bld to a number of convection radiators, by a Grundfos pumping setup.

Condition

The heating and its associated equipment were in fair condition with no defects evident. However within the boiler room there was evidence of water pooling on the floor. There was also a hose within the boiler room which appeared to be redundant,

Action

Continue maintenance the source of the pool of water is unknown and should be investigated further. it is recommended that the hose purpose be ascertained.

Cond/Ind **Priority**

B

L'Expec

15

Quantity**Replacement
Cost (£)**

40,000

**Year 1
Repair Cost (£)****Photo 1****Photo 2****Position****Element** : Domestic Hot Water**CODE** : 13**Description**

Hot water was provided by the main boiler to a Calorfier, the water was pumped throughout the bld by Grundfos pumps. All pipework was lagged and identified.

Condition

The condition of this was fair

Action

Continue Maintenance

Cond/Ind **Priority**

B

L'Expec

15

Quantity**Replacement
Cost (£)**

25,000

**Year 1
Repair Cost (£)**

with no defects noted.



BUILDING : Block 03 Dalhousie**UPRN** :**FLOOR** : M&E**ROOM** : M & E**No** : 002/3/M&E/M&E**USE** :**Element** : Gas Heating System**CODE** : 13**Description**

Heating was provided by 2 Remeha Quinta 65 Gas fired boilers located in the McKinney block. Hot water from system was pumped round the bld to a number of convection radiators, by a Grundfos pumping setup.

Condition

The heating and its associated equipment were in fair condition with no defects evident.

Action

Continue maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity**Replacement Cost (£)**

10,000

Year 1 Repair Cost (£)**Element** : Extraction System**CODE** : 13**Description**

There was a mix of Manrose, Vectaire and Vent Axia single point extractors in use within the toilets in the resident's rooms.

Condition

The condition of these were fair with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity**Replacement Cost (£)**

800

Year 1 Repair Cost (£)**Element** : Domestic Hot Water**CODE** : 13**Description**

Hot water was provided by an electric Calorifier, the water was pumped throughout the bld by Grundfos pumps.

Condition

The condition of this was fair with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity**Replacement Cost (£)**

15,000

Year 1 Repair Cost (£)

BUILDING : Block 04 Keays**UPRN** :**FLOOR** : M&E**ROOM** : M & E**No** : 002/4/M&E/M&E**USE** :**Element** : Gas Heating System**CODE** : 13**Description**

Heating was provided by a Powrmatic Gas fired boiler. Hot water from system was pumped round the bld to a number of convection radiators by a Grundfos pumping setup.

Condition

The heating and its associated equipment were in fair condition with no defects evident.

Action

Continue maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity**Replacement Cost (£)**

50,000

Year 1 Repair Cost (£)**Element** : Extraction System**CODE** : 13**Description**

There was a mix of Manrose, Vectaire and Vent Axia single point extractors in use within the toilets in the resident's rooms.

Condition

The condition of these were fair with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity**Replacement Cost (£)**

8,000

Year 1 Repair Cost (£)**Element** : Domestic Hot Water**CODE** : 13**Description**

Hot water was provided by the main boiler to a Calorfier, the water was pumped throughout the bld by Grundfos pumps. All pipework was lagged and identified.

Condition

The condition of this was fair with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

15

Quantity**Replacement Cost (£)**

20,000

Year 1 Repair Cost (£)

BUILDING : Block 05 Dining	UPRN :	FLOOR : M & E
ROOM : M & E	No : 002/5//	USE :

Element : Extraction System		CODE : 13					Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	
The dining area has a Roof Units Group extraction system in place.	The condition of this was fair with no defects noted.	Continue Maintenance	B		15		30,000
							Year 1 Repair Cost (£)

BUILDING : Block 06 Greenhouse	UPRN :	FLOOR : M&E
ROOM : M & E	No : 002/6/M&E/	USE :

Element : Electrical Heating System		CODE : 13					Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	
This consisted of electric tubular heaters.	The heating and its associated equipment were in fair condition with no defects evident.	Continue maintenance	B		15		750
							Year 1 Repair Cost (£)

BUILDING : Block 07 Flat 1A**UPRN** :**FLOOR** : M&E**ROOM** : M & E**No** : 002/6/M&E/M&E**USE** :**Element** : Gas Heating System**CODE** : 13**Description**

Heating was provided by boilers within the Keays block of the main bld. Hot water from the system was pumped round the bld to a number of convection radiators.

Condition

The heating and its associated equipment were in fair condition with no defects evident.

Action

Continue maintenance

Cond/Ind

B

Priority**L'Expec**

15

Quantity**Replacement
Cost (£)**

1,000

**Year 1
Repair Cost (£)****Element** : Extraction System**CODE** : 13**Description**

Within the toilet an Aidelle Loovent extractor is fitted and a domestic extractor hood is fitted within the kitchen.

Condition

The condition of these were fair with no defects noted.

Action

Continue Maintenance

Cond/Ind

B

Priority**L'Expec**

15

Quantity**Replacement
Cost (£)**

150

**Year 1
Repair Cost (£)****Element** : Domestic Hot Water**CODE** : 13**Description**

Hot water was supplied by a 3Kw single electric immersion Calorfier.

Condition

The condition of this was fair with no defects noted.

Action

Continue Maintenance

Cond/Ind

B

Priority**L'Expec**

15

Quantity**Replacement
Cost (£)**

1,000

**Year 1
Repair Cost (£)**

BUILDING : Block 08 Lodge	UPRN :	FLOOR : M&E
ROOM : M & E	No : 002/8/M&E/M&E	USE :

Element : Gas Heating System		CODE : 13					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Heating was provided by a Saunier Duval Combi-boiler. Hot water from system was pumped round the bld to a number of convection radiators.	The heating and its associated equipment were in fair condition with no defects evident.	Continue maintenance	B		15		7,000
							Year 1 Repair Cost (£)
Element : Extraction System		CODE : 13					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Within the shower a domestic extractor fitted and a domestic extractor hood is fitted within the kitchen.	The condition of these were fair with no defects noted.	Continue Maintenance	B		15		200
							Year 1 Repair Cost (£)
Element : Domestic Hot Water		CODE : 13					
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
Hot water was supplied by the Combi-boiler to the kitchen, toilet and bathroom.	The condition of this was fair with no defects noted.	Continue Maintenance	B		15		1,000
							Year 1 Repair Cost (£)

ELECTRICAL SERVICES

BUILDING : Block 01 Kyd

UPRN :

FLOOR : M&E

ROOM : M & E

No : 002/1/M&E/M&E

USE :

Element : Incoming Mains & Metering **CODE :** 14

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Power is supplied from the main REC supplies. This feeds a switching system supplying a number of Distribution Boards (DB).	All were in fair condition. However it was noted that no statutory signage was evident. Evidence of cables disconnected from the DB and left in place.	Continue Maintenance Provide Statutory Signage BS7671 states that all redundant cabling should be removed.	B		20		15,000	

Photo 1



Photo 2

Position

Element : Mains Distribution

CODE : 14

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Power distribution was via a mix of Wylex, GEC and Merlin Gerin DBs located around the bld. Wiring was contained within trunking. This also houses the IT	All were in a fair condition with no	Continue Maintenance	B		20		55,000	

defects noted. However there was evidence of extension leads and 3-way adapters in use throughout the bld.	It is recommended that the use of extensions is reviewed and the removal of 3-way adapters is considered.
--	---

Position

Element : Light Fittings Internal		CODE : 14					Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Year 1 Repair Cost (£)
In the main this was T8, (fitted with anti glare diffusers) tungsten and 2D fluorescent fittings. The corridors were controlled by PIR's all other lighting were manually controlled.	The condition of the system was fair with no defects noted.	Continue maintenance This survey did not look at system compliance, a further lighting compliance survey would be required.	B		20		25,000

Element : Light Fittings Internal

CODE : 14

Description

This consisted of a mix of maintained and non-maintained self contained fittings.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind

B

Priority

L'Expec

20

Quantity

**Replacement
Cost (£)**

8,000

**Year 1
Repair Cost (£)**

Element : Light Fittings External

CODE : 14

Description

This consisted of a number of Halogen Floodlight and Spotlights which are controlled by dawn/dusk sensors.

Condition

The condition of the lighting and its associated equipment was fair with no defects noted.

Action

Continue Maintenance
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind

B

Priority

L'Expec

20

Quantity

**Replacement
Cost (£)**

2,500

**Year 1
Repair Cost (£)**

Element : I.T.

CODE : 14

Description

The bld is connected to the main Council IT network via a Netgear Router located within the Managers office. This provides a secure wireless network throughout the building.

Condition

The condition of the IT network was fair with no defects noted.

Action

Continue Maintenance

Cond/Ind

B

Priority

L'Expec

20

Quantity

**Replacement
Cost (£)**

150

**Year 1
Repair Cost (£)**

Element : C.C.T.V.

CODE : 14

Description

A 7-camera CCTV system is in use. This covers the entrances and the ground boundaries .

Condition

The condition of these was fair with no defects noted.

Action

Continue Maintenance

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

10,000

**Year 1
Repair Cost (£)**

Element : Fire Alarms

CODE : 14

Description

An automatic system consisting of a number of break glass manual call points, detectors and audible alarms connected to a Gent Vigilon Compact control panel.

Condition

The condition of the system was fair with no defects noted.

Action

Continue Maintenance.
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

15,000

**Year 1
Repair Cost (£)**

Element : Security Systems

CODE : 14

Description

There is a secure door entry installed and the bld is protected by a Nova alarm system.

Condition

The condition of this was fair with no defects noted.

Action

Continue maintenance

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

13,000

**Year 1
Repair Cost (£)**

BUILDING : Block 02 McKinney**UPRN** :**FLOOR** : M&E**ROOM** : M & E**No** : 002/2/M&E/M&E**USE** :**Element** : Mains Distribution**CODE** : 14**Description**

Power distribution was via a mix of Wylex, GEC and Merlin Gerin DBs located around the bld. Wiring was contained within trunking. This also houses the IT & Telephone system.

Condition

All were in a fair condition with no defects noted. However there was evidence of extensions in use.

Action

Continue Maintenance
It is recommended that the use of extensions is reviewed

Cond/Ind

B

Priority**L'Expec**

20

Quantity**Replacement Cost (£)**

40,000

Year 1 Repair Cost (£)**Element** : Light Fittings Internal**CODE** : 14**Description**

In the main this was T8, (fitted with anti glare diffusers) tungsten and 2D fluorescent fittings. The corridors were controlled by PIR's all other lighting were manually controlled.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind

B

Priority**L'Expec**

20

Quantity**Replacement Cost (£)**

25,000

Year 1 Repair Cost (£)**Element** : Light Fittings Internal**CODE** : 14**Description**

This consisted of a mix of maintained and non-maintained self contained fittings.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind

B

Priority**L'Expec**

20

Quantity**Replacement Cost (£)**

8,000

Year 1 Repair Cost (£)

Element : Light Fittings External

CODE : 14

Description

This consisted of a number of Halogen Floodlight and Spotlights which are controlled by dawn/dusk sensors.

Condition

The condition of the lighting and its associated equipment was fair with no defects noted.

Action

Continue Maintenance
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

2,500

**Year 1
Repair Cost (£)**

Element : Fire Alarms

CODE : 14

Description

An automatic system consisting of a number of break glass manual call points, detectors and audible alarms connected to the main Gent Vigilon Compact control panel.

Condition

The condition of the system was fair with no defects noted.

Action

Continue Maintenance.
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

10,000

**Year 1
Repair Cost (£)**

BUILDING : Block 03 Dalhousie**UPRN** :**FLOOR** : M&E**ROOM** : M & E**No** : 002/3/M&E/M&E**USE** :**Element** : Mains Distribution**CODE** : 14**Description**

Power distribution was via a mix of Wylex, GEC and Merlin Gerin DBs located around the bld. Wiring was contained within trunking. This also houses the IT & Telephone system.

Condition

All were in a fair condition with no defects noted.

Action

Continue Maintenance

Cond/Ind

B

Priority**L'Expec**

20

Quantity**Replacement
Cost (£)**

15,000

**Year 1
Repair Cost (£)****Element** : Light Fittings Internal**CODE** : 14**Description**

In the main this was T8, (fitted with anti glare diffusers) tungsten and 2D fluorescent fittings. The corridors were controlled by PIR's all other lighting were manually controlled.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind

B

Priority**L'Expec**

20

Quantity**Replacement
Cost (£)**

10,000

**Year 1
Repair Cost (£)****Element** : Light Fittings Internal**CODE** : 14**Description**

This consisted of a mix of maintained and non-maintained self contained fittings.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind

B

Priority**L'Expec**

20

Quantity**Replacement
Cost (£)**

5,000

**Year 1
Repair Cost (£)**

Element : Light Fittings External

CODE : 14

Description

This consisted of a number of Halogen Floodlight and Spotlights which are controlled by dawn/dusk sensors.

Condition

The condition of the lighting and its associated equipment was fair with no defects noted.

Action

Continue Maintenance
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind

B

Priority

L'Expec

20

Quantity

**Replacement
Cost (£)**

1,000

**Year 1
Repair Cost (£)**

Element : Fire Alarms

CODE : 14

Description

An automatic system consisting of a number of break glass manual call points, detectors and audible alarms connected to the main Gent Vigilon Compact control panel.

Condition

The condition of the system was fair with no defects noted.

Action

Continue Maintenance.
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind

B

Priority

L'Expec

20

Quantity

**Replacement
Cost (£)**

6,000

**Year 1
Repair Cost (£)**

BUILDING : Block 04 Keays**UPRN** :**FLOOR** : M&E**ROOM** : M & E**No** : 002/4/M&E/M&E**USE** :**Element** : Mains Distribution**CODE** : 14**Description**

Power distribution was via a mix of Wylex, GEC and Merlin Gerin DBs located around the bld. Wiring was contained within trunking. This also houses the IT & Telephone system.

Condition

All were in a fair condition with no defects noted.

Action

Continue Maintenance

Cond/Ind

B

Priority**L'Expec**

20

Quantity**Replacement
Cost (£)**

50,000

**Year 1
Repair Cost (£)****Element** : Light Fittings Internal**CODE** : 14**Description**

In the main this was T8, (fitted with anti glare diffusers) tungsten and 2D fluorescent fittings. The corridors were controlled by PIR's all other lighting were manually controlled.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind

B

Priority**L'Expec**

20

Quantity**Replacement
Cost (£)**

25,000

**Year 1
Repair Cost (£)****Element** : Light Fittings Internal**CODE** : 14**Description**

This consisted of a mix of maintained and non-maintained self contained fittings.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind

B

Priority**L'Expec**

20

Quantity**Replacement
Cost (£)**

8,000

**Year 1
Repair Cost (£)**

Element : Light Fittings External

CODE : 14

Description

This consisted of a number of Halogen Floodlight and Spotlights which are controlled by dawn/dusk sensors.

Condition

The condition of the lighting and its associated equipment was fair with no defects noted.

Action

Continue Maintenance
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

2,500

**Year 1
Repair Cost (£)**

Element : Fire Alarms

CODE : 14

Description

An automatic system consisting of a number of break glass manual call points, detectors and audible alarms connected to the main Gent Vigilon Compact control panel.

Condition

The condition of the system was fair with no defects noted.

Action

Continue Maintenance.
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

10,000

**Year 1
Repair Cost (£)**

BUILDING : Block 05 Dining	UPRN :	FLOOR : M & E
ROOM : M & E	No : 002/5//	USE :

Element : Light Fittings Internal		CODE : 14					Replacement Cost (£)
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	
This consisted of T8, (fitted with anti glare diffusers) fluorescent fittings.	The condition of the system was fair with no defects noted.	Continue maintenance This survey did not look at system compliance, a further lighting compliance survey would be required.	B		20		5,000
							Year 1 Repair Cost (£)

BUILDING : Block 06 Greenhouse	UPRN :	FLOOR : M&E
ROOM : M & E	No : 002/6/M&E/	USE :

Element : Light Fittings Internal

CODE : 14

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
This consisted of tungsten bulkhead fittings.	The condition of the system was fair with no defects noted.	Continue maintenance	B		20		500
							Year 1 Repair Cost (£)

Element : Light Fittings External

CODE : 14

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Cost (£)
This consisted of a Halogen floodlight with PIR control.	The condition of this was fair with no defects noted.	Continue Maintenance	B		20		50
							Year 1 Repair Cost (£)

BUILDING : Block 07 Flat 1A**UPRN** :**FLOOR** : M&E**ROOM** : M & E**No** : 002/6/M&E/M&E**USE** :**Element** : Mains Distribution**CODE** : 14**Description**

Power distribution was via a MEM DB located within a cupboard in the hallway. Wiring was contained within the walls of the bld.

Condition

All were in a fair condition with no defects noted.

Action

Continue Maintenance

Cond/Ind

B

Priority**L'Expec**

20

Quantity**Replacement
Cost (£)**

5,000

**Year 1
Repair Cost (£)****Element** : Sub Mains Distribution**CODE** : 14**Description**

An electrical power supply from the house supply has been installed.

Condition

This is connected directly to a twin socket. The supply to a single tungsten light is wired into the rear of the socket and a RCD is plugged into the socket protecting a 4-way extension.

Action

The supply to the shed should be from a dedicated circuit with rcd protection. This should then supply DB within the shed. From this the lighting and socket supplies should be supplied from dedicated circuits. Both should have rcd protection and the sockets installed should be external sockets. It is recommended that this installation complies with the requirements of BS7671.

Cond/Ind

B

Priority**L'Expec**

20

Quantity**Replacement
Cost (£)**

250

**Year 1
Repair Cost (£)**

Photo 1



Photo 2

Position

Element : Light Fittings Internal**CODE : 14****Description**

In the main this was a mix of tungsten, CFL, and T8 fittings. There were no signs of automatic controls.

Condition

The condition of the system was fair with no defects noted.

Action

Continue maintenance
This survey did not look at system compliance, a further lighting compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity**Replacement Cost (£)**

1,000

Year 1 Repair Cost (£)**Element : Light Fittings External****CODE : 14****Description**

This consisted of tungsten fitting with PIR control front of the bld. At the rear of the bld there is a Halogen fitting with PIR control.

Condition

The condition of the lighting and its associated equipment was fair with no defects noted.

Action

Continue Maintenance
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity**Replacement Cost (£)**

250

Year 1 Repair Cost (£)

Element : Fire Alarms

CODE : 14

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Smoke detectors connected to the main bld Fire Alarm System have been installed.	The condition of the system was fair with no defects noted.	Continue Maintenance. This survey did not look at system compliance, a further in depth compliance survey would be required.	B		20		750	

Element : Security Systems

CODE : 14

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
The bld is protected by a Nova alarm system.	The condition of this was fair with no defects noted.	Continue maintenance	B		20		1,500	

BUILDING : Block 08 Lodge**UPRN** :**FLOOR** : M&E**ROOM** : M & E**No** : 002/8/M&E/M&E**USE** :**Element** : Incoming Mains & Metering **CODE** : 14

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Power is supplied from the main REC supplies. This feeds a MEM Distribution Board (DB). The main incomer and associated equipment were located within a dedicated cupboard in the hallway.	All were in fair condition with no defects evident.	Continue Maintenance	B		20		1,500	

Element : Mains Distribution **CODE** : 14

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
Power distribution was via a MEM DB located within a cupboard in the hallway. Wiring was contained within the walls of the bld.	All were in a fair condition with no defects noted.	Continue Maintenance	B		20		5,000	

Element : Light Fittings Internal **CODE** : 14

Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)	Year 1 Repair Cost (£)
In the main this was a mix of tungsten and CFL fittings. There were no signs of automatic controls.	The condition of the system was fair with no defects noted.	Continue maintenance This survey did not look at system compliance, a further lighting compliance survey would be required.	B		20		1,000	

Element : Light Fittings External

CODE : 14

Description

This consisted of tungsten fitting with PIR control and a Halogen fitting with Dawn/dusk and PIR control at the rear of the bld. At the front of the bld there is Halogen fittings with PIR control.

Condition

The condition of the lighting and its associated equipment was fair with no defects noted.

Action

Continue Maintenance
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

250

**Year 1
Repair Cost (£)**

Element : Fire Alarms

CODE : 14

Description

There are two battery operated smoke detectors situated within the hallway.

Condition

The condition of the system was fair with no defects noted.

Action

Continue Maintenance.
This survey did not look at system compliance, a further in depth compliance survey would be required.

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

50

**Year 1
Repair Cost (£)**

Element : Security Systems

CODE : 14

Description

The bld is protected by a Nova alarm system.

Condition

The condition of this was fair with no defects noted.

Action

Continue maintenance

Cond/Ind Priority

B

L'Expec

20

Quantity

**Replacement
Cost (£)**

1,500

**Year 1
Repair Cost (£)**

OTHER M&E

BUILDING : Block 01 Kyd

UPRN :

FLOOR : M&E

ROOM : M & E

No : 002/1/M&E/M&E

USE :

Element : Elevator/Lifts

CODE : 15

Description

There was a passenger lift installed.

Condition

The condition of this and its associated equipment was fair with no defects noted

Action

Continue maintenance.

Cond/Ind Priority

B

L'Expec

15

Quantity

**Replacement
Cost (£)**

80,000

**Year 1
Repair Cost (£)**

BUILDING : Block 04 Keays	UPRN :	FLOOR : M&E
ROOM : M & E	No : 002/4/M&E/M&E	USE :

Element : Elevator/Lifts	CODE : 15						
Description	Condition	Action	Cond/Ind	Priority	L'Expec	Quantity	Replacement Cost (£)
There was a passenger lift installed.	The condition of this and its associated equipment was fair with no defects noted	Continue maintenance.	B		15		80,000
							Year 1 Repair Cost (£)



SECTION 6

Life Cycle Costing Report 30 years

Description	Repair					Replacement				Replacement Total	Immediate Action Total
	Priority 1	Priority 2	Priority 3	Priority 4	Repair Total	Priority 1	Priority 2	Priority 3	Priority 4		
Block 01 Kyd											
ROOFS->Covering			£1,050		£1,050					£0	£1,050
ROOFS->Structure					£0					£0	£0
ROOFS->Flashings			£2,015		£2,015					£0	£2,015
ROOFS->Parapets					£0					£0	£0
ROOFS->Rainwater goods			£70		£70					£0	£70
ROOFS->Chimney stacks/flues				£230	£230					£0	£230
ROOFS->TV aerials/dishes etc					£0					£0	£0
ROOFS->Decoration					£0					£0	£0
ROOFS->Roof Lights					£0					£0	£0
WALLS->External walls					£0					£0	£0
WALLS->Windows					£0					£0	£0
WALLS->Doors					£0					£0	£0
WALLS->External joinery					£0					£0	£0
WALLS->Decoration					£0				£246	£246	£246
EXTERNAL GROUNDS->Roads & Parking Areas					£0					£0	£0
EXTERNAL GROUNDS->Underground Drainage											
EXTERNAL GROUNDS->Paths & Paving				£300	£300					£0	£300
EXTERNAL GROUNDS->Steps/ramps											
EXTERNAL GROUNDS->Handrails					£0					£0	£0
EXTERNAL GROUNDS->Boundary fencing/walls					£0					£0	£0
EXTERNAL GROUNDS->Outdoor Sports Facilities / Fixed Furniture					£0					£0	£0
STRUCTURE->Floors											
STRUCTURE->Stairs											
STRUCTURE->Walls											
ROOMS->Ceilings				£400	£400					£0	£400
ROOMS->Walls				£750	£750					£0	£750
ROOMS->Partitions					£0					£0	£0
ROOMS->Windows					£0					£0	£0
ROOMS->Doors				£300	£300					£0	£300
ROOMS->Floors				£50	£50					£0	£50
ROOMS->Decoration				£50	£50				£943	£943	£993
FIXTURES & FITTINGS->Shelving					£0					£0	£0
FIXTURES & FITTINGS->Worktops					£0					£0	£0
FIXTURES & FITTINGS->Built in cupboards					£0					£0	£0
SANITARY->WC					£0					£0	£0
SANITARY->Basins					£0					£0	£0
SANITARY->>Showers					£0					£0	£0
SANITARY->Sinks					£0					£0	£0
SANITARY->>Baths					£0					£0	£0
MECHANICAL SERVICES->Gas Heating System					£0					£0	£0
MECHANICAL SERVICES->Extraction System					£0					£0	£0
MECHANICAL SERVICES->Domestic Hot Water					£0					£0	£0
ELECTRICAL SERVICES->Incoming Mains & Metering					£0					£0	£0
ELECTRICAL SERVICES->Mains Distribution					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings Internal					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings External					£0					£0	£0

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Description	Repair					Replacement				Replacement Total	Immediate Action Total
	Priority 1	Priority 2	Priority 3	Priority 4	Repair Total	Priority 1	Priority 2	Priority 3	Priority 4		
ROOFS->Flashings					£0					£0	£0
ROOFS->Rainwater goods			£80		£80					£0	£80
WALLS->External walls					£0					£0	£0
WALLS->Windows					£0					£0	£0
WALLS->Doors					£0					£0	£0
WALLS->External joinery					£0					£0	£0
WALLS->Decoration					£0					£0	£0
WALLS->Cills					£0					£0	£0
STRUCTURE->Floors											
STRUCTURE->Stairs											
STRUCTURE->Walls											
ROOMS->Ceilings					£0					£0	£0
ROOMS->Walls					£0					£0	£0
ROOMS->Doors					£0					£0	£0
ROOMS->Floors					£0					£0	£0
ROOMS->Decoration					£0					£0	£0
FIXTURES & FITTINGS->Shelving					£0					£0	£0
SANITARY->WC					£0					£0	£0
SANITARY->Basins					£0					£0	£0
SANITARY->>Showers					£0					£0	£0
SANITARY->Cleaners & Belfast Sinks					£0					£0	£0
SANITARY->Baths					£0					£0	£0
MECHANICAL SERVICES->Gas Heating System					£0					£0	£0
MECHANICAL SERVICES->Extraction System					£0					£0	£0
MECHANICAL SERVICES->Domestic Hot Water					£0					£0	£0
ELECTRICAL SERVICES->Mains Distribution					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings Internal					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings External					£0					£0	£0
ELECTRICAL SERVICES->Fire Alarms					£0					£0	£0
Block 04 Keays											
ROOFS->Covering					£0					£0	£0
ROOFS->Structure											
ROOFS->Flashings											
ROOFS->Rainwater goods			£40		£40					£0	£40
ROOFS->TV aerials/dishes etc					£0					£0	£0
ROOFS->Decoration					£0					£0	£0
WALLS->External walls					£0					£0	£0
WALLS->Windows					£0					£0	£0
WALLS->Doors					£0					£0	£0
WALLS->External joinery					£0					£0	£0
WALLS->Decoration					£0					£0	£0
WALLS->Cills					£0					£0	£0
STRUCTURE->Floors											
STRUCTURE->Stairs											
STRUCTURE->Walls											
ROOMS->Ceilings											
ROOMS->Walls				£130	£130					£0	£130

Description	Repair					Replacement				Replacement Total	Immediate Action Total
	Priority 1	Priority 2	Priority 3	Priority 4	Repair Total	Priority 1	Priority 2	Priority 3	Priority 4		
ROOMS->Doors					£0					£0	£0
ROOMS->>Floors					£0				£1,558	£1,558	£1,558
ROOMS->Decoration				£150	£150				£1,230	£1,230	£1,380
FIXTURES & FITTINGS->Shelving					£0					£0	£0
FIXTURES & FITTINGS->Built in cupboards					£0				£820	£820	£820
SANITARY->WC					£0					£0	£0
SANITARY->Basins					£0				£328	£328	£328
SANITARY->Cubicles					£0					£0	£0
SANITARY->>Showers					£0					£0	£0
SANITARY->>Baths					£0					£0	£0
MECHANICAL SERVICES->Gas Heating System					£0					£0	£0
MECHANICAL SERVICES->Extraction System					£0					£0	£0
MECHANICAL SERVICES->Domestic Hot Water					£0					£0	£0
ELECTRICAL SERVICES->Mains Distribution					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings Internal					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings External					£0					£0	£0
ELECTRICAL SERVICES->Fire Alarms					£0					£0	£0
OTHER M&E->Elevator/Lifts					£0					£0	£0
Block 05 Dining											
ROOFS->Covering					£0					£0	£0
ROOFS->Structure					£0					£0	£0
ROOFS->Flashings					£0					£0	£0
WALLS->External walls					£0					£0	£0
WALLS->Windows					£0					£0	£0
WALLS->Doors					£0					£0	£0
WALLS->Wall fixture & fittings					£0					£0	£0
WALLS->Decoration					£0					£0	£0
WALLS->Cills					£0					£0	£0
STRUCTURE->>Floors											
STRUCTURE->Walls											
ROOMS->Ceilings					£0					£0	£0
ROOMS->Walls					£0					£0	£0
ROOMS->Doors					£0					£0	£0
ROOMS->>Floors					£0					£0	£0
ROOMS->Decoration					£0					£0	£0
MECHANICAL SERVICES->Extraction System					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings Internal					£0					£0	£0
Block 06 Greenhouse											
ROOFS->Covering					£0					£0	£0
ROOFS->Structure											
ROOFS->Flashings											
ROOFS->Rainwater goods					£0					£0	£0
WALLS->External walls					£0					£0	£0
WALLS->Windows					£0					£0	£0
WALLS->Doors					£0					£0	£0

	Repair					Replacement					
Description	Priority 1	Priority 2	Priority 3	Priority 4	Repair Total	Priority 1	Priority 2	Priority 3	Priority 4	Replacement Total	Immediate Action Total
WALLS->Decoration					£0					£0	£0
STRUCTURE->Frame/Columns											
STRUCTURE->Floors											
STRUCTURE->Walls											
ROOMS->Walls					£0					£0	£0
ROOMS->Doors					£0					£0	£0
ROOMS->Floors					£0					£0	£0
ROOMS->Decoration					£0					£0	£0
MECHANICAL SERVICES->Electrical Heating System					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings Internal					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings External					£0					£0	£0
Block 07 Flat 1A											
ROOFS->Covering					£0					£0	£0
ROOFS->Structure											
ROOFS->Flashings					£0					£0	£0
ROOFS->Rainwater goods					£0					£0	£0
ROOFS->Fascias					£0					£0	£0
ROOFS->Decoration					£0					£0	£0
WALLS->External walls											
WALLS->Windows					£0					£0	£0
WALLS->Doors					£0					£0	£0
WALLS->External joinery					£0					£0	£0
WALLS->Decoration					£0					£0	£0
STRUCTURE->Floors											
STRUCTURE->Stairs											
STRUCTURE->Walls											
ROOMS->Ceilings					£0					£0	£0
ROOMS->Walls					£0					£0	£0
ROOMS->Doors					£0					£0	£0
ROOMS->Floors					£0					£0	£0
ROOMS->Decoration				£40	£40					£0	£40
FIXTURES & FITTINGS->Worktops					£0					£0	£0
FIXTURES & FITTINGS->Built in cupboards					£0					£0	£0
SANITARY->WC					£0					£0	£0
SANITARY->Basins					£0					£0	£0
SANITARY->>Showers					£0					£0	£0
SANITARY->Sinks					£0					£0	£0
MECHANICAL SERVICES->Gas Heating System					£0					£0	£0
MECHANICAL SERVICES->Extraction System					£0					£0	£0
MECHANICAL SERVICES->Domestic Hot Water					£0					£0	£0
ELECTRICAL SERVICES->Mains Distribution					£0					£0	£0
ELECTRICAL SERVICES->Sub Mains Distribution					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings Internal					£0					£0	£0
ELECTRICAL SERVICES->Light Fittings External					£0					£0	£0
ELECTRICAL SERVICES->Fire Alarms					£0					£0	£0
ELECTRICAL SERVICES->Security Systems					£0					£0	£0

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Description	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
ROOMS->Doors										£1,148					
ROOMS->Floors		£1,066		£369				£14,275		£1,558		£1,066		£369	
ROOMS->Decoration			£13,458		£1,230			£13,510		£1,230			£13,510		£1,230
FIXTURES & FITTINGS->Shelving															
FIXTURES & FITTINGS->Built in cupboards		£2,461			£16,405										
SANITARY->WC															£1,641
SANITARY->Basins		£1,312													
SANITARY->Cubicles															
SANITARY->>Showers															
SANITARY->Baths															
MECHANICAL SERVICES->Gas Heating System															£50,000
MECHANICAL SERVICES->Extraction System															£8,000
MECHANICAL SERVICES->Domestic Hot Water															£20,000
ELECTRICAL SERVICES->Mains Distribution															
ELECTRICAL SERVICES->Light Fittings Internal															
ELECTRICAL SERVICES->Light Fittings External															
ELECTRICAL SERVICES->Fire Alarms															
OTHER M&E->Elevator/Lifts															£80,000
Block 05 Dining															
ROOFS->Covering															£5,474
ROOFS->Structure															
ROOFS->Flashings													£1,312		
WALLS->External walls										£1,914					
WALLS->Windows								£4,511		£2,051					
WALLS->Doors													£3,254		
WALLS->Wall fixture & fittings										£68					
WALLS->Decoration			£478					£478					£478		
WALLS->Cills															
STRUCTURE->Floors															
STRUCTURE->Walls															
ROOMS->Ceilings															
ROOMS->Walls															
ROOMS->Doors										£1,312					
ROOMS->Floors								£2,297							
ROOMS->Decoration				£976					£976					£976	
MECHANICAL SERVICES->Extraction System															£30,000
ELECTRICAL SERVICES->Light Fittings Internal															
Block 06 Greenhouse															
ROOFS->Covering															
ROOFS->Structure															
ROOFS->Flashings															
ROOFS->Rainwater goods															£1,230
WALLS->External walls															
WALLS->Windows															
WALLS->Doors										£3,254					

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Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	Totals
Block 01 Kyd																
ROOFS->Covering										£89,786					£3,035	£99,284
ROOFS->Structure					£848											£848
ROOFS->Flashings										£20,131					£2,406	£26,110
ROOFS->Parapets										£2,707						£2,707
ROOFS->Rainwater goods					£205											£8,669
ROOFS->Chimney stacks/flues										£2,447					£7,341	£10,018
ROOFS->TV aerials/dishes etc					£1,805					£164					£1,805	£6,378
ROOFS->Decoration			£804					£804					£804			£4,823
ROOFS->Roof Lights										£6,800						£7,100
WALLS->External walls	£1,394				£36,953										£10,144	£48,600
WALLS->Windows													£22,147			£67,412
WALLS->Doors			£3,753												£984	£8,490
WALLS->External joinery								£219								£219
WALLS->Decoration			£3,158		£246			£3,158		£246			£3,158		£246	£20,671
EXTERNAL GROUNDS->Roads & Parking Areas					£76,940											£76,940
EXTERNAL GROUNDS->Underground Drainage																
EXTERNAL GROUNDS->Paths & Paving					£45,661											£65,866
EXTERNAL GROUNDS->Steps/ramps																
EXTERNAL GROUNDS->Handrails					£1,230											£1,230
EXTERNAL GROUNDS->Boundary fencing/walls					£12,851							£10,335	£383		£861	£36,856
EXTERNAL GROUNDS->Outdoor Sports Facilities / Fixed Furniture					£7,000											£17,000
STRUCTURE->Floors																
STRUCTURE->Stairs																
STRUCTURE->Walls																
ROOMS->Ceilings			£2,085							£1,094					£1,777	£46,258
ROOMS->Walls					£752					£6,486			£3,609			£80,841
ROOMS->Partitions																£1,969
ROOMS->Windows																£9,382
ROOMS->Doors								£23,391								£50,964
ROOMS->Floors			£27,028		£1,066		£205			£779			£27,028		£328	£89,806
ROOMS->Decoration			£18,521		£943			£18,521		£943			£18,521		£943	£117,798
FIXTURES & FITTINGS->Shelving																£1,066
FIXTURES & FITTINGS->Worktops													£342			£684
FIXTURES & FITTINGS->Built in cupboards								£6,562								£11,803
SANITARY->WC								£2,625								£2,953
SANITARY->Basins								£2,297								£2,625
SANITARY->>Showers			£8,039													£8,039
SANITARY->Sinks													£2,051			£4,101
SANITARY->Baths								£656								£656
MECHANICAL SERVICES->Gas Heating System																£40,000
MECHANICAL SERVICES->Extraction System																£30,000
MECHANICAL SERVICES->Domestic Hot Water																£20,000
ELECTRICAL SERVICES->Incoming Mains & Metering					£15,000											£15,000
ELECTRICAL SERVICES->Mains Distribution					£55,000											£55,000
ELECTRICAL SERVICES->Light Fittings Internal					£33,000											£33,000
ELECTRICAL SERVICES->Light Fittings External					£2,500											£2,500

Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	Totals
ELECTRICAL SERVICES->I.T.					£150											£150
ELECTRICAL SERVICES->C.C.T.V.					£10,000											£10,000
ELECTRICAL SERVICES->Fire Alarms					£15,000											£15,000
ELECTRICAL SERVICES->Security Systems					£13,000											£13,000
OTHER M&E->Elevator/Lifts																£80,000
Block 02 McKinney																
ROOFS->Covering					£26,392								£12,796			£48,374
ROOFS->Structure																
ROOFS->Rainwater goods								£3,623								£6,084
ROOFS->Fascias													£2,625			£3,971
ROOFS->Chimney stacks/flues					£2,447											£2,447
ROOFS->TV aerials/dishes etc					£656										£656	£1,969
ROOFS->Decoration				£787					£787							£4,725
WALLS->External walls	£437												£787			£2,051
WALLS->Windows													£1,613			£51,130
WALLS->Doors				£5,865												£51,130
WALLS->External joinery																£5,865
WALLS->Decoration					£314				£1,914							£1,914
WALLS->Cills									£314				£314			£1,887
STRUCTURE->Floors																
STRUCTURE->Stairs																£410
STRUCTURE->Walls																
ROOMS->Ceilings					£991						£7,587					£8,829
ROOMS->Walls					£1,914				£123		£14,799			£9,105		£26,191
ROOMS->Partitions									£1,641							£1,641
ROOMS->Windows																
ROOMS->Doors									£41,163							£41,656
ROOMS->Floors					£17,020				£164					£19,071		£55,978
ROOMS->Decoration	£123				£12,542	£919	£123		£12,542	£919	£123			£12,542	£919	£84,497
FIXTURES & FITTINGS->Shelving									£27							£27
FIXTURES & FITTINGS->Worktops																£2,068
SANITARY->WC									£3,937					£68		£3,937
SANITARY->Basins									£3,937							£3,937
SANITARY->Cubicles									£820							£820
SANITARY->Showers					£10,335											£10,335
SANITARY->Urinals									£492							£492
MECHANICAL SERVICES->Gas Heating System																£40,000
MECHANICAL SERVICES->Domestic Hot Water																£25,000
ELECTRICAL SERVICES->Mains Distribution					£40,000											£40,000
ELECTRICAL SERVICES->Light Fittings Internal					£33,000											£33,000
ELECTRICAL SERVICES->Light Fittings External					£2,500											£2,500
ELECTRICAL SERVICES->Fire Alarms					£10,000											£10,000
Block 03 Dalhousie																
ROOFS->Covering									£10,166							£10,166
ROOFS->Structure																

Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	Totals
ROOFS->Flashings										£820						£820
ROOFS->Rainwater goods																£1,844
WALLS->External walls											£923					£10,055
WALLS->Windows								£25,565								£25,565
WALLS->Doors																£1,627
WALLS->External joinery															£1,258	£4,703
WALLS->Decoration			£547					£547					£547			£3,281
WALLS->Cills	£4,000															£4,000
STRUCTURE->Floors																
STRUCTURE->Stairs																
STRUCTURE->Walls																
ROOMS->Ceilings										£615			£6,015			£6,630
ROOMS->Walls								£656		£2,700			£5,673			£9,030
ROOMS->Doors			£18,962													£18,962
ROOMS->Floors								£6,767		£738						£22,628
ROOMS->Decoration		£6,833					£6,833					£6,833				£40,979
FIXTURES & FITTINGS->Shelving			£217													£217
SANITARY->WC			£2,953													£2,953
SANITARY->Basins			£2,953													£2,953
SANITARY->>Showers																£9,187
SANITARY->Cleaners & Belfast Sinks								£1,312								£1,312
SANITARY->Baths			£656													£656
MECHANICAL SERVICES->Gas Heating System																£10,000
MECHANICAL SERVICES->Extraction System																£800
MECHANICAL SERVICES->Domestic Hot Water																£15,000
ELECTRICAL SERVICES->Mains Distribution					£15,000											£15,000
ELECTRICAL SERVICES->Light Fittings Internal					£15,000											£15,000
ELECTRICAL SERVICES->Light Fittings External					£1,000											£1,000
ELECTRICAL SERVICES->Fire Alarms					£6,000											£6,000
Block 04 Keays																
ROOFS->Covering								£984		£3,467						£5,435
ROOFS->Structure																
ROOFS->Flashings																
ROOFS->Rainwater goods																£4,592
ROOFS->TV aerials/dishes etc					£164										£164	£492
ROOFS->Decoration			£213					£213					£213			£1,280
WALLS->External walls	£17,608															£17,608
WALLS->Windows																£27,820
WALLS->Doors															£6,193	£12,386
WALLS->External joinery																£5,468
WALLS->Decoration			£1,422					£1,422					£1,422			£8,531
WALLS->Cills						£19,000										£19,000
STRUCTURE->Floors																
STRUCTURE->Stairs																
STRUCTURE->Walls																
ROOMS->Ceilings																
ROOMS->Walls					£82					£205			£8,039			£8,456

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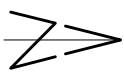
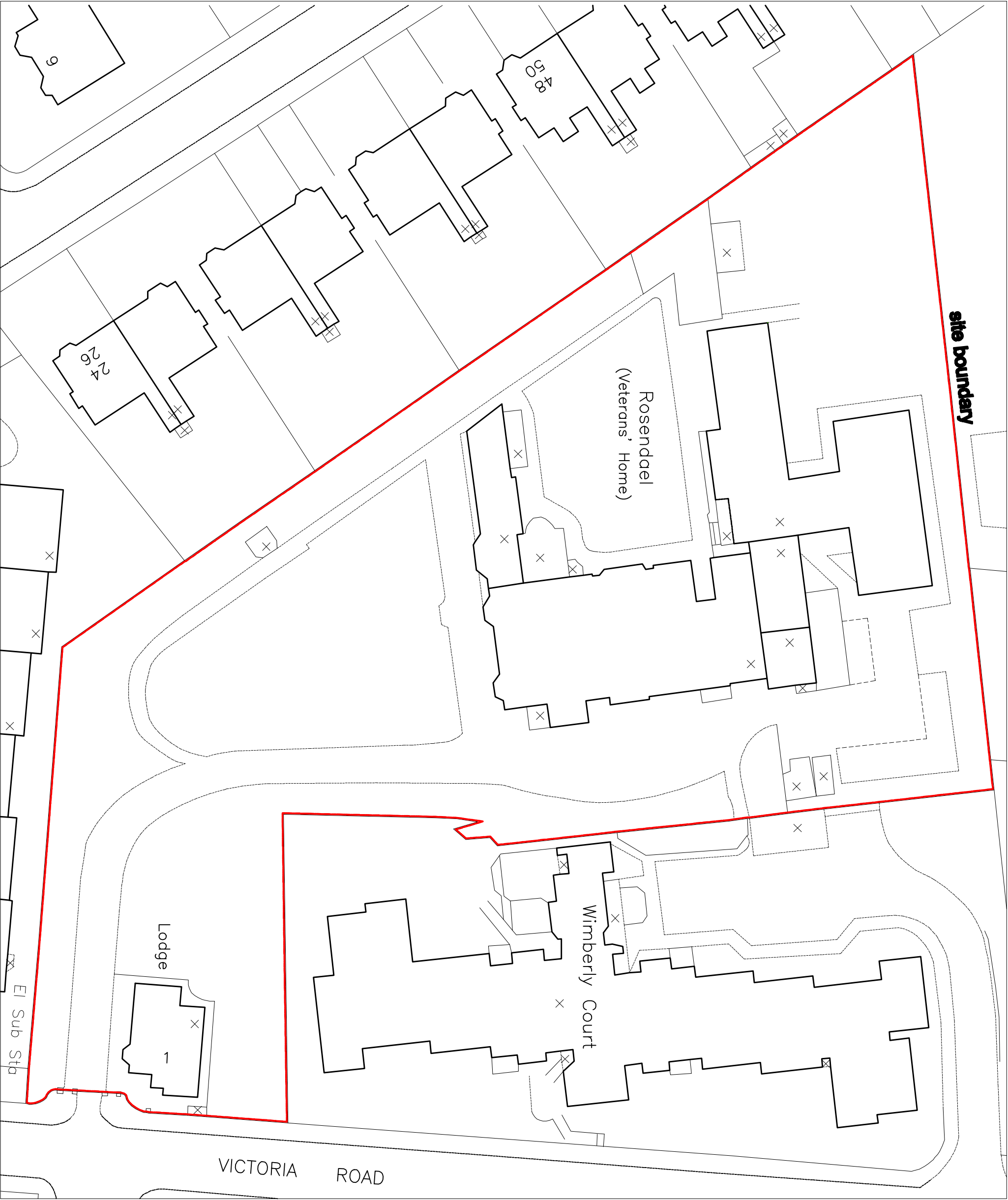
Description	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	Totals
WALLS->Decoration		£164					£164					£164				£984
STRUCTURE->Frame/Columns																
STRUCTURE->Floors																
STRUCTURE->Walls																
ROOMS->Walls										£1,470						£1,470
ROOMS->Doors																£656
ROOMS->Floors																£4,101
ROOMS->Decoration		£492					£492					£492				£2,953
MECHANICAL SERVICES->Electrical Heating System																£750
ELECTRICAL SERVICES->Light Fittings Internal					£500											£500
ELECTRICAL SERVICES->Light Fittings External					£50											£50
Block 07 Flat 1A																
ROOFS->Covering																
ROOFS->Structure													£656		£4,799	£6,111
ROOFS->Flashings										£1,353			£328			£2,010
ROOFS->Rainwater goods					£1,504			£287								£1,791
ROOFS->Fascias								£205								£205
ROOFS->Decoration			£49					£49						£49		£295
WALLS->External walls																
WALLS->Windows																
WALLS->Doors			£1,627										£11,689			£11,689
WALLS->External joinery								£219								£219
WALLS->Decoration			£191					£191					£191			£1,148
STRUCTURE->Floors																
STRUCTURE->Stairs																
STRUCTURE->Walls																
ROOMS->Ceilings																£0
ROOMS->Walls					£922							£2,379				£3,301
ROOMS->Doors							£1,969									£1,969
ROOMS->Floors		£1,846										£2,584				£6,275
ROOMS->Decoration		£1,075					£1,075					£1,075				£6,487
FIXTURES & FITTINGS->Worktops												£342				£684
FIXTURES & FITTINGS->Built in cupboards							£9,023									£9,843
SANITARY->WC							£328									£328
SANITARY->Basins							£328									£328
SANITARY->\$howers		£1,148														£1,148
SANITARY->Sinks												£328				£656
MECHANICAL SERVICES->Gas Heating System																£1,000
MECHANICAL SERVICES->Extraction System																£150
MECHANICAL SERVICES->Domestic Hot Water																£1,000
ELECTRICAL SERVICES->Mains Distribution					£5,000											£5,000
ELECTRICAL SERVICES->Sub Mains Distribution					£250											£250
ELECTRICAL SERVICES->Light Fittings Internal					£1,000											£1,000
ELECTRICAL SERVICES->Light Fittings External					£250											£250
ELECTRICAL SERVICES->Fire Alarms					£750											£750
ELECTRICAL SERVICES->Security Systems					£1,500											£1,500

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SECTION 7

Floor Plans



Amendments	
ref	Date

Description

Internal Alterations

Rosendael
for
Scottish Veterans
Housing Association

Scale 1:500

Drawn MH

Date 26/01/07

Checked

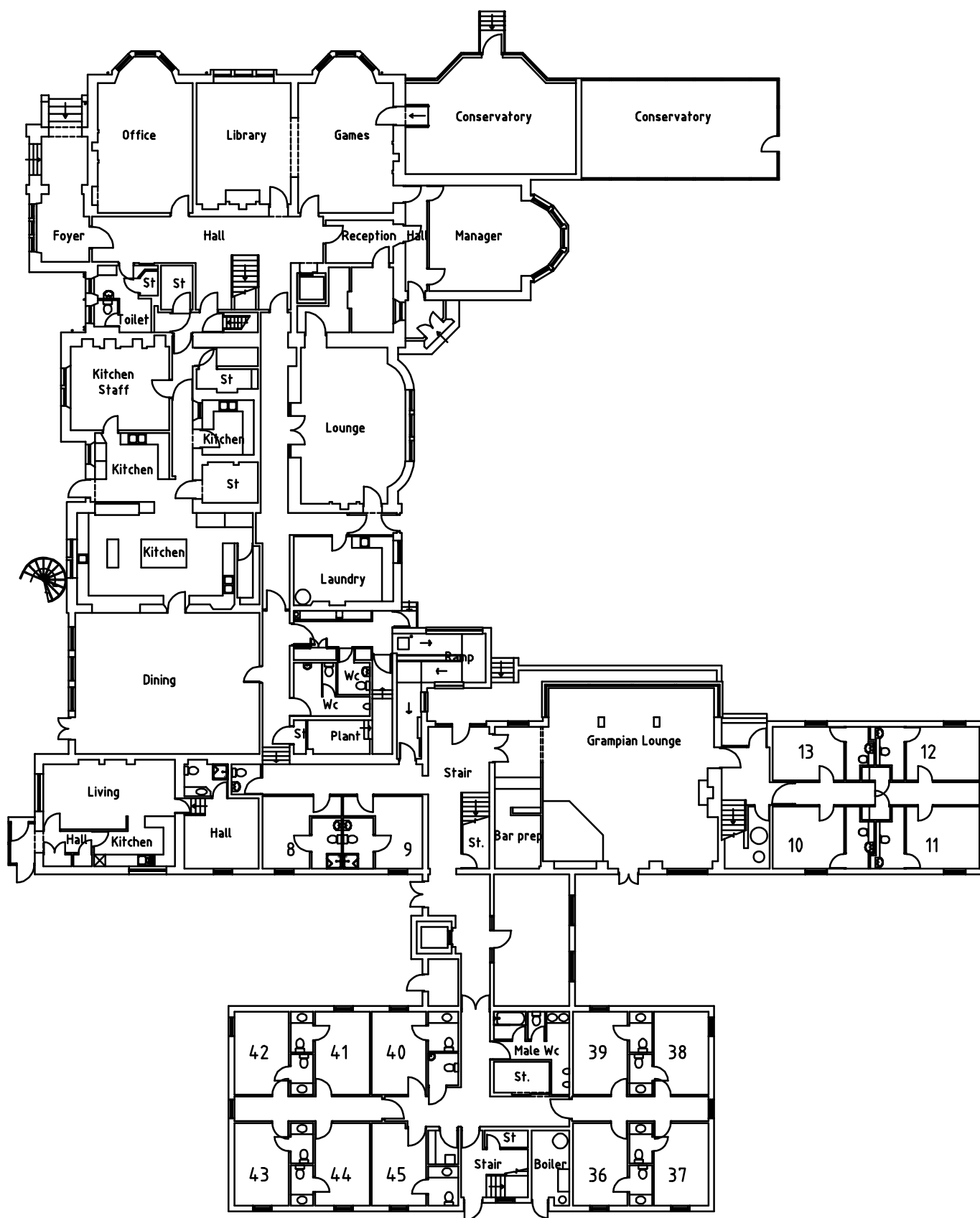


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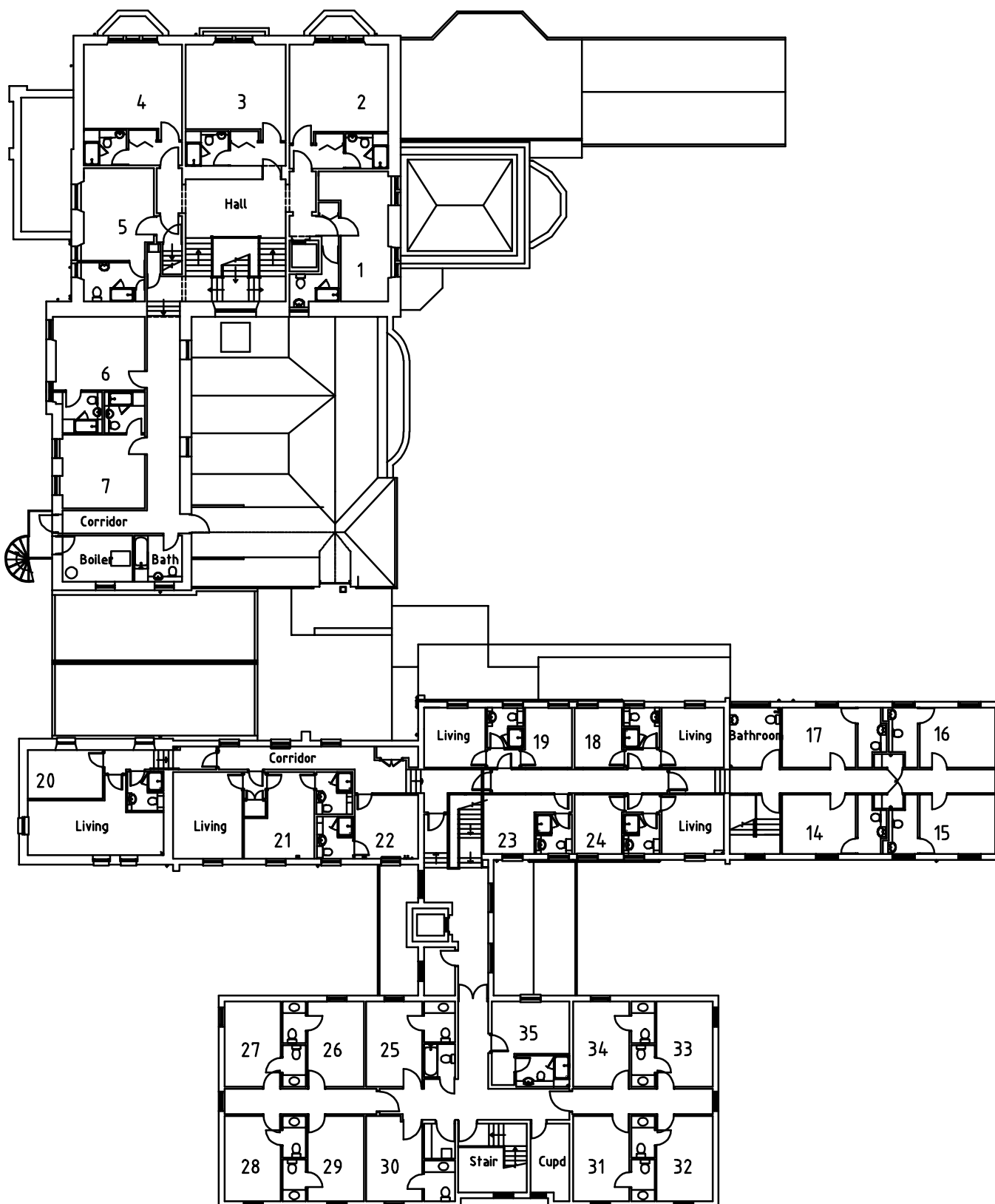
Drawing Number

R116/500/01

ref.



ROSENDAEL HOUSE
Ground Floor



ROSENDAEL HOUSE
Upper Floor